



# Cleveland City Planning Commission

Friday, September 3, 2021

**\*\* PLEASE MUTE YOUR MICROPHONE \*\***

David Bowen, Commission Chair

Freddy L. Collier Jr., Director

Michael Bosak, Administrator

# Cleveland City Planning Commission

## Preamble

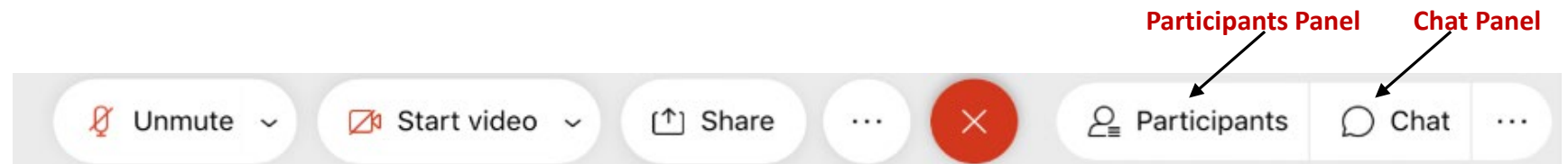
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING \*6



September 3, 2021



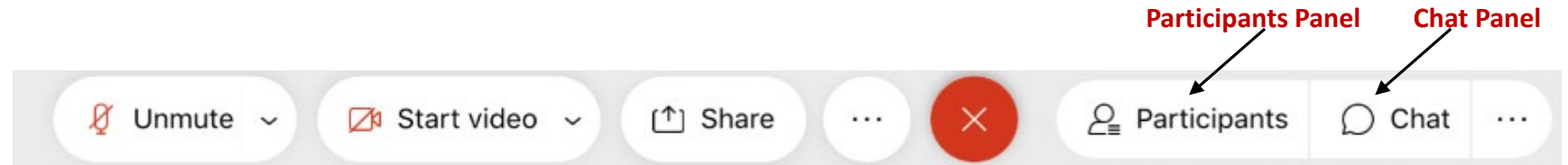
# Cleveland City Planning Commission

## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.  
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL  
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN  
COMMENT ON A PARTICULAR MATTER.**



September 3, 2021

# Cleveland City Planning Commission

## Call to Order and Roll Call

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September 3, 2021

# Cleveland City Planning Commission

## Special Presentations – Public Art

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September 3, 2021

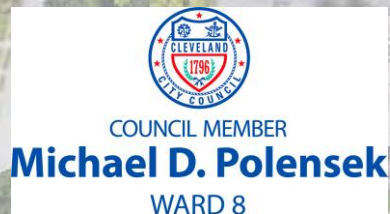


NE2021-031 – Five Points Streetscape Mural: Seeking Final Approval

**Project Location: 14820 St. Clair Ave.**

Presenter: Krystal Sierra, Greater Collinwood DC





# FIVE POINTS STREETSCAPE PROJECT PUBLIC ART MURAL



# FIVE POINTS INTERSECTION STREETScape

- SUPPORTED BY COUNCILMAN ANTHONY T. HAIRSTON, WARD 10 AND COUNCILMAN MICHAEL D. POLENSEK, WARD 8
- PHASE 1: \$50,000 INVESTMENT
- AIMS TO ELEVATE AND PRESERVE FIVE POINTS IDENTITY WHILE ENCOURAGING MOTORS AND VISITORS TO SLOW DOWN AND EXPLORE

# PUBLIC MEETINGS

- 4 PUBLIC MEETINGS HELD DEC 2019 AND DEC-JAN 2021
- GREENING, PUBLIC ART, IDENTITY, CODE ENFORCEMENT, & SPACES FOR YOUTH/COMMUNITY ENGAGEMENT ARE ALL TOPICS OF PRIORITY PER COMMUNITY FEEDBACK

# PUBLIC ART

- GCDC ESTABLISHED COMMITTEE OF 5 MEMBERS: RESIDENTS, BUSINESS OWNERS AND STAKEHOLDERS FROM WARDS 8 AND 10
- COMMITTEE HELPED TO GUIDE CRITERIA FOR FIVE POINTS BANNER DESIGN AND PUBLIC ART
- ARTIST AARON WILLIAMS WAS SELECTED BY FIVE POINTS COMMITTEE FOR BANNER DESIGN AND PUBLIC ART, MARCH 2021



# AARON WILLIAMS, ARTIST

- PORTFOLIO: <https://bit.ly/3wylvez>
- RECENT COLLABORATIONS: “BLACK LIVES MATTER” WITH GRAFFITI HEART AT E. 93RD AND BESSEMER; “GREEN PALETTE” WITH WATERLOO ARTS AT WATERLOO RD; “INSIDE OUT” WITH CONTRAST HIGH, POP LIFE, AND CULTURE JOCK AT WATERLOO RD; “AAWFUL AARON” SOLO SHOW AT MUSEUM OF CONTEMPORARY ART, CLEVELAND CURRENTLY ON DISPLAY THROUGH AUGUST 15TH

# FIVE POINTS MURAL

- FIVE POINTS PUBLIC ART MURAL WILL BE INSTALLED AT 14820 ST. CLAIR AVE. CLEVELAND, OH 44110
- TO BE PAINTED ON THE EAST-FACING FACADE
- WALL TO BE POWER-WASHED TO PROVIDE A SMOOTH SURFACE
- ARTIST AARON WILLIAMS WILL MAKE USE OF EXISTING CONDITION/TEXTURE OF THE WALL TO PROVIDE 3D EFFECT

# FIVE POINTS MURAL

- DIMENSIONS: 15FT X 66FT
- MATERIALS: AEROSOL AND OUTDOOR LATEX PAINT
- MAINTENANCE: ANTI-GRAFFITI COATING TO BE APPLIED AT THE TIME OF INSTALLATION
- 14820 ST. CLAIR PHOTOS:

<https://bit.ly/3xwpwI0>



# CONTEXTUAL PHOTOS



<https://bit.ly/3xwpw10>



# FIVE POINTS MURAL MOCK-UP

ARTIST AARON WILLIAMS



MOCK-UP: <https://tinyurl.com/txemuark>



DF2021-021 – *Life is Sharing the Same Park Bench* Mural and Mini-Park Enhancements:  
Seeking Final Approval

**Project Location: East 9<sup>th</sup> and Rockwell Avenue**

Presenter: Greg Peckham, LAND Studio

# **LIFE IS SHARING THE SAME PARK BENCH**

**Mural Restoration + Mini-Park Enhancements**



# PROJECT LOCATION





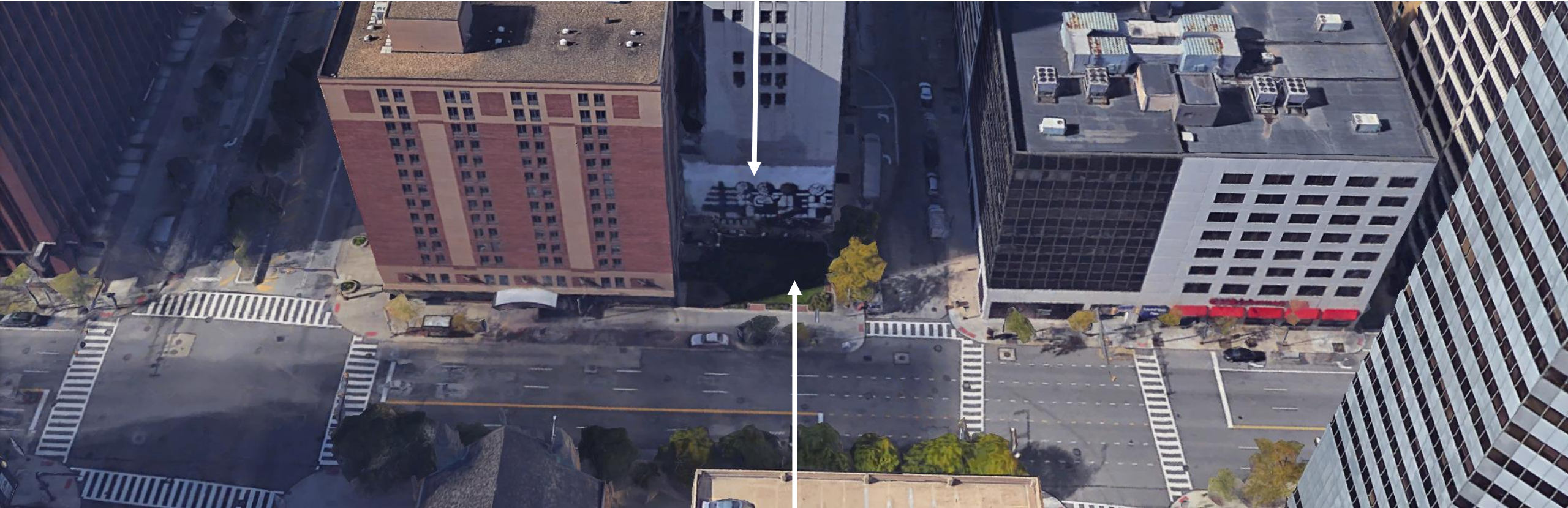
# PROJECT LOCATION





**OWNERSHIP**

**E.V. Bishoff  
Superior Building / Mural Site**



**City of Cleveland  
Mini-Park**



# John Morrell Mural Past





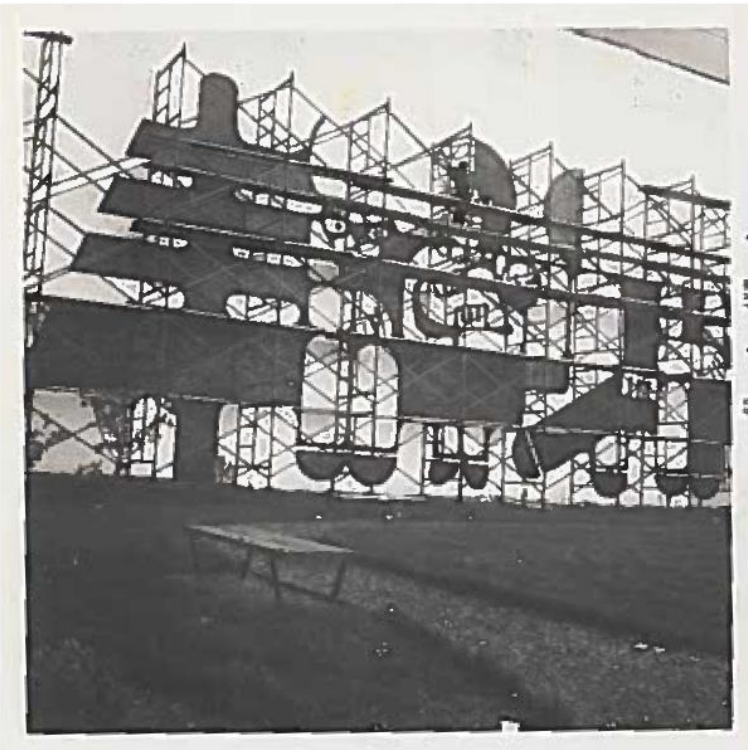
FOR FSRRELEASE DATE ImmediateCONTACT Bruce KeeseeyFULLER & SMITH & ROSS INC.  
55 Public Sq. / Cleveland, O. 44113 / Phone : 241-6700CLEVELAND'S FIRST LARGE OUTDOOR MURAL PAINTING  
DEDICATED TO MAYOR CARL B. STOKES, BROTHERHOOD

During the next four weeks, Cleveland's first large-scale outdoor mural will begin taking shape on the east side of the Superior Building at East Ninth and Rockwell, adjacent to one of the city's new mini-parks.

Entitled "Life is Sharing the Same Park Bench", the 36 ft. by 80 ft. painting is a creation of John F. Morrell, an art director at Fuller & Smith & Ross Inc. advertising agency. Morrell has dedicated the mural to "brotherhood within Cleveland, and its mayor, Carl B. Stokes, who has contributed so much to its concept."

Morrell created the mural in Dadaistic style, working in collaboration with John Kuchera, a well-known New York artist. It will feature four 26 ft. figures on a park bench -- an elderly man, a middle-aged man, a Negro, and a woman holding a baby. The left end of the bench is vacant.

Colors will be black and brown on a flat white background. An estimated 45 gallons of paint will be required, all of which has been contributed by Glidden. Morrell will work on scaffolding donated by Forest City



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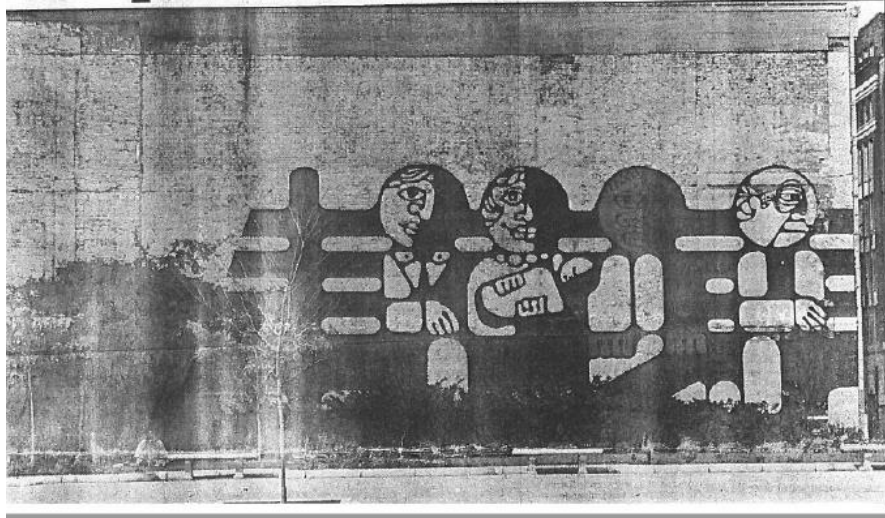


**START OF A MURAL FOR MINI PARK** — Mayor Stokes and artist John Morrell started the mural that will grace the wall of the mini park created at E. Ninth and Rockwell at the suggestion of The Press. "This mural will be a symbol of what we want this city to be about—brotherhood," said the mayor as he accepted one of 1000 limited edition commemoratives of the mural. Half the proceeds of the \$10 editions will go to the artist and half to Rev. Fr. Albert Koklowski for scholarships for inner-city youngsters.



August 7, 1993

# The picture of controversy



"Life is Sharing a Park Bench," a mural painted in downtown Cleveland in 1969 to promote racial harmony is the focus of disharmony over whether it should be repainted or replaced with a new mural.

## Plan for new mural splits wall of opposition

By STEVEN LITT  
 JOURNAL/ART CRITIC

CLEVELAND  
 Until a group of activists pro-  
 tested, the city of Cleveland was on  
 course to paint over a prominent  
 downtown mural with a new one.  
 The city's goal was to provide a  
 message for Unity Day on Oct.  
 22, a celebration of Cleveland's eth-  
 nic and racial diversity. Ironically, it  
 had to mean covering a mural  
 painted in 1969 to promote racial  
 harmony in the wake of the Hugh  
 Sit.

Allen said the council would con-  
 sider whether to refurbish the old  
 mural and paint a new one in a dif-  
 ferent spot. If the old mural is re-  
 placed, he said that the former  
 Cleveland artist who painted it,  
 John Morrell, 69, now of St. August-  
 ine, Fla., should be given an oppor-  
 tunity to paint a new one elsewhere.  
 Morrell's mural is called "Life is  
 Sharing a Park Bench." The  
 30-by-30-foot mural adorns a corner  
 of the Spitzer Building at E. 9th  
 St. and Rockwell Ave. and shows  
 four people of different ages and  
 races sharing a park bench.



AP

Local artist John Morrell, center, shakes hands with Cleveland Mayor Michael R. White during a rededication ceremony of Morrell's mural "Life is Sharing the Same Park Bench." The artist's wife, Carole, looks on.

## Local artist sees his Ohio mural rededicated

By KAREN HARVEY  
 Compass Editor

Last summer, local artist John Morrell received bad news (*The Record*, Sept. 18). The city of Cleveland, Ohio, planned to obliterate a mural he had painted on the side of a Cleveland building in 1969.

The mural, intended to send a message of oneness, was seen by some as unrepresentative of the intent of Unity Day, a day asking for "racial harmony" in the city.

Outrage was so great that the decision was over-  
 turned, the mural restored, and the artist invited back  
 for a rededication ceremony.

Morrell and his wife traveled back to Cleveland for the Oct. 22 Unity Day celebrations which included the ceremony honoring the artist and his mural.

Morrell said that a committee of five oversaw the restoration of the painting which became the symbol of unity in the culturally diverse city. About two hundred people attended the event, after which Morrell thanked all those responsible for the restoration efforts.

Morrell was a mural artist who has several of his works visible on the walls of Cleveland buildings.

Although he no longer does such lavish work, his heart is still with his art. An illness keeps him from painting as much as he would like, but the artist can be seen almost every weekday morning volunteering his services at the P.A.S.T.A. Plus Art Gallery on Charlotte Street.





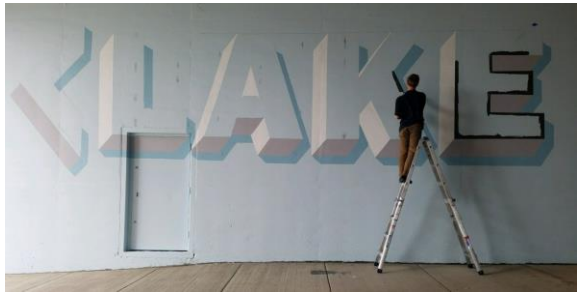








**ALAN GIBERSON – CLEVELAND ARTIST – OLD SOUL SIGNS**

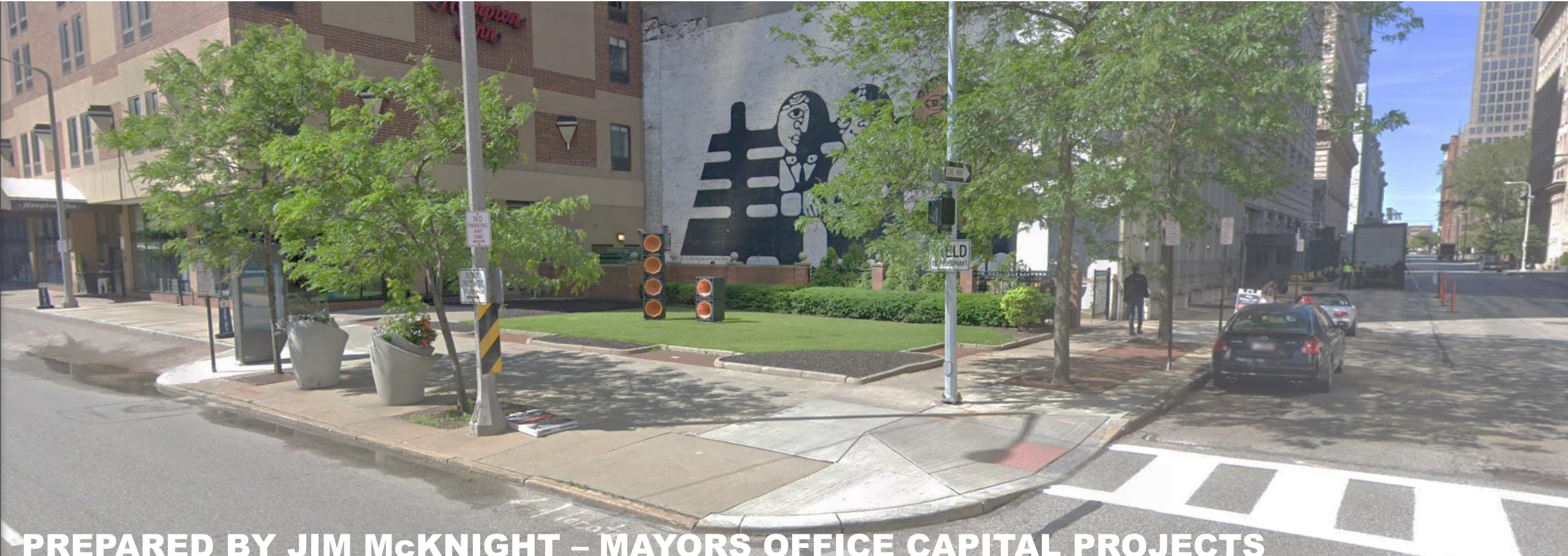


# MINI-PARK ENHANCEMENTS





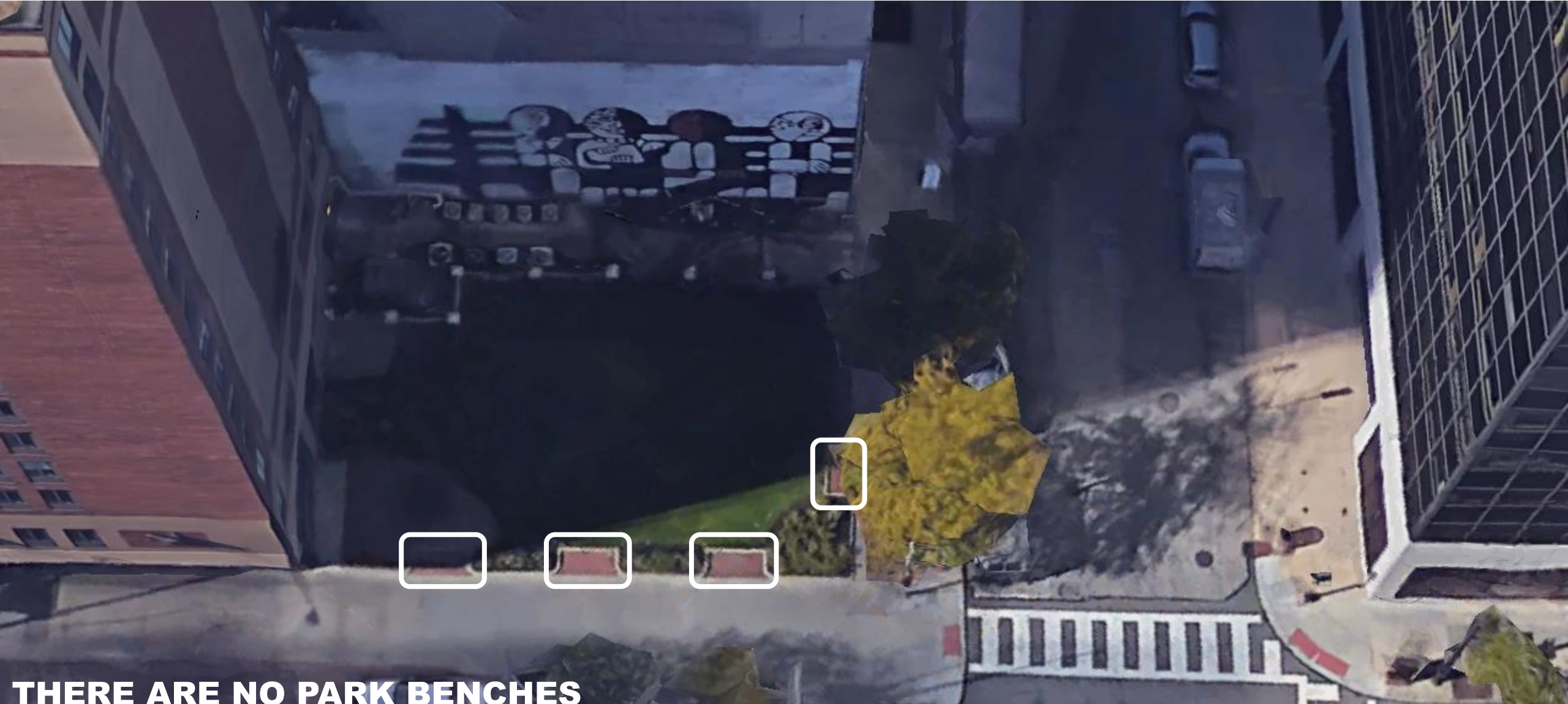
# MINI-PARK ENHANCEMENTS



PREPARED BY JIM McKNIGHT – MAYORS OFFICE CAPITAL PROJECTS



# MINI-PARK ENHANCEMENTS



**THERE ARE NO PARK BENCHES**

# MINI-PARK ENHANCEMENTS



**Picnic Table**



**Backless Benches**



**Ground Cover**



**New Trees**

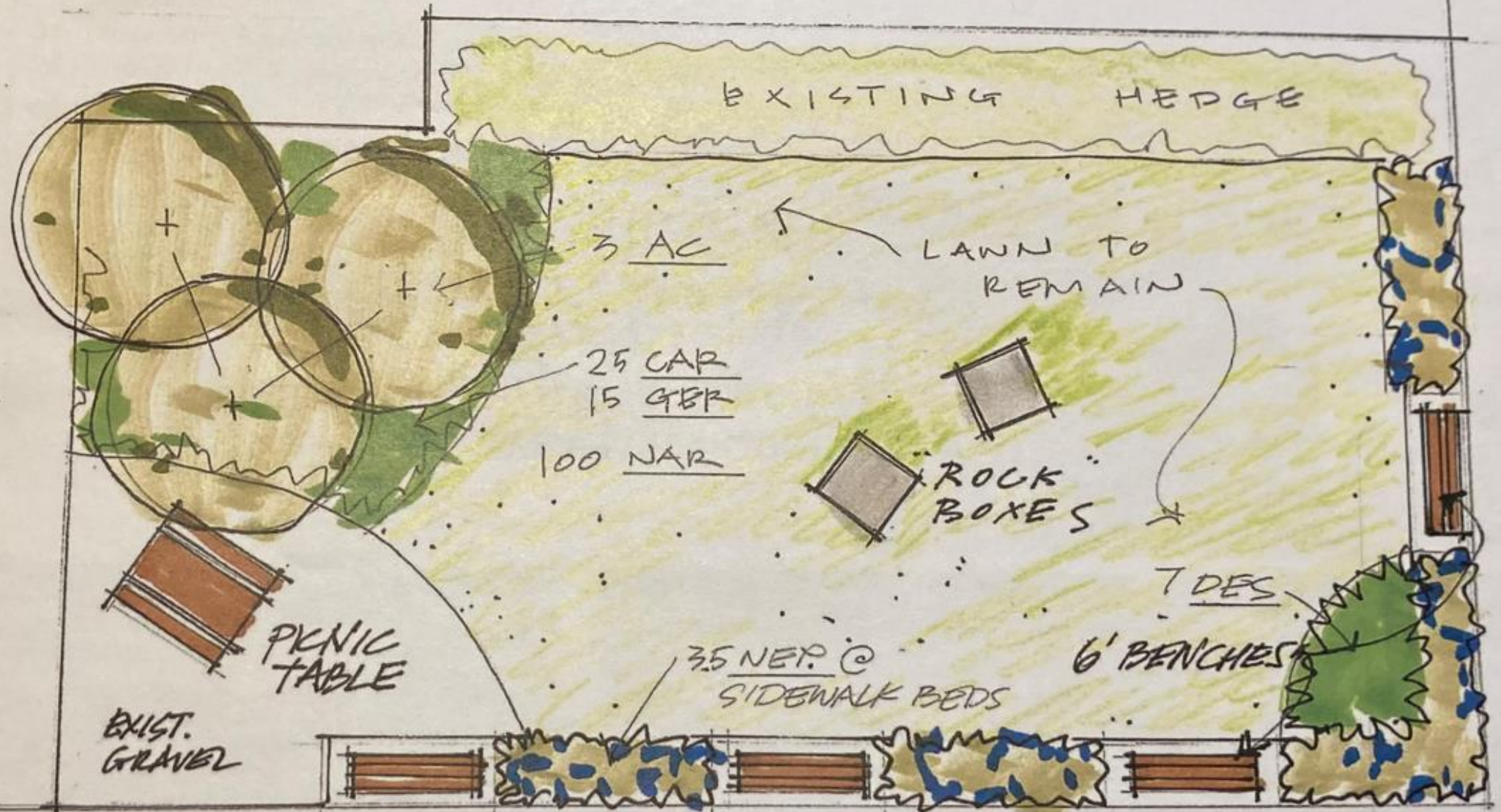




# MURAL WALL

H O T E L

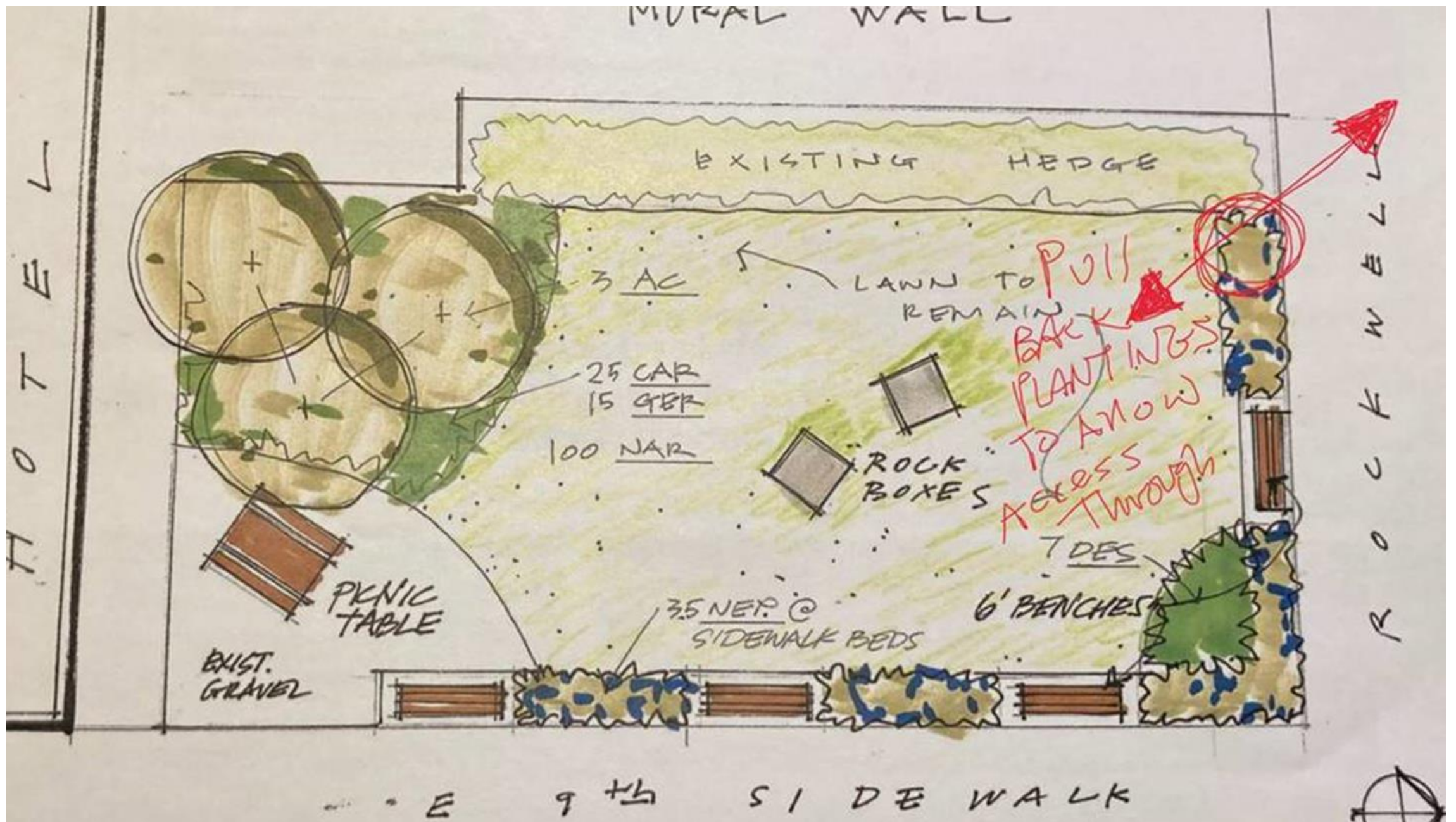
R O C K W E L L



E 9 1/2 SIDE WALK

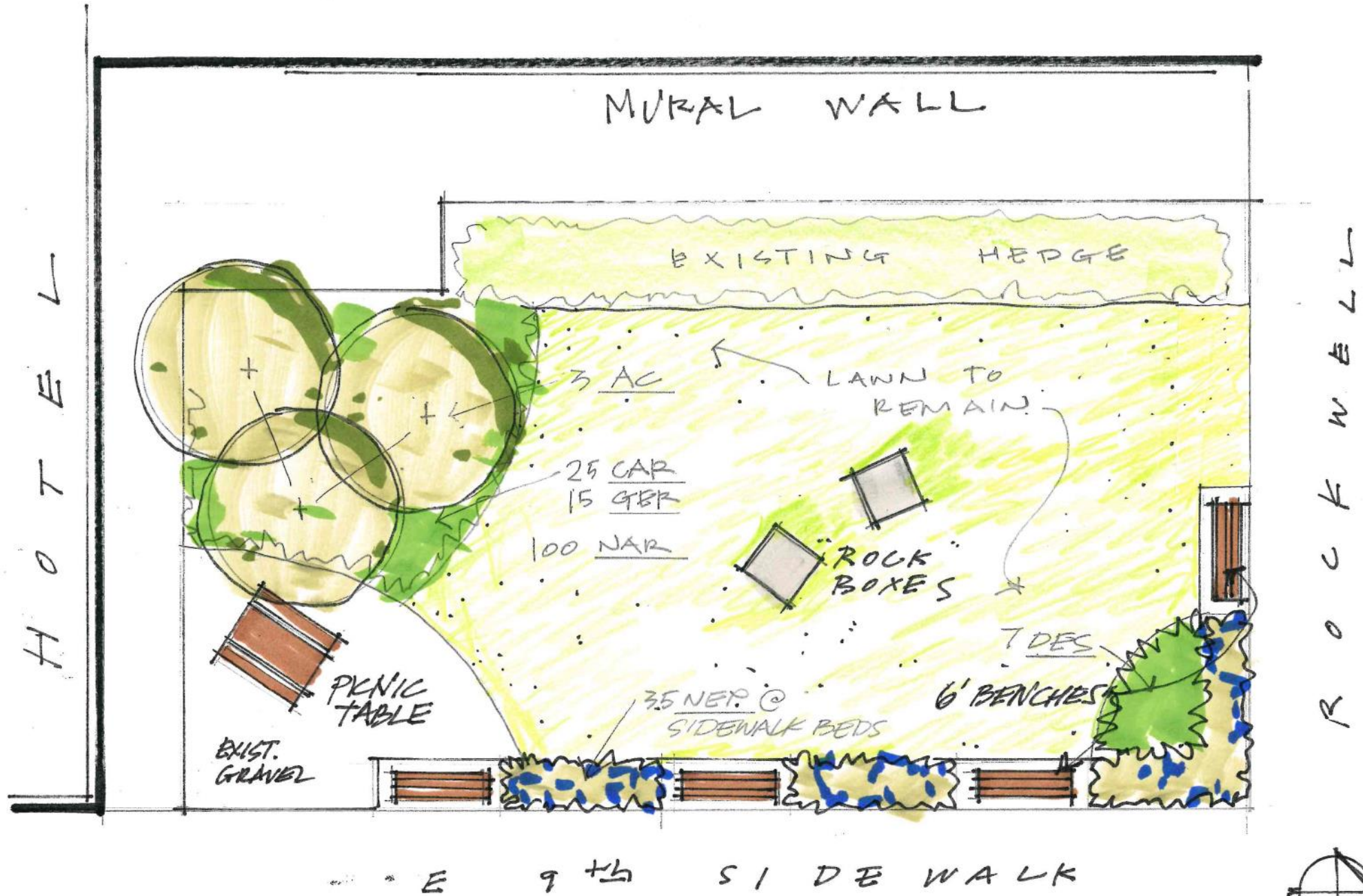






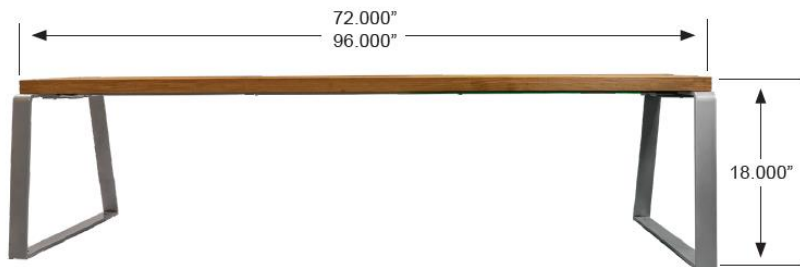
**Design Review Feedback: Improve Access – Create more than one point of entry/exit.**





**UPDATED DESIGN BASED ON DESIGN REVIEW FEEDBACK.**





*the* **Empire Collection**  
by Jamestown Advanced



# COMMUNITY SUPPORT



# MILLCRAFT



BakerHostetler



oswald



**New Vista Enterprises**  
Landscape Design, Installation & Management



New York  
Community Bank  
Member FDIC



**+ 8 INDIVIDUAL DONORS**

**THANK YOU**





NM2021-029 – Old Brooklyn Blooms Mural Project: Seeking Final Approval

**Project Addresses: 4377 State Road; 3310 Broadview Road; and 3504 Stanford Avenue**

Presenters: Eileen Dorsey, Artist

Garrett Weider, Artist

# OLD BROOKLYN BLOOMS MURAL PROJECT

*“A great place to grow”*

A collaboration between

Eileen Dorsey and Garrett Weider.

Bringing floral murals to Old Brooklyn.

Eileen Dorsey  
eileen\_dorsey@yahoo.com  
EileenDorsey.com

Garrett Weider  
garrettweider@yahoo.com  
GarrettWeider.com

# PROJECT SPECIFICATIONS

## Summary

The Old Brooklyn Blooms Mural Project is a public art initiative with a goal to help beautify the Old Brooklyn community as well as solidify the branding of Old Brooklyn as "A Great Place to Grow". Artist's Eileen Dorsey and Garrett Weider will be collaborating on these murals together.

The murals will be painted with acrylic based paints directly on the walls. The owners of the walls have agreed to prep and prime the surface before we begin.

Location 1 - Floral Fever (4377 State rd): 11' x 9'

Location 2 - Floral Finish (3310 Broadview Rd): 11' x 9'

Location 3 - Foliage Fixation (3504 Stanford ave): 9' x 11'

# ARTIST PROFILES

Eileen Dorsey





# ARTIST PROFILES

Garrett Weider





# Locations

Location 1 - Floral Fever

Street View

Gus's  
4377 State Rd  
Old Brooklyn, OH, 44109  
North facing wall





# Locations

Location 1 - Floral Fever

Street View

Gus's  
4377 State Rd  
Old Brooklyn, OH, 44109  
North facing wall



# Locations

Location 1 - Floral Fever

Aerial View

Gus's  
4377 State Rd  
Old Brooklyn, OH, 44109  
North facing wall





# DIMENSIONS AND RENDERINGS

Location 1 - Floral Fever

Gus's  
4377 State Rd  
Old Brooklyn, OH, 44109  
North facing wall





# Locations

Location 2 - Floral Finish

Street Views

Sticks and Stones  
3310 Broadview Rd  
Old Brooklyn, OH, 44109  
South east facing wall





# Locations

Location 2 - Floral Finish

Street Views

Sticks and Stones  
3310 Broadview Rd  
Old Brooklyn, OH, 44109  
South east facing wall





# Locations

Location 2 - Floral Finish

Aerial Views

Sticks and Stones

3310 Broadview Rd

Old Brooklyn, OH, 44109

South east facing wall





# DIMENSIONS AND RENDERINGS

Location 2 - Floral Finish

Sticks and Stones  
3310 Broadview Rd  
Old Brooklyn, OH, 44109  
South east facing wall



# Locations

Location 3 - Foliage Fixation

Street View

Warehouse next to Sixth City  
3504 Stanford Ave  
Old Brooklyn, OH, 44109  
South facing wall





# Locations

Location 3 - Foliage Fixation

Street View

Warehouse next to Sixth City  
3504 Stanford Ave  
Old Brooklyn, OH, 44109  
South facing wall

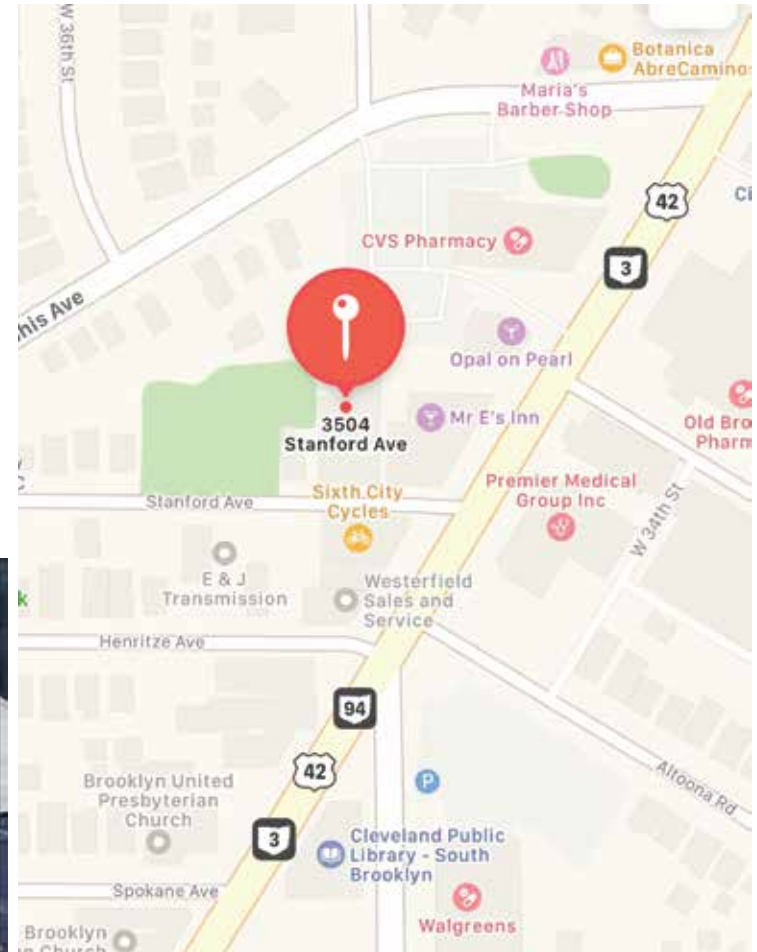
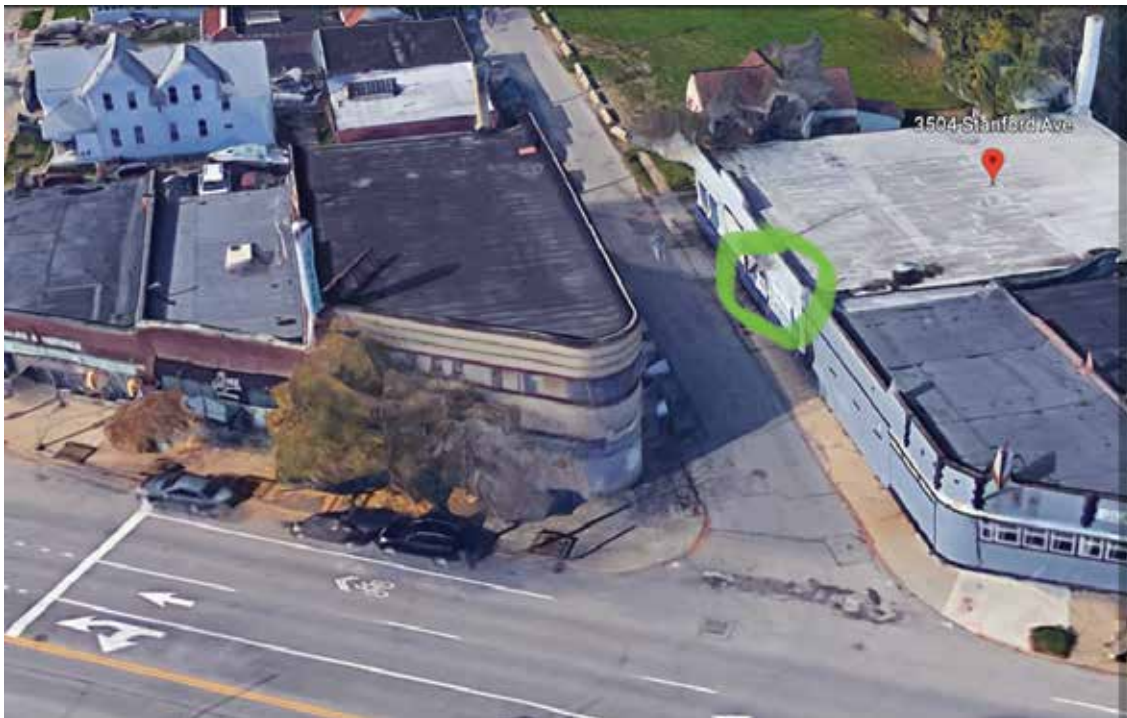


# Locations

Location 3 - Foliage Fixation

Aerial View

Warehouse next to Sixth City  
3504 Stanford Ave  
Old Brooklyn, OH, 44109  
South facing wall





# DIMENSIONS AND RENDERINGS

Location 3 - Foliage Fixation

Warehouse next to Sixth City  
3504 Stanford Ave  
Old Brooklyn, OH, 44109  
South facing wall



# Cleveland City Planning Commission

## Zoning Map Amendments

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September 3, 2021





**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Planned Unit Development

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September 3, 2021





**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Telecommunication Towers

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September 3, 2021





**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## New Townhouse Development In a 2-Family District

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September 3, 2021



# Townhouse Development in a 2-Family District

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September 3, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Lot Consolidation / Splits

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September 3, 2021





**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Conditional Use Permit

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September 3, 2021

September 3, 2021



**NOTHING SCHEDULED TODAY**



# Cleveland City Planning Commission

## Mandatory Referrals

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September 3, 2021

# Mandatory Referrals

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September 3, 2021



Ordinance No. 684-2021(Ward 8/Councilmember Polensek): Authorizing the Director of Capital Projects to issue one or more permits to Muldoon’s LLC, to encroach into the public right-of-way of East 185<sup>th</sup> Street by using and maintaining existing asphalt pavement, fence, brick wall and building canopy for their restaurant at the northwest corner of Villaview Road and East 185<sup>th</sup> Street.

# City Planning Agenda

Friday, September 3<sup>rd</sup> 2021

Richard Switalski, PE

Administration Bureau Manager

Mayor's Office of Capital Projects

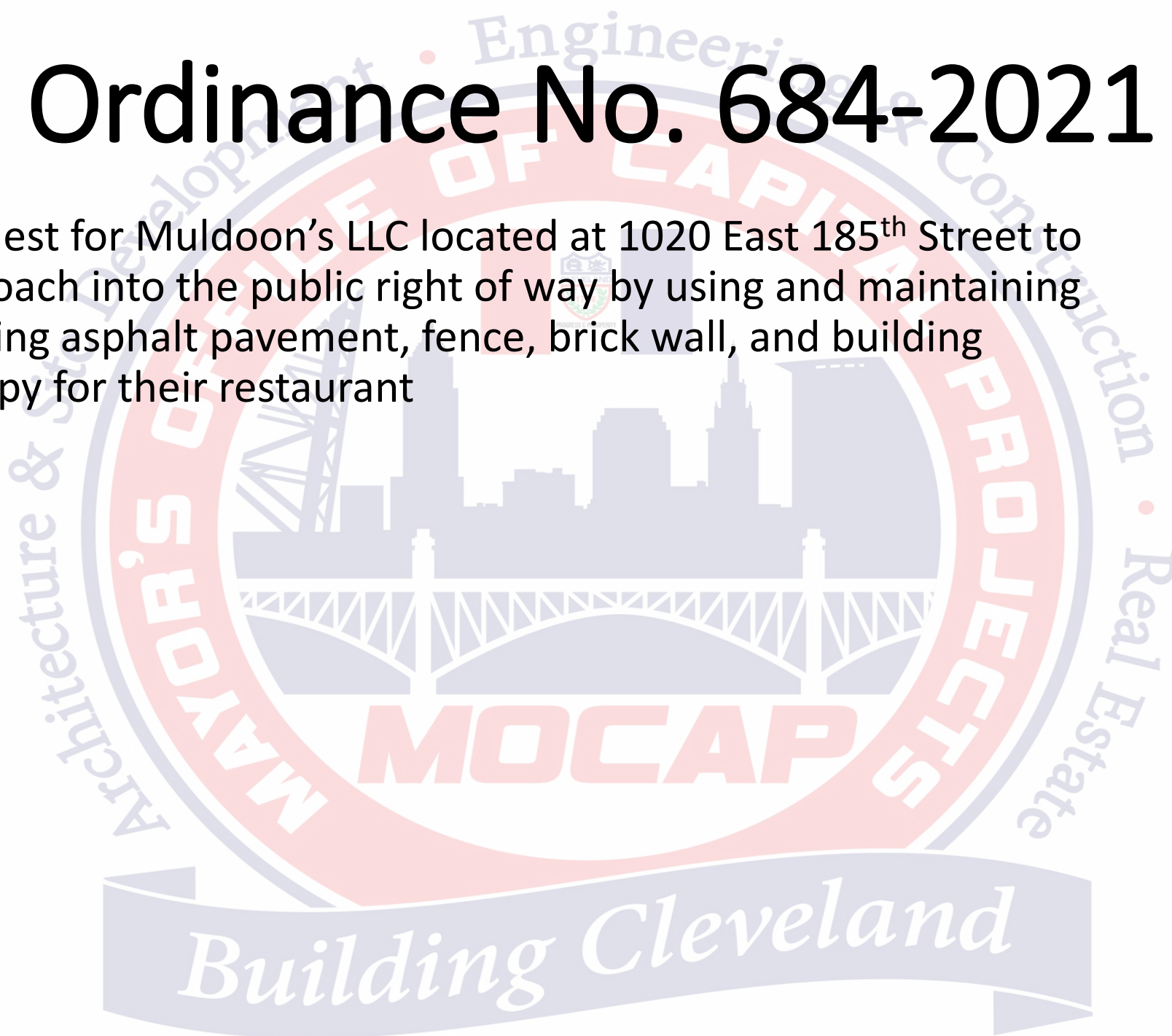
Division of Engineering & Construction

*Building Cleveland*



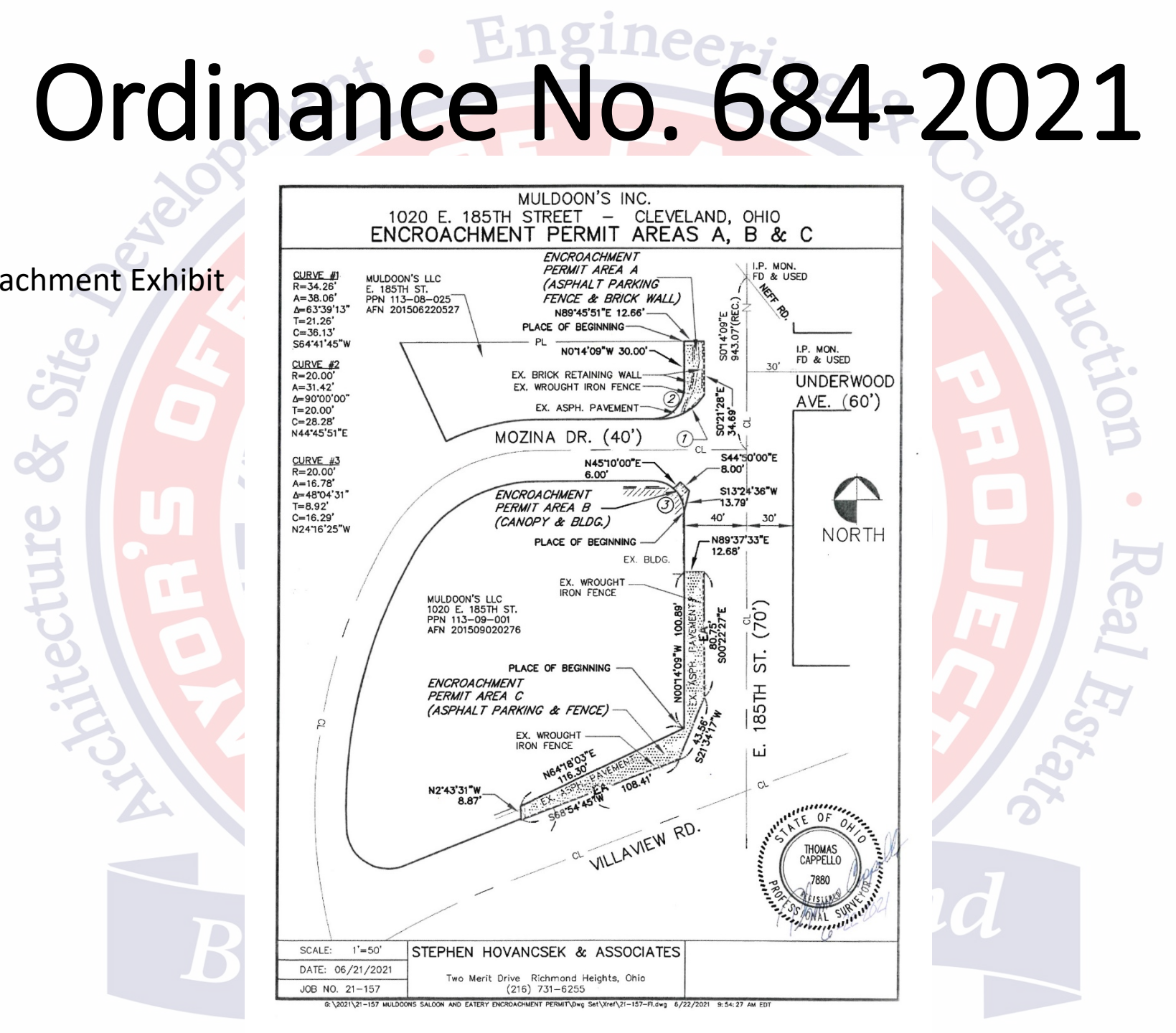
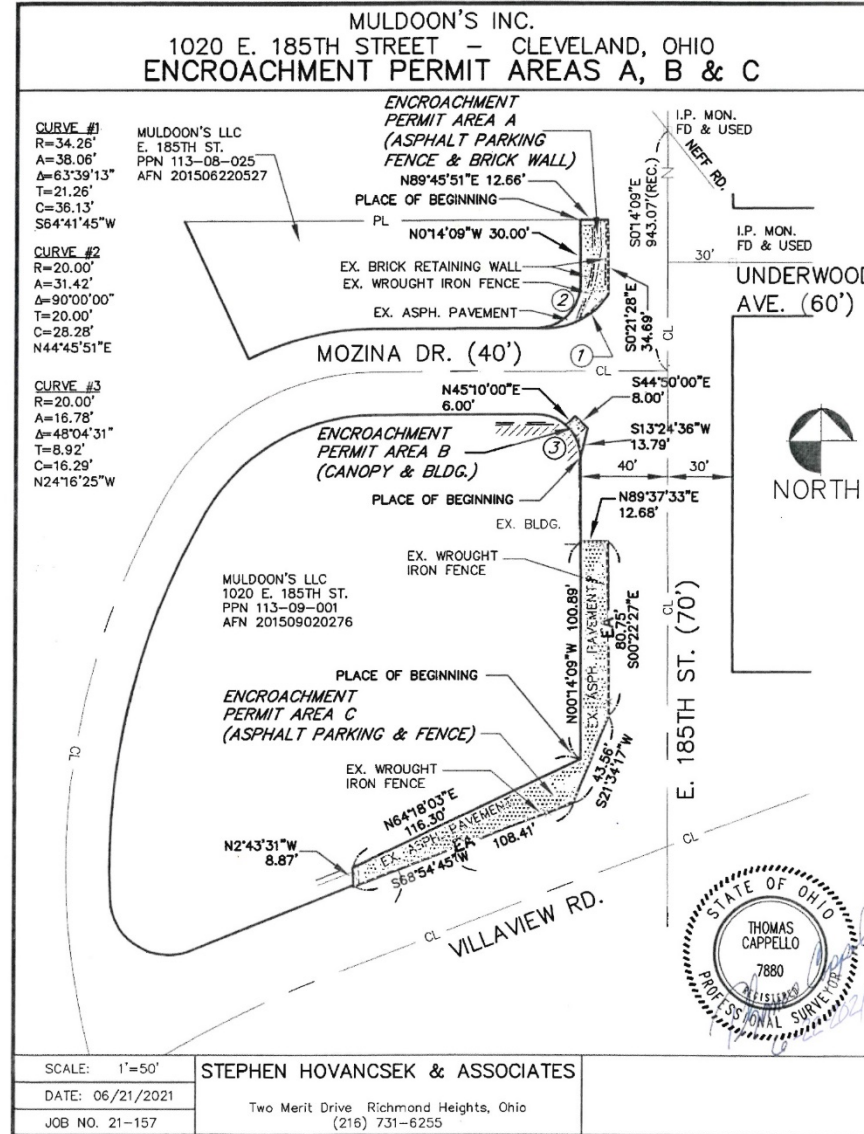
# Ordinance No. 684-2021

Request for Muldoon's LLC located at 1020 East 185<sup>th</sup> Street to encroach into the public right of way by using and maintaining existing asphalt pavement, fence, brick wall, and building canopy for their restaurant

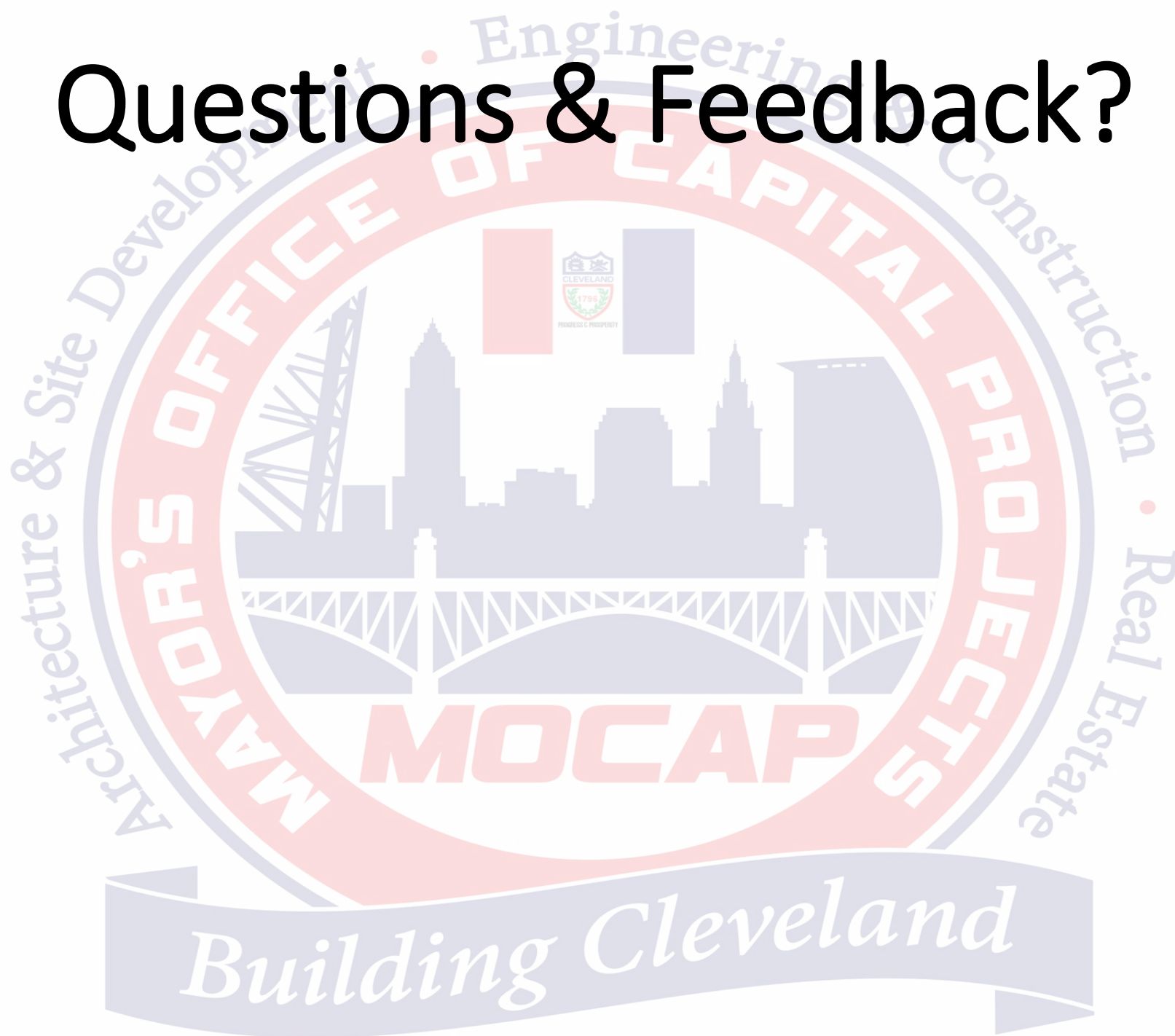


# Ordinance No. 684-2021

Encroachment Exhibit



# Questions & Feedback?





# Mandatory Referrals

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September 3, 2021



Resolution No. 693-2021(Ward 5/Councilmember Gray): Declaring the intent to vacate a portion of Rawlings Avenue between East 75<sup>th</sup> Street and East 79<sup>th</sup> Street, a portion of Holton Avenue between East 75<sup>th</sup> Street and East 79<sup>th</sup> Street and a portion of East 78<sup>th</sup> Street from the south line of Holton Avenue to the prolongation of the south lines of Sublots 84 and 75 in J.H. Hardys' Subdivision.

# City Planning Agenda

Friday, September 3<sup>rd</sup> 2021

Richard Switalski, PE

Administration Bureau Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

*Building Cleveland*

# Resolution No. 693-2021

Declaring the intent to vacate a portions of the following

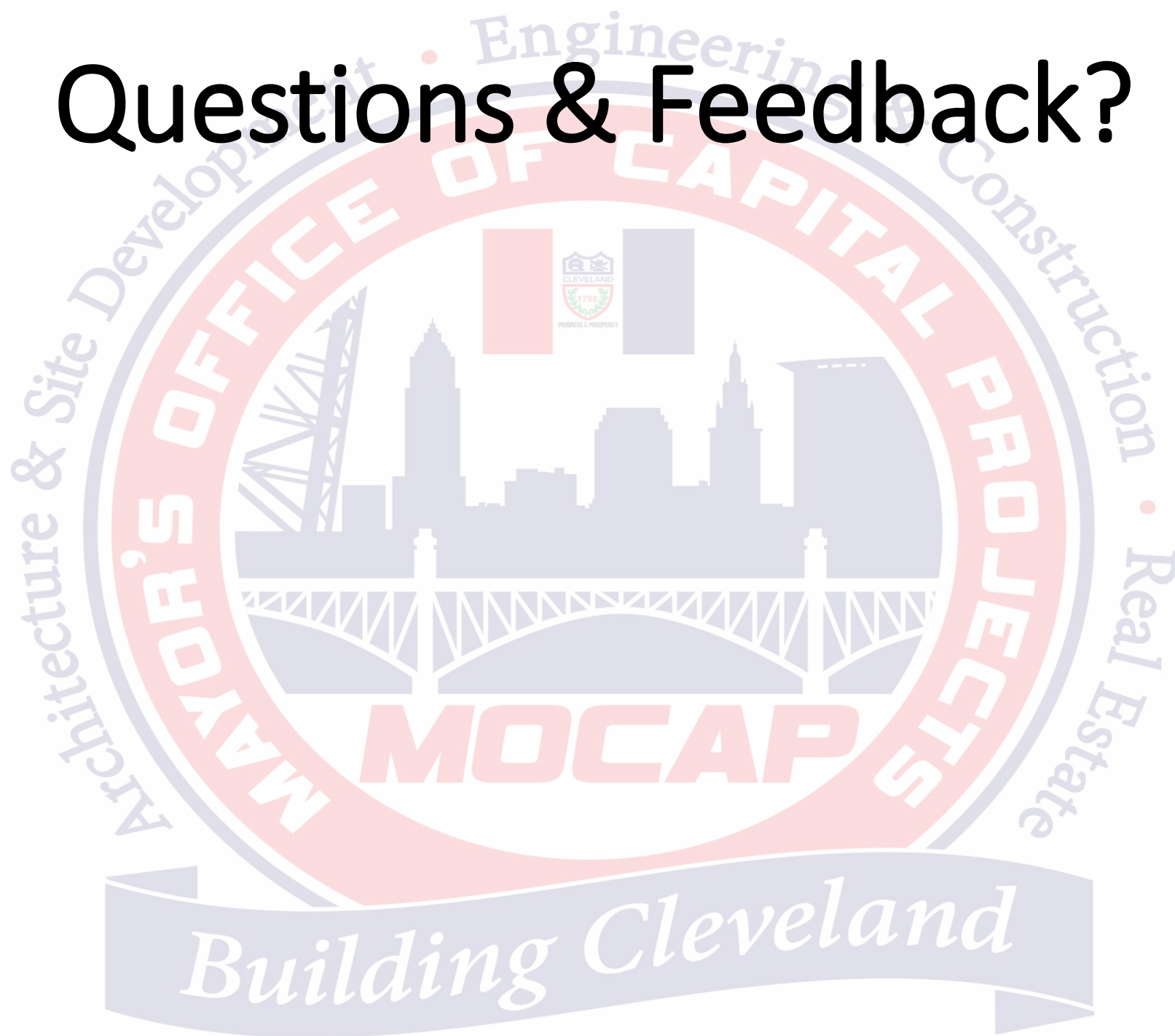
- Rawlings Avenue
  - Between East 75<sup>th</sup> Street and E 79<sup>th</sup> Street
- Holton Avenue
  - between East 75<sup>th</sup> Street and E 79<sup>th</sup> Street
- East 78<sup>th</sup> Street
  - Between the south line of Holton Avenue to the prolongation of the south lines PPN's 124-29-023 & 124-29-022

*Building Cleveland*





# Questions & Feedback?





# Mandatory Referrals

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September 3, 2021



Ordinance No. 695-2021(Ward 6, Councilmember Griffin): Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by Fairfax-Renaissance Development Corporation, or its designee, located on the west side of East 105<sup>th</sup> Street for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the Innovation Square Project.



# Mandatory Referrals

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September 3, 2021



Ordinance No. 696-2021(Ward 14/Councilmember Santana): Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by Levin Group, or its designee, known as the former Blanket Mills building on Fulton Road for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the Northern Ohio Blanket Mills Project.

# Mandatory Referrals

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September 3, 2021



Ordinance No. 697-2021(Ward 14/Councilmember Santana): Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by Northeast Ohio Hispanic Center for Economic Development, or its designee, located in the West 25<sup>th</sup> Street and Clark Avenue area for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the CentroVilla25 Project.

# Mandatory Referrals

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September 3, 2021



Ordinance No. 713-2021(Ward 4/Introduced by Council President Kelley): To change the name of the Ken Johnson Recreation Center to the “Woodland Recreation Center.”



# Cleveland City Planning Commission

## Administrative Approvals

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September 3, 2021



**Ordinance No. 659-2021**(Various Wards in Cleveland): Authorizing the Director of Public Works to execute various deeds of permanent easement and deeds of temporary easement granting to the Northeast Ohio Regional Sewer District certain easement rights at or under several City parks for the NEORSD's Shoreline Storage Tunnel Project and declaring the easement rights not needed for the City's public use; and authorizing an agreement with NEORSD for compensation for such easements and a gift of cash to provide replacement park improvements at the affected parks.



**Ordinance No. 668-2021**(Ward 3/Councilmember McCormack): Authorizing the Director of Capital Projects to apply for and accept funding from the Ohio Department of Transportation for the preliminary alternative study of the Lakefront Pedestrian Bridge; authorizing the Director to apply for and accept gifts, grants, and other funding from other entities; to enter into contract with Osborn Engineering Company for traffic modeling and engineering services; authorizing other agreements; and authorizing the Commissioner of Purchases and Supplies to acquire, accept, and record for right-of-way purposes real property and easements.





**Ordinance No. 685-2021**(Ward 15/Councilmember Spencer): Authorizing the Director of Capital Projects to issue a permit to the Greater Cleveland Regional Transit Authority to encroach into the public rights-of-way of West 63<sup>rd</sup> Place, Corona Court and Lawn Avenue by installing, using, and maintaining a sanitary sewer force main from the existing substation building to the existing sewer along Lawn Avenue.

# Administrative Approvals

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September 3, 2021



**Ordinance No. 690-2021**(Ward 7/Councilmember B. Jones): Authorizing the Director of Capital Projects and/or City Planning to enter into one or more contracts with DFALT LLC for professional services necessary for the design, production, and installation of a yet-to-be-designed public artwork associated with, and installed at, the renovated Kovacic Recreation Center.

# Cleveland City Planning Commission

## Design Review Cases

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September 3, 2021





FW2021-020 – Kamm’s Medical Building Renovation and Addition: Seeking Final Approval

**Project Address: 17730 Lorain Ave.**

Project Representative: Gary Fischer, Architect



# LORAIN ROAD OFFICE BUILDING

## Renovation & Addition

17730 Lorain Road – Cleveland, Ohio

| BUILDING CODE INFORMATION & NOTES |                          |               |           |             |                         |           |
|-----------------------------------|--------------------------|---------------|-----------|-------------|-------------------------|-----------|
| STORY #                           | SEPARATED SPACES         | SPACE SQ. FT. | USE GROUP | CONST. TYPE | TOTAL FLOOR SQUARE FEET | MAX. OCC. |
| 1                                 | DELI RESTAURANT          | 840           |           |             | 7,346                   | 74        |
|                                   | REST. PAHO               | 196           | B         |             |                         |           |
|                                   | TENANT SPACE A           | 1,157         | TBD       |             |                         |           |
|                                   | TENANT SPACE B           | 1,157         | TBD       |             |                         |           |
|                                   | TENANT SPACE C           | 1,157         | TBD       |             |                         |           |
|                                   | TENANT SPACE D           | 1,874         | TBD       |             |                         |           |
| 2                                 | GARAGE/STORAGE           | 918           | U         | R-2         | 8,112                   | 40        |
|                                   | ELEV./CONC./FLOOR/STAR   | 378           | U         |             |                         |           |
|                                   | APARTMENT 202            | 4,942         |           |             |                         |           |
|                                   | APARTMENT 203            | 1,486         |           |             |                         |           |
| 3                                 | APARTMENT 204            | 1,260         |           | R-2         | 4,485                   | 39        |
|                                   | CORRIDOR/ELEV./STAR      | 544           |           |             |                         |           |
|                                   | RES. ASSEMBLY/DECK       | 4,055         |           |             |                         |           |
|                                   | ELEV./CONC./STAR/UTILITY | 430           |           |             |                         |           |

A 4" x 6" PLAQUE WITH THE ABOVE INFORMATION SHALL BE POSTED IN TWO PRIMARY ENTRY AREAS IN THE BUILDING.  
 ALLOWABLE SQ.FT./# OF STORIES/BLDG HT. IN FT. - (B - 69,000SF, 4 STORIES, 75FT.)  
 ALLOWABLE SQ.FT./# OF STORIES/BLDG HT. IN FT. - (R-2 - 64,000SF, 5 STORIES, 75FT)

GOVERNING CODES:  
 2017 OHIO BUILDING CODE, ICC A117.1-2009, 2017 OHIO PLUMBING CODE, 2017 OHIO MECHANICAL CODE, 2017 NATIONAL ELECTRIC CODE, COMPLY WITH OBC CHAPTER 35 FOR NFPA REQUIREMENTS AND ALL APPLICABLE STATE OF OHIO AND LOCAL CODES.  
 A. THIS PERMIT IS FOR THE RENOVATION OF AND ADDITIONS TO THE EXISTING BUILDING.  
 B. THE ENTIRE PROJECT FIRST FLOOR BUILDING IS EXISTING TO REMAIN. TYPICAL UNLESS OTHERWISE INDICATED AND REQUIRED FOR REMODELING, ALTERATIONS AND ADDITION/S. THE ENTIRE SECOND & THIRD FLOOR WILL BE AN ADDITION TO THE EXISTING FIRST FLOOR BUILDING, TYP. AS INDICATED AND REQUIRED.

### GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDING/S APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS. USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENT BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTOR'S RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

REFERENCE COORDINATION NOTES INCLUDING SYMBOL LEGEND, ABBREVIATION LEGEND & GENERAL COORDINATION NOTES/A-101b.  
**DEMOLITION:**  
 PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED. REF. FIRST FLOOR DEMOLITION PLAN & NOTES/A-100 & DEMOLITION INFORMATION SHOWN ON ELEVATIONS/A-200 & A-201.

### STRUCTURAL NOTES: (GENERAL)

- THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND TIE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

### DESIGN CRITERIA:

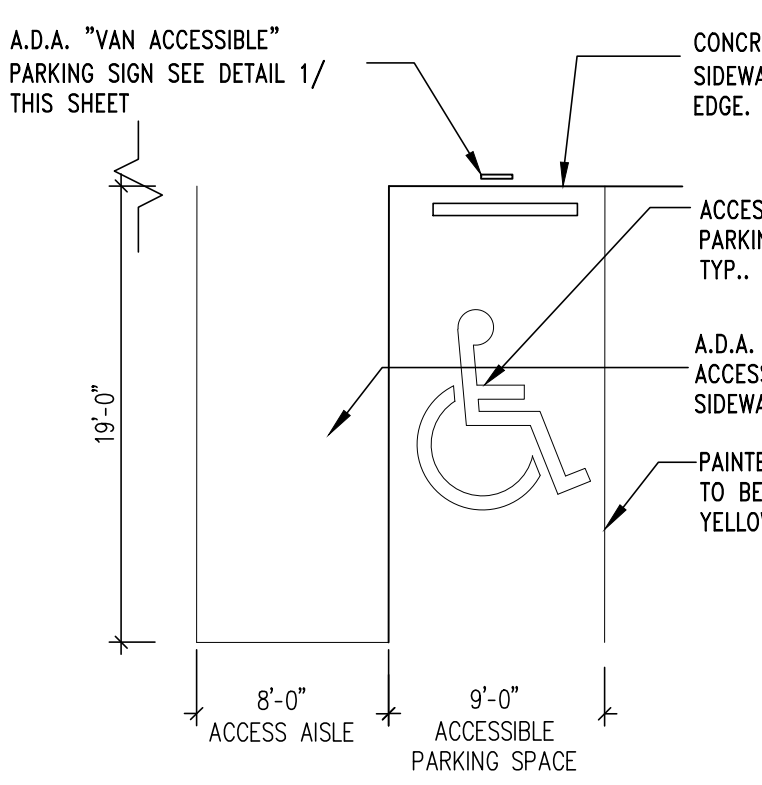
- DEAD LOAD FLOOR - 15 PSF LIVE LOAD FLOOR - 100 PSF
- DEAD LOAD ROOF - 15 PSF LIVE LOAD ROOF - 35 PSF
- WIND LOAD 115 MPH EXPOSURE B
- GROUND SNOW LOAD - 30 PSF
- SEISMIC - SITE CLASSIFICATION (C) USE GROUP (I) DESIGN (A) (WIND LOAD GOVERNS)

### CONCRETE & MASONRY (WHERE APPLICABLE)

- CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
- CAST IN PLACE CONCRETE FOOTINGS TO BE SET ON MIN. 2,000 P.S.F. SOIL BEARING.
- EXTERIOR CONCRETE FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF MIN. 3'-6" BELOW FINISHED GRADE.
- ALL REINFORCING SHALL BE A.S.T.M. A-36.
- CONCRETE MASONRY UNITS, (C.M.U.): ASTM C90 (HOLLOW) ASTM C145 (SOLID).
- MORTAR SHALL BE TYPE S, MINIMUM COMPRESSIVE STRENGTH = 1,800 PSI.
- CORE FILL: ASTM C476, COARSE TYPE.
- ALL CONCRETE MASONRY UNITS AND MORTAR MIX MUST BE MADE UTILIZING DRY BLOCK WATERPROOFING MATERIAL.
- HORIZONTAL JOINT REINFORCING: DURAWALL, MILL GALVANIZED FINISH.
- PROVIDE UNITS OF SIZE/S INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE AND/OR FINISH CANNOT BE PRODUCED FROM STANDARD MATERIAL SHAPES. TYPICAL FOR ALL BRICK MASONRY AND CONCRETE MASONRY UNITS THROUGHOUT.

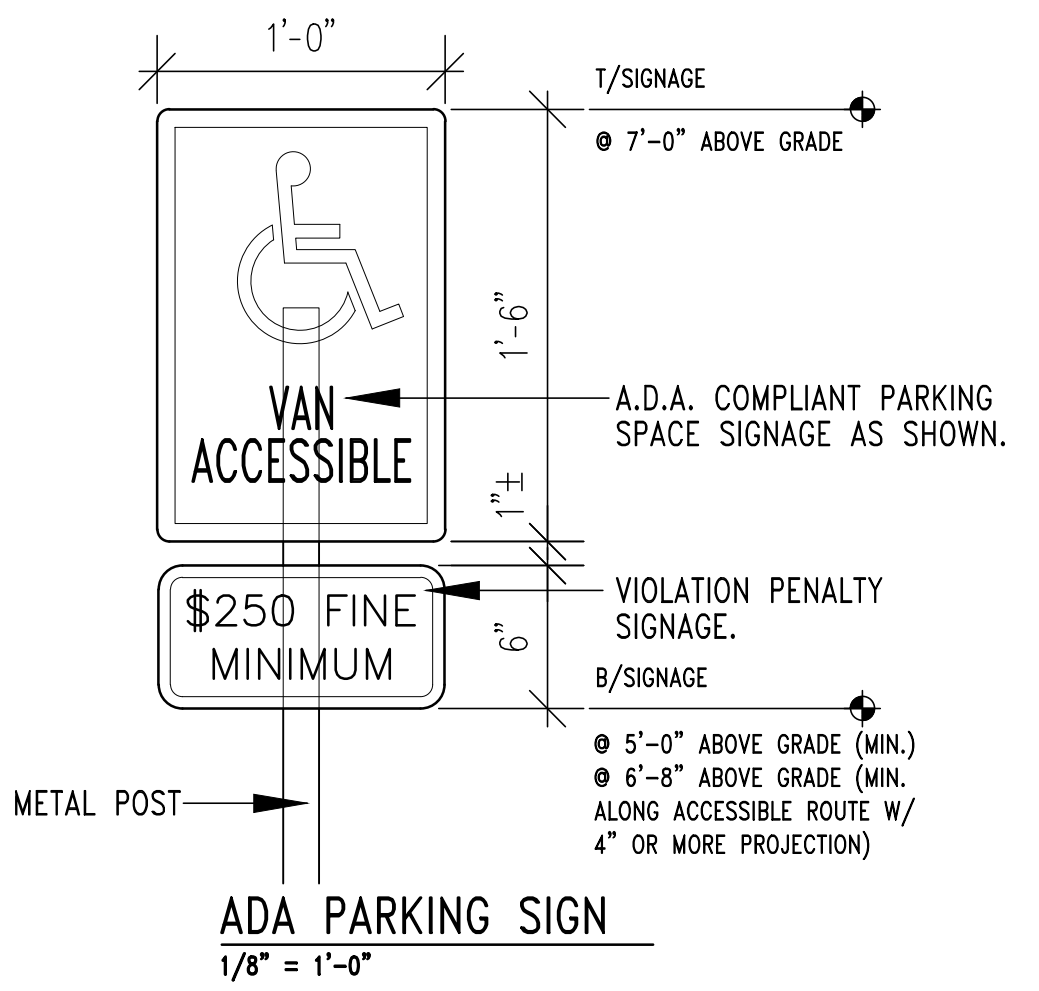
- THIS BUILDING IS EVALUATED UNDER SECTION 508 OF O.B.C. FOR NON SEPARATED & SEPARATED MIX USES.
- BUSINESS TENANT SPACES & RESIDENTIAL TENANT SPACES ARE COMPLETELY SEPARATED BY MIN. 1 HR TENANT SEPARATION WALLS.
- FUTURE BUSINESS TENANT SPACES A,B,C,D WILL BE FILED UNDER SEPARATE FUTURE PERMIT APPLICATIONS IN A MANNER TO ACCOMMODATE APPLICABLE CODES.
- ALL INTERIOR FINISHES SHALL HAVE A MIN. FLAME SPREAD RATING AS FOLLOWS:  
 EXIT ACCESS - FLOORS II . . . WALLS & CEILINGS C  
 ROOMS & SPACES - FLOORS II . . . WALLS & CEILINGS C
- FURNISH AND INSTALL FIRE EXTINGUISHERS ((FE)). NUMBER, TYPE AND LOCATION AS SHOWN AND PER LOCAL FIRE OFFICIAL HAVING JURISDICTION.
- PROVIDE 6"x8" TACTILE EXIT SIGN CENTERED AT 60" A.F.F. ((EXIT)). TYP. AT EXIT ACCESS AND DOOR LOCATIONS AS SHOWN.
- OCCUPANCY LOAD CALCULATION:  
 FIRST FLOOR - ALL TENANT SPACES ARE ASSUMED TO BE CLASSIFICATION B - TOTAL SQ.FT./100SF  
 SECOND FLOOR - RESIDENTIAL - TOTAL SQ.FT./200SF  
 THIRD FLOOR - RESIDENTIAL ASSEMBLY - TOTAL SQ.FT./100SF
- ALL AREAS REQUIRED TO BE ACCESSIBLE SHALL BE IN COMPLIANCE WITH CHAP. 11 OF O.B.C. AND ICC A117.1-2009 INCLUDING BUT NOT LIMITED TO DOORS AND HARDWARE, RESTROOMS AND COUNTERS.
- PER O.B.C. SECTION 1704.1 EXCEPTION 1 AND 1704.1.1 EXCEPTION 1. THIS BUILDING IS OF BASIC CONSTRUCTION AND MATERIALS AND NO SPECIAL INSPECTIONS ARE REQUIRED.
- THERE WILL BE ADEQUATE SERVICE SINK/S, FREE POTABLE DRINKING WATER AND ACCESSIBLE RESTROOM/S WITHIN THE EXISTING BUILDING TENANT SPACE/S.
- THE ENTIRE BUILDING WILL BE FIRE SUPPRESSED AND PROTECTED. REF. SELECTED FIRE PROTECTION CONTRACTORS SHOP DRAWINGS FILED UNDER SEPARATE PERMIT.

| BUILD OUT PROJECT PHASES |              |
|--------------------------|--------------|
| PHASE I                  | FIRST FLOOR  |
| PHASE II                 | SECOND FLOOR |
| PHASE III                | THIRD FLOOR  |

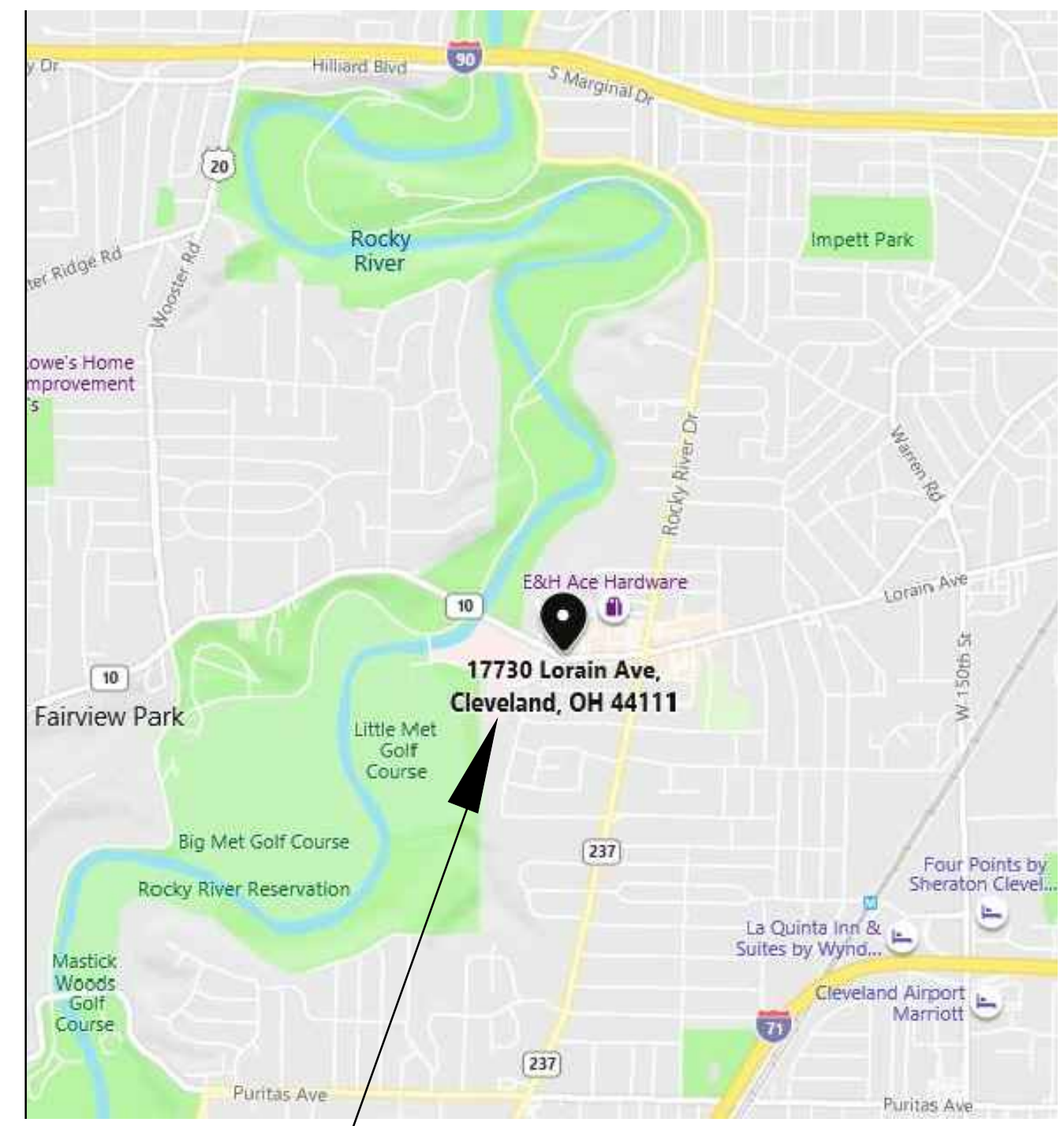


ADA PARKING SPACE  
1/8" = 1'-0"

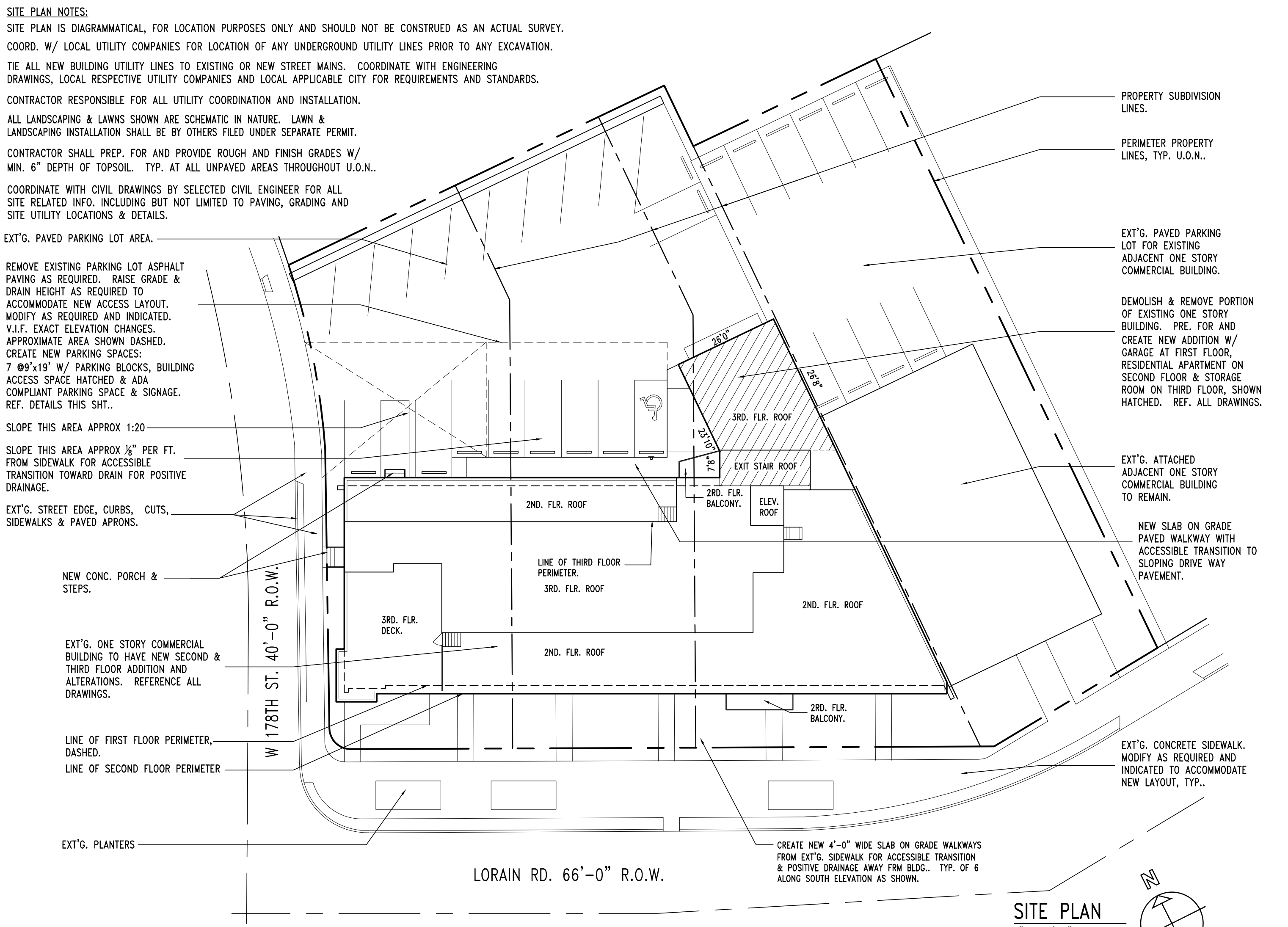
| INDEX TO DRAWINGS |                                                                    |         |                                                                            |
|-------------------|--------------------------------------------------------------------|---------|----------------------------------------------------------------------------|
| G-100             | COVER SHEET-GENERAL NOTES-SITE PLANS-DETAILS                       | A-301   | ARCH.-FNDN. & FTG. SECTION DETAILS-STRUCT. SPECS.                          |
| A-100             | ARCH.-FIRST FLOOR DEMOLITION PLAN-NOTES-FOUNDATION PLAN, SCHEDULES | A-302   | SECTION DETAILS & RELATED NOTES                                            |
| A-101a            | STRUCT.-1ST. & 2ND FLOOR PLANS-SCHEDULES-NOTES                     | A-303   | DETAILS                                                                    |
| A-101b            | STRUCT.-3RD. FLOOR & ROOF PLANS-LEDGENDS-NOTES                     | MPE-100 | ENGINEERING MECHANICAL-PLUMBING & H.V.A.C. PLANS-H.V.A.C. NOTES & SCHEDULE |
| A-102             | ARCH.-FIRST FLOOR PLAN-KEYED NOTES-REF. CLG. PLAN                  | MPE-101 | ENGINEERING MECHANICAL-PLUMBING & H.V.A.C. PLAN-H.V.A.C. SPECS.-DETAILS    |
| A-103             | ARCH.-SECOND FLOOR PLAN-KEYED NOTES                                | MPE-102 | ENGINEERING MECHANICAL-PLUMBING RISER DIAGRAMS                             |
| A-104             | ARCH.-2ND. FLOOR ROOF/3RD. FLOOR PLAN-KEYED NOTES                  | MPE-103 | ENGINEERING ELECTRICAL PLANS                                               |
| A-105             | ARCH. SCHEDULES & RELATED NOTES                                    | MPE-104 | ENGINEERING ELECTRICAL PLAN-SCHEDULE-SPECS. & NOTES                        |
| A-200             | ARCH.-ELEVATIONS                                                   | MPE-105 | ENGINEERING ELECTRICAL RISER/PANEL DIAGRAMS & NOTES                        |
| A-201             | ARCH.-ELEVATIONS                                                   |         |                                                                            |
| A-300             | ARCH.-SECTIONS-DETAILS                                             |         |                                                                            |



ADA PARKING SIGN  
1/8" = 1'-0"



LOCATION MAP  
NO SCALE



SITE PLAN  
1" = 20'-0"

## FISCHER & ASSOCIATES



## ARCHITECTS INC.

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|                         |          |
|-------------------------|----------|
| Fischer & Associates    | © 2020   |
| ISSUE:                  | DATE:    |
| PRELIM BG               | 01/29/20 |
| PROGRESS                | 05/06/20 |
| PROGRESS                | 06/20/20 |
| PROGRESS STRUCT.        | 06/25/20 |
| PROGRESS GENERAL.       | 07/06/20 |
| CLIENT REV.             | 08/12/20 |
| CLIENT REV. PROGRESS    | 09/14/20 |
| CLIENT REV. STRUCT REV. | 09/18/20 |
| FINAL REVIEW            | 10/20/20 |
| CLIENT REV. GENERAL     | 12/10/20 |
| CLIENT REV. GENERAL     | 04/01/21 |
| CLIENT REV. GENERAL     | 04/14/21 |
| CLIENT REV. GENERAL     | 04/28/21 |
| CLIENT REV. GAR. DR.    | 05/14/21 |

Client Name/Project Name/Address

# RIVER EDGE BUILDING (Renovations & Addition)

17730 Lorain Road  
Cleveland, Ohio

Drawing Name

COVER SHEET-GENREL NOTES-  
 SITE PLAN-LOCATION MAP-  
 SITE PLAN DETAILS

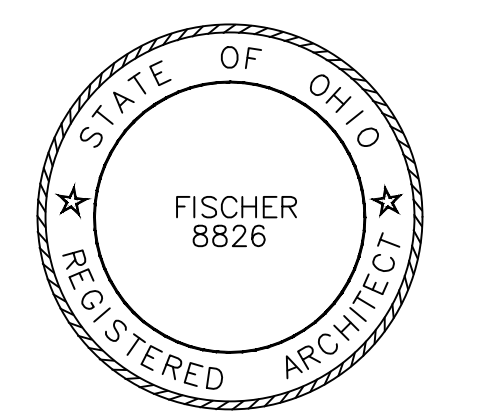
Fischer Project Number

20.001

SHEET #

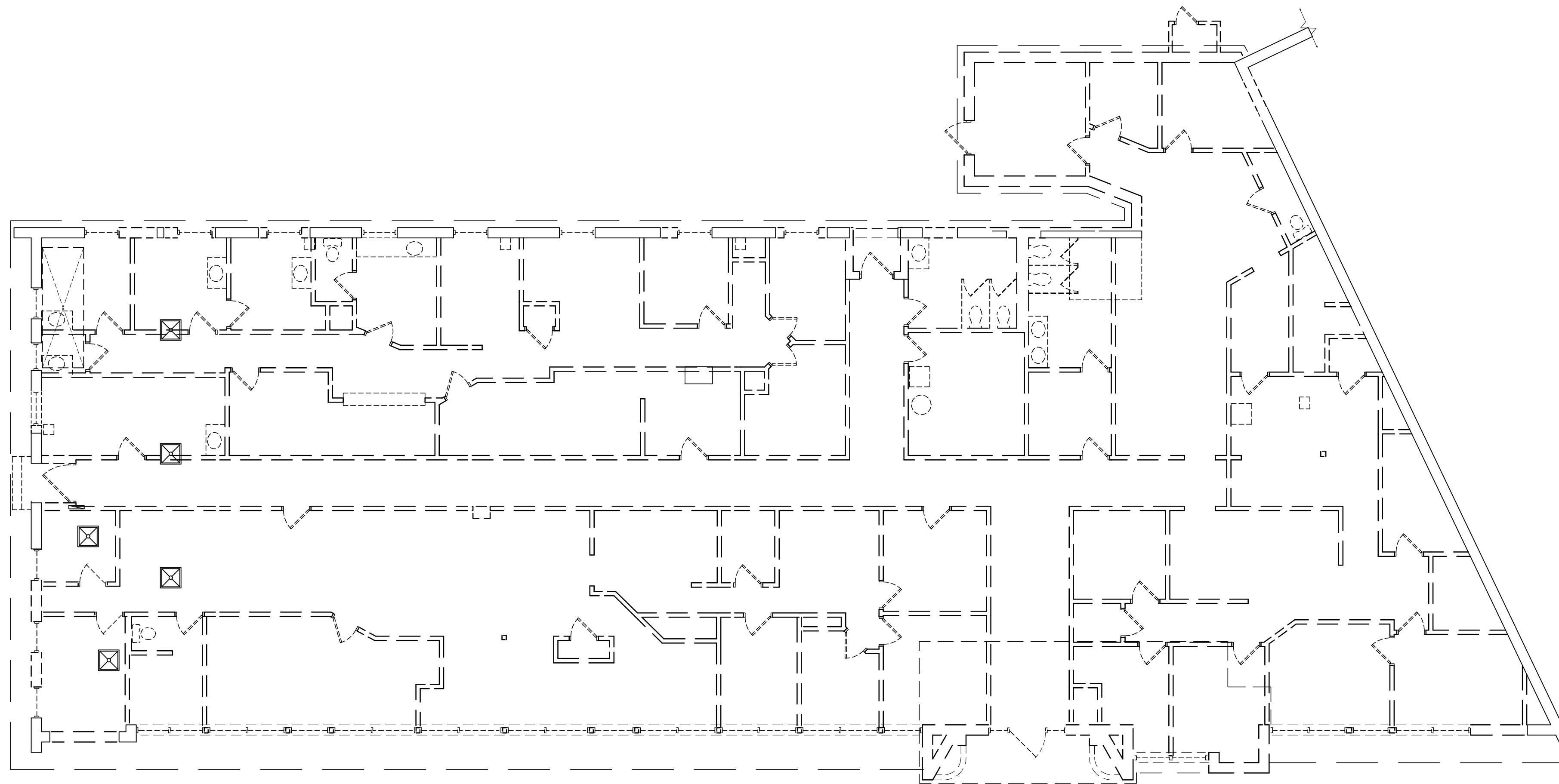
# G-100

Seal



GARY FISCHER LICENSE #8826  
 EXPIRATION DATE 12/31/2022

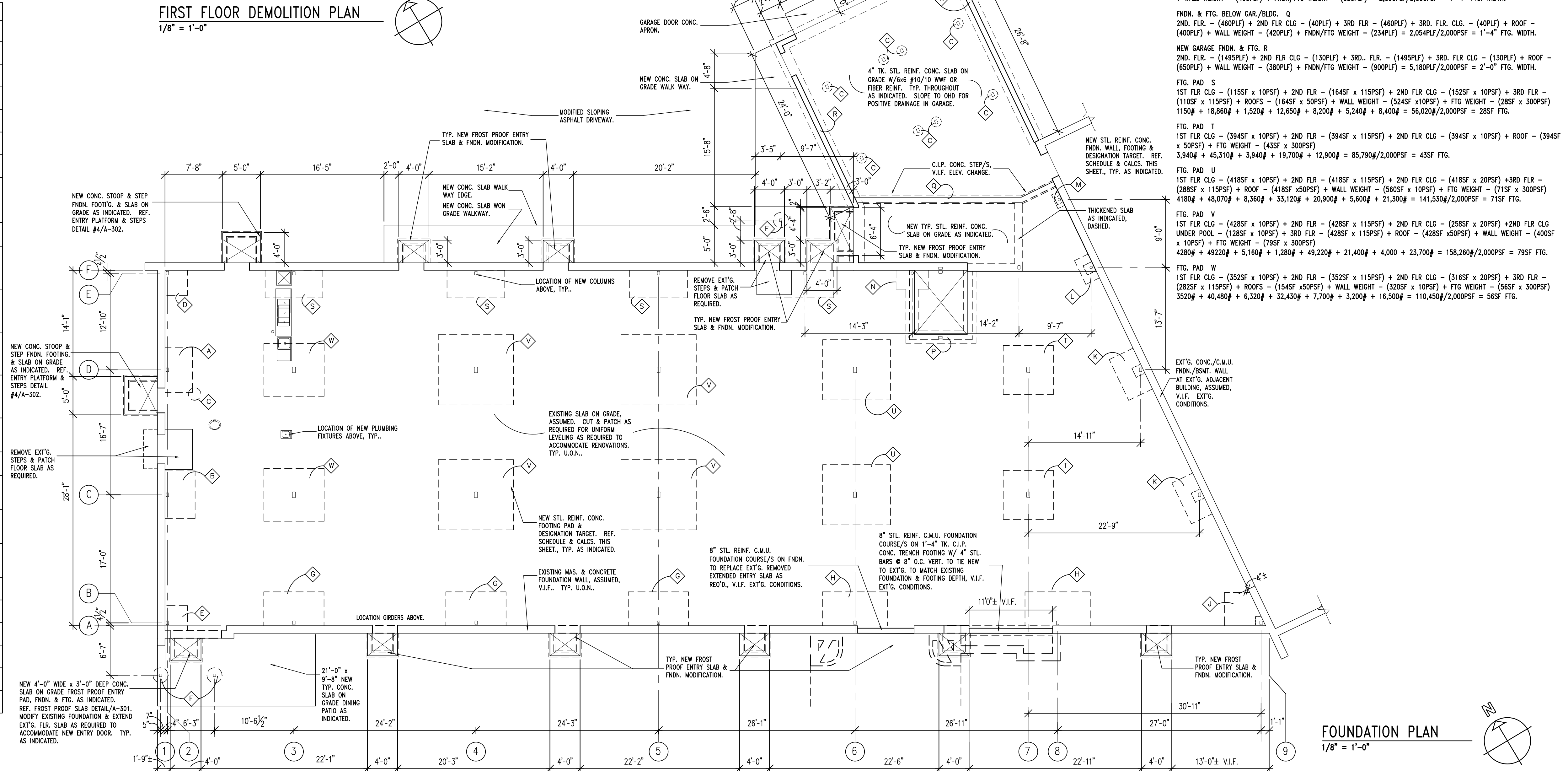




**FIRST FLOOR DEMOLITION PLAN**  
1/8" = 1'-0"

| TARGET | COLUMN FOOTING                                                                     | COL. FTG. REINF.                                                            | NOTES                                                                                       |
|--------|------------------------------------------------------------------------------------|-----------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
| ◇      | 6'-0" x 3'-8" x 2'-0" DEEP FOOTING PAD.                                            | 6 #6s ONE WAY & 3 #6s ONE WAY AT BOTTOM.                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 6'-4" x 4'-0" x 2'-0" DEEP FOOTING PAD.                                            | 6 #6s ONE WAY & 4 #6s ONE WAY AT BOTTOM.                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 1'-8" x 1'-0" DEEP SPIRAL STAIR FOOTING PAD.                                       | 2 #5s EA. WAY AT BOTTOM.                                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 3'-4" x 3'-0" x 2'-0" DEEP FOOTING PAD.                                            | 3 #5s EA. WAY AT BOTTOM.                                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 3'-4" x 4'-0" x 2'-0" DEEP FOOTING PAD.                                            | 3 #5s EA. WAY AT BOTTOM.                                                    | SET FOOTING PIER UNDER SLAB.                                                                |
| ◇      | 2'-0" x 3'-6" DEEP SONOTUBE FOOTING.                                               | 2 #6s EACH WAY AT BOTTOM.                                                   | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 8'-0" x 4'-6" x 2'-0" DEEP FOOTING PAD.                                            | 8 #6s ONE WAY & 4 #6s ONE WAY AT BOTTOM.                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 8'-8" x 4'-6" x 2'-0" DEEP FOOTING PAD.                                            | 9 #6s ONE WAY & 5 #6s ONE WAY AT BOTTOM.                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | NOT USED                                                                           | ----                                                                        | ----                                                                                        |
| ◇      | 1'-4" x 1'-4" FNDN. PIER ON 4'-6" x 3'-3" x 2'-0" DEEP FOOTING PAD.                | 4 #5 VERT. IN FNDN. PIER & 4 #6s EA. WAY AT BOTTOM OF FTG.                  | SET FOOTING PAD BOTTOM AT DEPTH OF EXTG. ADJACENT BLDG. BSMT. FTG. FOR UNDISTURBED BEARING. |
| ◇      | 1'-4" x 1'-4" FNDN. PIER ON 6'-0" x 3'-6" x 2'-0" DEEP FOOTING PAD.                | 4 #5 VERT. IN FNDN. PIER & 6 #6s ONE WAY & 3 #6s ONE WAY AT BOTTOM.         | SET FOOTING PAD BOTTOM AT DEPTH OF EXTG. ADJACENT BLDG. BSMT. FTG. FOR UNDISTURBED BEARING. |
| ◇      | 1'-4" x 1'-4" FNDN. PIER ON 3'-0" x 2'-4" x 2'-0" DEEP FOOTING PAD.                | 4 #5 VERT. IN FNDN. PIER & 5 #6s EA. WAY AT BOTTOM.                         | SET FOOTING PAD BOTTOM AT DEPTH OF EXTG. ADJACENT BLDG. BSMT. FTG. FOR UNDISTURBED BEARING. |
| ◇      | 1'-0" x 1'-0" FNDN. PIER ON 2'-0" x 1'-0" x 2'-0" DEEP FOOTING PAD.                | 2 #5 VERT. IN FNDN. PIER & 2 #6s EA. WAY AT BOTTOM.                         | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 4'-4" x 2'-6" x 1'-0" DEEP FOOTING PAD INTEGRAL WITH & AT SAME DEPTH OF ELEV. FTG. | 4 #6s ONE WAY & 3 #6s ONE WAY AT BOTTOM.                                    | VERIFY DEPTH OF ELEV. FOOTING WITH REQUIRED CRAWL SPACE UNDER ELEVATOR.                     |
| ◇      | NOT USED                                                                           | ----                                                                        | ----                                                                                        |
| ◇      | 8" TK. CONT. FNDN. WALL ON 1'-4" x 1'-0" DEPTH SPREAD FTG.                         | 3 #6s CONT. AT BOTTOM OF FTG. & VERT. #5s AT 16" O.C. IN FNDN.              | VERIFY DEPTH OF ELEV. FOOTING WITH REQUIRED CRAWL SPACE UNDER ELEVATOR.                     |
| ◇      | 8" TK. CONT. FNDN. WALL ON 1'-4" TK. x 1'-4" DEPTH CONT. SPREAD FTG.               | 2 #6s CONT. AT BOTTOM OF FTG.                                               | STEP FOOTING DOWN TO EXTERIOR WALL FOOTINGS FOR SOLID BEARING.                              |
| ◇      | 8" STL. REIN. C.M.U. FNDN. WALL ON 2'-0" TK. x 2'-0" DEPTH CONT. SPREAD FTG.       | 3 #6s CONT. AT BOTTOM OF FTG. & #5 VERT. ANCHORS AT 4'-0" O.C. BELOW GRADE. | NEW GARAGE FOUNDATION. FOOTING MIN. 3'-6" BELOW GRADE.                                      |
| ◇      | 7'-8" x 3'-8" x 2'-0" DEEP FOOTING PAD.                                            | 8 #6s ONE WAY & 4 #6s ONE WAY AT BOTTOM.                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 6'-8" x 6'-6" x 2'-0" DEEP FOOTING PAD.                                            | 6 #6s EA. WAY AT BOTTOM.                                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 9'-0" x 8'-0" x 2'-0" DEEP FOOTING PAD.                                            | 9 #6s ONE WAY & 8 #6s ONE WAY AT BOTTOM.                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 10'-0" x 9'-4" x 2'-0" DEEP FOOTING PAD.                                           | 10 #6s ONE WAY & 9 #6s ONE WAY AT BOTTOM.                                   | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 8'-0" x 7'-0" x 2'-0" DEEP FOOTING PAD.                                            | 8 #6s ONE WAY & 7 #6s ONE WAY AT BOTTOM.                                    | SET FOOTING PAD UNDER SLAB.                                                                 |
| ◇      | 2'-0" SONOTUBE PER FTG. BOTTOM OF FTG. MIN. 3'-6" BELOW GRADE.                     | 2 #5s EA. WAY AT BOTTOM.                                                    | SET FOOTING PIER UNDER SLAB.                                                                |

**SPECIAL FOUNDATION NOTES:**  
COORDINATE WITH FOUNDATION PLAN/A-100 FOR LOCATION OF FOUNDATIONS & FOOTINGS. REF. SECTION DETAILS/A-301 FOR ALL NEW FOUNDATION, COLUMN FOOTING AND PIER INFORMATION.  
ALL NEW FOUNDATION PIERS & FOOTINGS SHALL BE STEEL REIN. CAST IN PLACE CONCRETE SET ON UNDISTURBED SOIL BEARING. TYP. U.O.N..



**FOUNDATION PLAN**  
1/8" = 1'-0"

**GENERAL DEMOLITION NOTES:**

- PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE NEW ADDITIONS & ALTERATION LAYOUTS. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTING AND/OR NEW ADJACENT WALLS, FLOORS AND CEILINGS IN A MANNER TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.
- ALL SAFEGUARDS FOR DEMOLITION SHALL FOLLOW O.B.C. CHAPTER 33.
- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- ALL DEMOLITION DIMENSIONS ARE TO BE FIELD VERIFIED AND COORDINATED WITH FLOOR PLAN INFORMATION.
- COORDINATE ALL ASPECTS OF DEMOLITION WITH NEW FLOOR AND ENGINEERING PLANS, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DWGS. (WHERE APPLICABLE).
- CONTRACTOR SHALL VISIT JOB SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH WILL AFFECT THE EXECUTION OF WORK. IF ADDITIONAL INTERPRETATION IS REQUIRED REGARDING THE DEMOLITION INTENT, CONTACT THE ARCHITECT PRIOR TO START OF WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO OBTAIN THIS INFORMATION.
- PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK AS SHOWN. ALL DEMOLITION IS SHOWN DASHED U.O.N..
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTAINING FOLLOWING DURING WORK:  
A. FIRE EXTINGUISHERS IN COMPLIANCE WITH LOCAL BUILDING CODE AND FIRE MARSHALL  
B. DEBRIS DISPOSAL AND DUMPSTER  
C. INTERIOR AND EXTERIOR DUST CONTROL/SANITARY SAFEGUARDS  
D. ALL EXITS  
E. EXISTING STRUCTURAL ELEMENTS
- PROVIDE SHORING/BRACING AS REQUIRED AT ALL AREAS OF DEMOLITION. STRUCTURE SHALL BE SELF-SUPPORTING AFTER DEMOLITION IS COMPLETE.
- INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, AND PERMITS NECESSARY FOR COMPLETION OF THE DEMOLITION WORK. PROVIDE PROTECTION FOR ALL ADJACENT AREAS BEFORE, DURING AND AFTER EXECUTION OF THE DEMOLITION WORK.
- PROVIDE ALL CUTTING OF EXISTING WALLS, FLOORS & CEILINGS AS REQUIRED TO ACCOMMODATE NEW LAYOUT.
- CAP OFF OR DISCONNECT ALL UNUSED PLUMBING, HVAC & ELECTRICAL BEHIND WALLS, ABOVE CEILING OR UNDER FLOORS.
- CONTRACTOR SHALL ENSURE THAT ALL EXTERIOR OPENINGS ARE CLOSED OFF AS REQUIRED TO SECURE AGAINST INTRUSION, WEATHER, ETC. DURING ALL PHASES OF THE DEMOLITION WORK.
- CONTRACTOR SHALL GIVE OWNER/TENANT FIRST RIGHT TO SALVAGE ANY AND ALL EXISTING ITEMS, EQUIPMENT, MATERIALS, ETC. ALL ITEMS TO BE SALVAGED BY THE OWNER SHALL BE CAREFULLY REMOVED AND STORED ON SITE BY THE CONTRACTOR FOR SALVAGE BY THE OWNER. ALL OTHER MATERIALS, EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- IN THE REMOVAL OF ANY PART OF A DRAINAGE SYSTEM, DEAD ENDS SHALL BE PROHIBITED. CLEANOUT EXTENSIONS AND APPROVED FUTURE DRAINAGE SHALL NOT BE CONSIDERED AS DEAD ENDS PER OHIO PLUMBING CODE SECTION 704.5.
- COORDINATE UTILITY SERVICE OUTAGES WITH THE UTILITY COMPANIES.
- ALL ITEMS NOT INDICATED AS TO BE REMOVED OR RELOCATED SHALL REMAIN. PLEASE VERIFY WITH ARCHITECT PRIOR TO REMOVAL OF ANY ITEMS WHICH HAVE NOT BEEN IDENTIFIED ON ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS.

**FOOTING & FOUNDATION LOAD CALCULATIONS**

**FIG. PAD A**  
1ST FLR CLG - (955F x 10PSF) + 2ND FLR - (965F x 115PSF) + 2ND FLR CLG - (1055F x 10PSF) + 3RD FLR - (875F x 115PSF) + ROOFS - (1485F x 50PSF) + WALL WEIGHT - (5945F x 10PSF) + FTG WEIGHT - (21.55F x 300PSF) = 950# + 11,040# + 1,050# + 10,005# + 7,400# + 5940# + 6,450# = 42,685#/2,000PSF = 21.55F FTG.

**FIG. PAD B**  
1ST FLR CLG - (1425F x 10PSF) + 2ND FLR - (1585F x 115PSF) + 2ND FLR CLG - (1955F x 10PSF) + 3RD FLR - (1195F x 115PSF) + ROOF - (395F x 50PSF) + WALL WEIGHT - (4405F x 10PSF) + FTG WEIGHT - (255F x 300PSF) = 1,420# + 18,170# + 2,100# + 13,685# + 1,950# + 4,400# + 7,500# = 49,225#/2,000PSF = 25F FTG.

**SPIRAL STAIR FTG. PAD C**  
1ST TO 2ND & 2ND TO 3RD FLR - (175F x 2 x 100PSF) + FTG WEIGHT (25F x 300PSF) = 3,400# + 600# = 4,000#/2,000PSF = 2SF FTG.

**FIG. PAD D**  
1ST FLR CLG - (765F x 10PSF) + 2ND FLR - (765F x 115PSF) + ROOF - (765F x 50PSF) + WALL WEIGHT - (2805F x 10PSF) + FTG WEIGHT - (9.55F x 300PSF) = 760# + 8,740# + 3,800# + 2,800# + 2,850# = 18,950#/2,000PSF 12SF FTG.

**FIG. PAD E**  
1ST FLR CLG - (765F x 10PSF) + 2ND FLR - (765F x 115PSF) + ROOF DECK - (765F x 115PSF) + WALL WEIGHT - (3045F x 10PSF) + FTG WEIGHT - (12.55F x 300PSF) = 760# + 8,740# + 8,740# + 3,040# + 3,750# = 25,030#/2,000PSF 12.5SF FTG.

**FIG. PAD F**  
2ND FLR - (205F x 115PSF) + ROOF DECK - (205F x 115PSF) + WALL WEIGHT - (635F x 10PSF) + FTG WEIGHT - (25F x 300PSF) = 2,300# + 2,300# + 630# + 1,050# = 6,280#/2,000PSF 3SF FTG.

**FIG. PAD G**  
1ST FLR CLG - (1905F x 10PSF) + 2ND FLR - (2385F x 115PSF) + 2ND FLR CLG - (2385F x 10PSF) + ROOF DECK - (2385F x 115PSF) + WALL WEIGHT - (3255F x 10PSF) + FTG WEIGHT - (385F x 300PSF) = 1,900# + 27,370# + 2,380# + 27,370# + 2,350# + 10,800# = 72,170#/2,000PSF 36SF FTG.

**FIG. PAD H**  
1ST FLR CLG - (2405F x 10PSF) + 2ND FLR - (3405F x 115PSF) + 2ND FLR CLG - (3405F x 10PSF) + ROOF - (3405F x 50PSF) + WALL WEIGHT - (4505F x 10PSF) + FTG WEIGHT - (395F x 300PSF) = 2,400# + 39,100# + 3,400# + 17,000# + 4,500# + 17,000# = 78,100#/2,000PSF 39SF FTG.

**FIG. PAD J**  
1ST FLR CLG - (1125F x 10PSF) + 2ND FLR - (1605F x 115PSF) + 2ND FLR CLG - (1605F x 10PSF) + ROOF - (1605F x 50PSF) + WALL WEIGHT - (2485F x 10PSF) + FTG WEIGHT - (195F x 300PSF) = 1,120# + 18,400# + 1,600# + 8,000# + 2,480# + 5,700# = 37,300#/2,000PSF 19SF FTG.

**FIG. PAD K**  
1ST FLR CLG - (1955F x 10PSF) + 2ND FLR - (1955F x 115PSF) + 2ND FLR CLG - (1955F x 10PSF) + ROOF - (1955F x 50PSF) + FTG WEIGHT - (215F x 300PSF) = 1,950# + 22,425# + 1,950# + 9,750# + 6,300# = 42,375#/2,000PSF 21SF FTG.

**FIG. PAD L**  
1ST FLR CLG - (625F x 10PSF) + 2ND FLR - (625F x 115PSF) + 2ND FLR CLG - (625F x 10PSF) + ROOF - (625F x 50PSF) + FTG WEIGHT - (75F x 300PSF) = 620# + 7,130# + 620# + 3,100# + 2,100# = 13,570#/2,000PSF 7SF FTG.

**FIG. PAD M**  
1ST FLR CLG - (175F x 10PSF) + 2ND FLR - (175F x 115PSF) + 2ND FLR CLG - (175F x 10PSF) + ROOF - (175F x 50PSF) + FTG WEIGHT - (25F x 150PSF) = 170# + 1,955# + 170# + 850# + 600# = 3,745#/2,000PSF = 2SF FTG.

**FIG. PAD N**  
1ST FLR CLG - (465F x 10PSF) + 2ND FLR - (465F x 115PSF) + 2ND FLR CLG - (465F x 10PSF) + 3RD FLR - (755F x 115PSF) + ROOF - (645F x 50PSF) + FTG WEIGHT - (115F x 300PSF) = 460# + 5,290# + 460# + 8,625# + 3,200# + 2,800# = 21,335#/2,000PSF = 11SF FTG.

**FNDN. & FTG. BELOW ELEVATOR P**  
1ST FLR CLG - (20PLF) + 2ND FLR - (230PLF) + 2ND FLR CLG - (20PLF) + 3RD FLR - (230PLF) + ROOF - (450PLF) + WALL WEIGHT - (400PLF) + FNDN./FTG WEIGHT - (650PLF) = 2,000PLF/2,000PSF = 1'-4" FTG. WIDTH.

**FNDN. & FTG. BELOW GAR./BLDG. Q**  
2ND FLR - (460PLF) + 2ND FLR CLG - (40PLF) + 3RD FLR - (460PLF) + 3RD FLR CLG - (40PLF) + ROOF - (400PLF) + WALL WEIGHT - (420PLF) + FNDN./FTG WEIGHT - (234PLF) = 2,054PLF/2,000PSF = 1'-4" FTG. WIDTH.

**NEW GARAGE FNDN. & FTG. R**  
2ND FLR - (1495PLF) + 2ND FLR CLG - (130PLF) + 3RD FLR - (1495PLF) + 3RD FLR CLG - (130PLF) + ROOF - (650PLF) + WALL WEIGHT - (380PLF) + FNDN./FTG WEIGHT - (900PLF) = 5,180PLF/2,000PSF = 2'-0" FTG. WIDTH.

**FIG. PAD S**  
1ST FLR CLG - (1155F x 10PSF) + 2ND FLR - (1645F x 115PSF) + 2ND FLR CLG - (1525F x 10PSF) + 3RD FLR - (1105F x 115PSF) + ROOFS - (1645F x 50PSF) + WALL WEIGHT - (5245F x 10PSF) + FTG WEIGHT - (285F x 300PSF) = 1150# + 18,860# + 1,520# + 12,650# + 5,240# + 8,400# = 56,020#/2,000PSF = 28SF FTG.

**FIG. PAD T**  
1ST FLR CLG - (3945F x 10PSF) + 2ND FLR - (3945F x 115PSF) + 2ND FLR CLG - (3945F x 10PSF) + ROOF - (3945F x 50PSF) + FTG WEIGHT - (435F x 300PSF) = 3,940# + 45,310# + 3,940# + 19,700# + 12,900# = 85,790#/2,000PSF = 43SF FTG.

**FIG. PAD U**  
1ST FLR CLG - (4185F x 10PSF) + 2ND FLR - (4185F x 115PSF) + 2ND FLR CLG - (4185F x 10PSF) + 3RD FLR - (2885F x 115PSF) + ROOF - (4185F x 50PSF) + WALL WEIGHT - (5605F x 10PSF) + FTG WEIGHT - (715F x 300PSF) = 4180# + 48,070# + 8,360# + 33,120# + 20,900# + 5,600# + 21,300# = 141,530#/2,000PSF = 71SF FTG.

**FIG. PAD V**  
1ST FLR CLG - (4285F x 10PSF) + 2ND FLR - (4285F x 115PSF) + 2ND FLR CLG - (2585F x 20PSF) + 2ND FLR CLG UNDER POOL - (1285F x 10PSF) + 3RD FLR - (4285F x 115PSF) + ROOF - (4285F x 50PSF) + WALL WEIGHT - (4005F x 10PSF) + FTG WEIGHT - (795F x 300PSF) = 4280# + 49,220# + 5,160# + 1,280# + 21,400# + 4,000 + 23,700# = 158,260#/2,000PSF = 79SF FTG.

**FIG. PAD W**  
1ST FLR CLG - (3525F x 10PSF) + 2ND FLR - (3525F x 115PSF) + 2ND FLR CLG - (3165F x 20PSF) + 3RD FLR - (2825F x 115PSF) + ROOFS - (1545F x 50PSF) + WALL WEIGHT - (3205F x 10PSF) + FTG WEIGHT - (565F x 300PSF) = 3520# + 40,480# + 6,320# + 32,430# + 7,700# + 3,200# + 16,500# = 110,450#/2,000PSF = 56SF FTG.

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| ISSUE:                  | DATE:    |
| PRELIM BG               | 01/29/20 |
| PROGRESS                | 05/06/20 |
| PROGRESS                | 06/20/20 |
| PROGRESS STRUCT.        | 06/25/20 |
| PROGRESS GENERAL        | 07/06/20 |
| CLIENT REV.             | 08/12/20 |
| CLIENT REV. PROGRESS    | 09/14/20 |
| CLIENT REV. STRUCT REV. | 09/18/20 |
| FINAL REVIEW            | 10/20/20 |
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| CLIENT REV. GENERAL     | 04/14/21 |
| CLIENT REV. GENERAL     | 04/28/21 |
| CLIENT REV. GAR. DR.    | 05/14/21 |

Client Name/Project Name/Address

**RIVER EDGE BUILDING**  
(Renovations & Addition)  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name  
ARCHITECTURAL-  
FIRST FLOOR DEMOLITION PLAN-NOTES  
FOUNDATION PLAN-SCHEDULES

Fischer Project Number  
20.001  
SHEET #

A-100

Seal  
STATE OF OHIO  
REGISTERED ARCHITECT  
FISCHER  
8826  
GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022

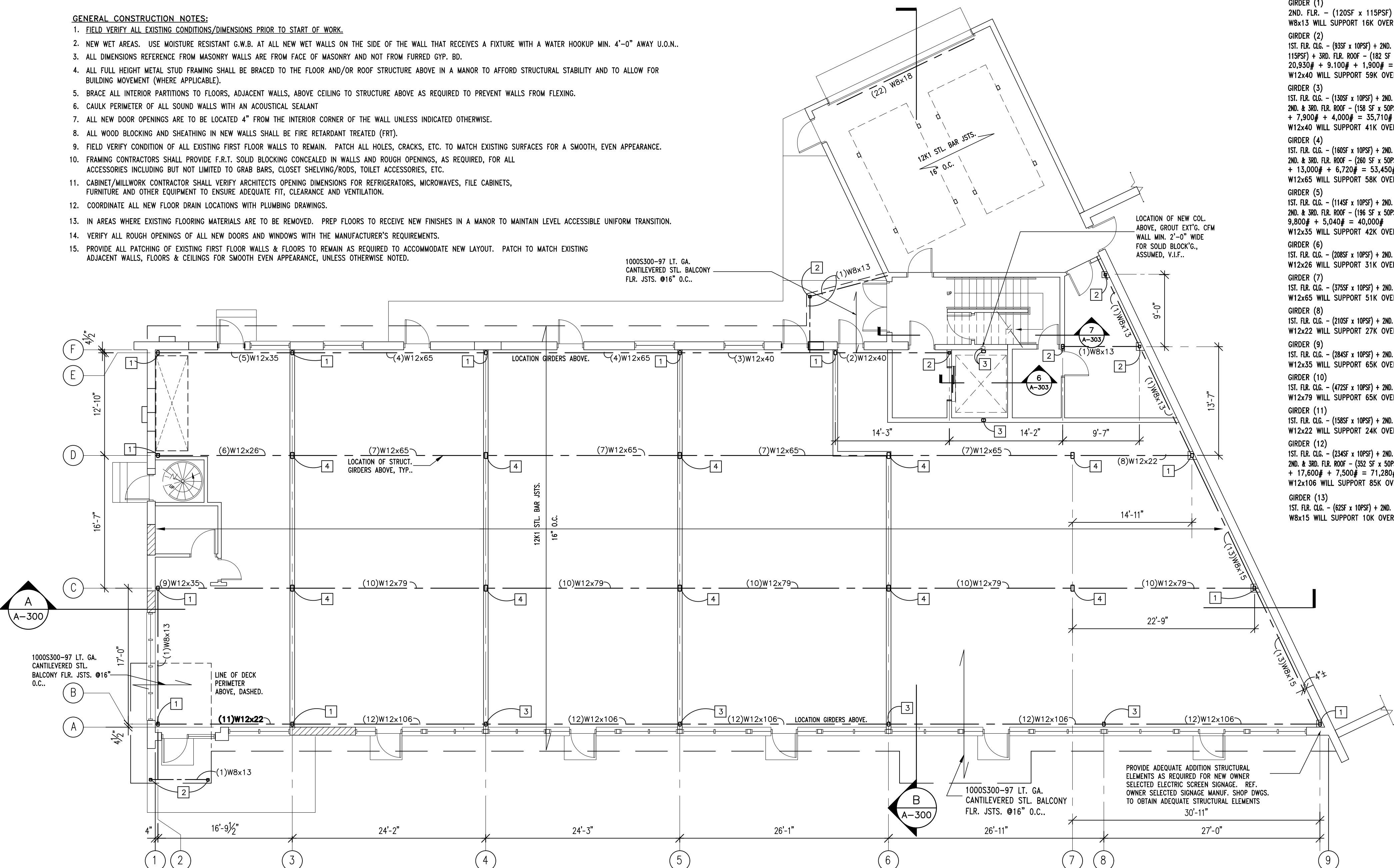


**GENERAL CONSTRUCTION NOTES:**

- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- NEW WET AREAS: USE MOISTURE RESISTANT G.W.B. AT ALL NEW WET WALLS ON THE SIDE OF THE WALL THAT RECEIVES A FIXTURE WITH A WATER HOOKUP MIN. 4'-0" AWAY U.O.N.
- ALL DIMENSIONS REFERENCE FROM MASONRY WALLS ARE FROM FACE OF MASONRY AND NOT FROM FURRED GYP. BD.
- ALL FULL HEIGHT METAL STUD FRAMING SHALL BE BRACED TO THE FLOOR AND/OR ROOF STRUCTURE ABOVE IN A MANNER TO AFFORD STRUCTURAL STABILITY AND TO ALLOW FOR BUILDING MOVEMENT (WHERE APPLICABLE).
- BRACE ALL INTERIOR PARTITIONS TO FLOORS, ADJACENT WALLS, ABOVE CEILING TO STRUCTURE ABOVE AS REQUIRED TO PREVENT WALLS FROM FLEXING.
- CAULK PERIMETER OF ALL SOUND WALLS WITH AN ACOUSTICAL SEALANT
- ALL NEW DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
- ALL WOOD BLOCKING AND SHEATHING IN NEW WALLS SHALL BE FIRE RETARDANT TREATED (FRT).
- FIELD VERIFY CONDITION OF ALL EXISTING FIRST FLOOR WALLS TO REMAIN. PATCH ALL HOLES, CRACKS, ETC. TO MATCH EXISTING SURFACES FOR A SMOOTH, EVEN APPEARANCE.
- FRAMING CONTRACTORS SHALL PROVIDE F.R.T. SOLID BLOCKING CONCEALED IN WALLS AND ROUGH OPENINGS, AS REQUIRED, FOR ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO GRAB BARS, CLOSET SHELVING/RODS, TOILET ACCESSORIES, ETC.
- CABINET/MILLWORK CONTRACTOR SHALL VERIFY ARCHITECTS OPENING DIMENSIONS FOR REFRIGERATORS, MICROWAVES, FILE CABINETS, FURNITURE AND OTHER EQUIPMENT TO ENSURE ADEQUATE FIT, CLEARANCE AND VENTILATION.
- COORDINATE ALL NEW FLOOR DRAIN LOCATIONS WITH PLUMBING DRAWINGS.
- IN AREAS WHERE EXISTING FLOORING MATERIALS ARE TO BE REMOVED. PREP FLOORS TO RECEIVE NEW FINISHES IN A MANNER TO MAINTAIN LEVEL ACCESSIBLE UNIFORM TRANSITION.
- VERIFY ALL ROUGH OPENINGS OF ALL NEW DOORS AND WINDOWS WITH THE MANUFACTURER'S REQUIREMENTS.
- PROVIDE ALL PATCHING OF EXISTING FIRST FLOOR WALLS & FLOORS TO REMAIN AS REQUIRED TO ACCOMMODATE NEW LAYOUT. PATCH TO MATCH EXISTING ADJACENT WALLS, FLOORS & CEILINGS FOR SMOOTH EVEN APPEARANCE, UNLESS OTHERWISE NOTED.

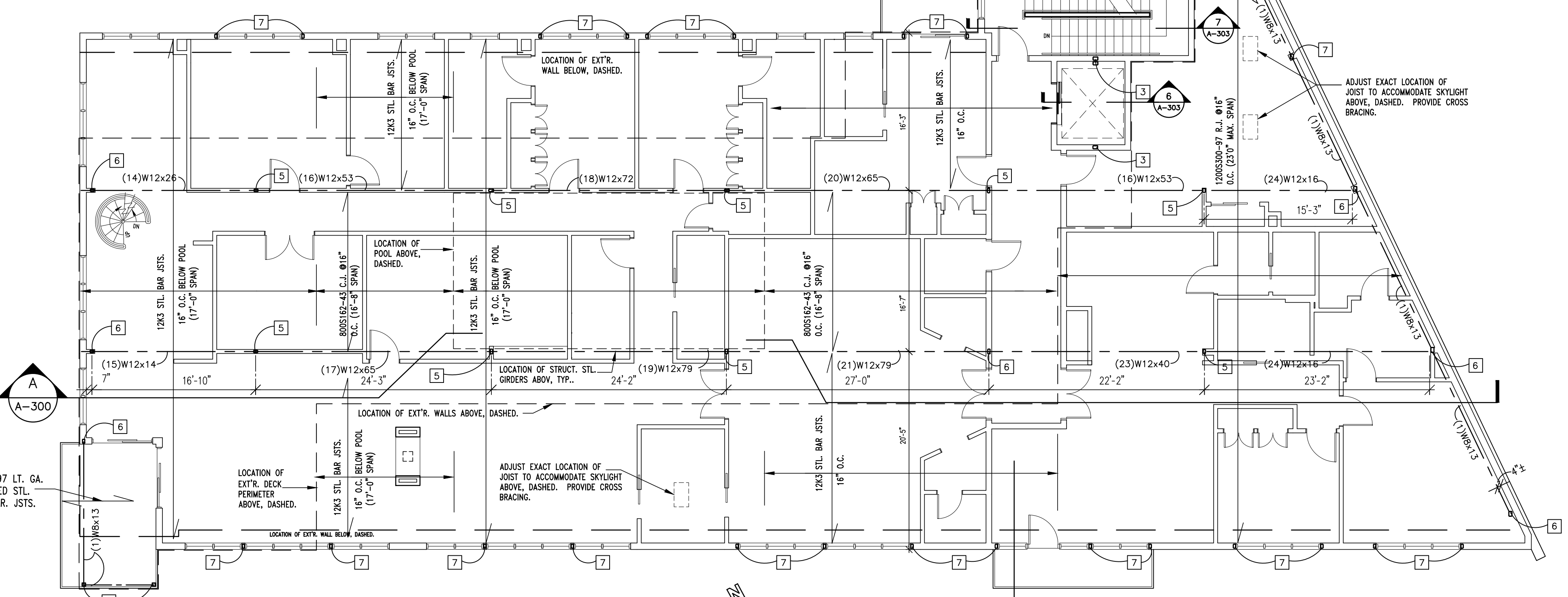
**STEEL GIRDER LOAD CALCULATIONS**

- GIRDER (1)**  
2ND. FLR. - (120SF x 119PSF) = 13,800#  
WBx15 WILL SUPPORT 16K OVER 10'-0" SPAN
- GIRDER (2)**  
1ST. FLR. CLG. - (93SF x 109SF) + 2ND. FLR. - (82SF x 119SF) + 2ND. FLR. CLG. - (182SF x 109SF) + 3RD. FLR. - (182SF x 119SF) + 3RD. FLR. ROOF - (182 SF x 50PSF) + WALL WEIGHT - (190SF x 10PSF) 930# + 20,930# + 1,820# + 20,930# + 9,100# + 1,900# = 55,610#  
W12x40 WILL SUPPORT 58K OVER 14'-0" SPAN
- GIRDER (3)**  
1ST. FLR. CLG. - (130SF x 109SF) + 2ND. FLR. - (158SF x 119SF) + 2ND. FLR. CLG. - (188SF x 109SF) + 3RD. FLR. - (24SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (158 SF x 50PSF) + WALL WEIGHT - (400SF x 10PSF) 1,300# + 18,170# + 1,580# + 2,760# + 7,900# + 4,000# = 35,710#  
W12x40 WILL SUPPORT 41K OVER 20'-0" SPAN
- GIRDER (4)**  
1ST. FLR. CLG. - (100SF x 109SF) + 2ND. FLR. - (200SF x 119SF) + 2ND. FLR. CLG. - (200SF x 109SF) + 3RD. FLR. - (62SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (200 SF x 50PSF) + WALL WEIGHT - (504SF x 10PSF) 1,600# + 23,000# + 2,000# + 7,130# + 13,000# + 6,720# = 53,450#  
W12x65 WILL SUPPORT 58K OVER 24'-0" SPAN
- GIRDER (5)**  
1ST. FLR. CLG. - (114SF x 109SF) + 2ND. FLR. - (148SF x 119SF) + 2ND. FLR. CLG. - (148SF x 109SF) + 3RD. FLR. - (48SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (136 SF x 50PSF) + WALL WEIGHT - (504SF x 10PSF) 1,140# + 17,020# + 1,480# + 5,520# + 9,800# + 5,040# = 40,000#  
W12x35 WILL SUPPORT 42K OVER 17'-0" SPAN
- GIRDER (6)**  
1ST. FLR. CLG. - (208SF x 109SF) + 2ND. FLR. - (230SF x 119SF) 2,080# + 26,450# = 28,530#  
W12x26 WILL SUPPORT 31K OVER 17'-0" SPAN
- GIRDER (7)**  
1ST. FLR. CLG. - (375SF x 109SF) + 2ND. FLR. - (384SF x 119SF) 3,750# + 44,160# = 47,910#  
W12x65 WILL SUPPORT 51K OVER 26'-0" SPAN
- GIRDER (8)**  
1ST. FLR. CLG. - (210SF x 109SF) + 2ND. FLR. - (212SF x 119SF) 2,100# + 24,380# = 26,480#  
W12x22 WILL SUPPORT 27K OVER 15'-0" SPAN
- GIRDER (9)**  
1ST. FLR. CLG. - (284SF x 109SF) + 2ND. FLR. - (338SF x 119SF) 2,840# + 38,640# = 41,480#  
W12x35 WILL SUPPORT 65K OVER 17'-0" SPAN
- GIRDER (10)**  
1ST. FLR. CLG. - (472SF x 109SF) + 2ND. FLR. - (484SF x 119SF) 4,720# + 55,660# = 60,380#  
W12x79 WILL SUPPORT 65K OVER 26'-0" SPAN
- GIRDER (11)**  
1ST. FLR. CLG. - (158SF x 109SF) + 2ND. FLR. - (160SF x 119SF) 1,580# + 18,400# = 19,980#  
W12x22 WILL SUPPORT 24K OVER 17'-0" SPAN
- GIRDER (12)**  
1ST. FLR. CLG. - (234SF x 109SF) + 2ND. FLR. - (230SF x 119SF) + 2ND. FLR. CLG. - (290SF x 109SF) + 3RD. FLR. - (86SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (352 SF x 50PSF) + WALL WEIGHT - (750SF x 10PSF) 2,340# + 33,350# + 2,900# + 7,500# + 17,600# + 7,500# = 71,290#  
W12x106 WILL SUPPORT 85K OVER 27'-0" SPAN
- GIRDER (13)**  
1ST. FLR. CLG. - (62SF x 109SF) + 2ND. FLR. - (62SF x 119SF) 620# + 7,130# = 7,750#  
WBx15 WILL SUPPORT 10K OVER 18'-0" SPAN
- GIRDER (14)**  
2ND. FLR. CLG. - (280SF x 109SF) + 3RD. FLR. - (54SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (280SF x 50PSF) + CRANL SPACE - (96SF x 20PSF) + WALL WEIGHT - (204SF x 10PSF) 2,800# + 6,210# + 14,800# + 1,920# + 2,040# = 27,770#  
W12x26 WILL SUPPORT 31K OVER 17'-0" SPAN
- GIRDER (15)**  
2ND. FLR. CLG. - (315SF x 109SF) + CRANL SPACE - (315SF x 20PSF) 3,150# + 6,300# = 9,450#  
W12x14 WILL SUPPORT 14K OVER 17'-0" SPAN
- GIRDER (16)**  
2ND. FLR. CLG. - (384SF x 109SF) + 3RD. FLR. - (44SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (384SF x 50PSF) + CRANL SPACE - (384SF x 20PSF) + WALL WEIGHT - (288SF x 10PSF) 3,840# + 10,810# + 19,200# + 7,680# + 2,880# = 44,410#  
W12x53 WILL SUPPORT 47K OVER 24'-0" SPAN
- GIRDER (17)**  
2ND. FLR. CLG. - (426SF x 109SF) + 3RD. FLR. - (84SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (426SF x 50PSF) + CRANL SPACE - (426SF x 20PSF) + WALL WEIGHT - (288SF x 10PSF) 4,260# + 9,660# + 22,000# + 8,520# + 2,880# = 47,320#  
W12x65 WILL SUPPORT 58K OVER 24'-0" SPAN
- GIRDER (18)**  
2ND. FLR. CLG. - (384SF x 109SF) + 3RD. FLR. - (280SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (384SF x 50PSF) + CRANL SPACE - (127SF x 20PSF) + WALL WEIGHT - (288SF x 10PSF) 3,840# + 29,900# + 19,900# + 2,540# + 2,880# = 59,060#  
W12x72 WILL SUPPORT 64K OVER 24'-0" SPAN
- GIRDER (19)**  
2ND. FLR. CLG. - (426SF x 109SF) + 3RD. FLR. - (280SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (426SF x 50PSF) + CRANL SPACE - (136SF x 20PSF) + WALL WEIGHT - (288SF x 10PSF) 4,260# + 29,900# + 22,000# + 2,720# + 2,880# = 61,760#  
W12x79 WILL SUPPORT 71K OVER 24'-0" SPAN
- GIRDER (20)**  
2ND. FLR. CLG. - (426SF x 109SF) + 3RD. FLR. - (184SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (426SF x 50PSF) + CRANL SPACE - (430SF x 20PSF) + WALL WEIGHT - (324SF x 10PSF) 4,260# + 29,900# + 11,960# + 22,250# + 8,600# + 3,240# = 50,350#  
W12x65 WILL SUPPORT 58K OVER 27'-0" SPAN
- GIRDER (21)**  
2ND. FLR. CLG. - (478SF x 109SF) + 3RD. FLR. - (112SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (478SF x 50PSF) + CRANL SPACE - (478SF x 20PSF) + WALL WEIGHT - (324SF x 10PSF) 4,780# + 12,880# + 24,600# + 9,520# + 3,240# = 55,000#  
W12x79 WILL SUPPORT 63K OVER 27'-0" SPAN
- GIRDER (22)**  
GARAGE DOOR HEADER - WALL WEIGHT - (620SF x 19PSF) = 3,300#  
WBx18 WILL SUPPORT 12K OVER 20'-0" SPAN
- GIRDER (23)**  
2ND. FLR. CLG. - (280SF x 109SF) + 3RD. FLR. - (22SF x 119SF) + 2ND. & 3RD. FLR. ROOF - (404SF x 50PSF) + CRANL SPACE - (86SF x 20PSF) + WALL WEIGHT - (324SF x 10PSF) 3,900# + 2,530# + 20,200# + 1,920# + 3,520# = 32,070#  
W12x40 WILL SUPPORT 38K OVER 24'-0" SPAN
- GIRDER (24)**  
2ND. FLR. CLG. - (375SF x 109SF) + 2ND. FLR. ROOF - (390SF x 50PSF) 3,760# + 19,500# = 23,260#  
W12x16 WILL SUPPORT 17K OVER 16'-0" SPAN
- GIRDER (25)**  
3RD. FLR. - (188SF x 119SF) + 3RD. FLR. ROOF - (84SF x 50PSF) 22,770# + 4,700# = 27,470#  
W10x33 WILL SUPPORT 31K OVER 18'-0" SPAN
- GIRDER (26)**  
3RD. FLR. - (330SF x 119SF) = 37,950#  
W10x45 WILL SUPPORT 43K OVER 18'-0" SPAN
- GIRDER (27)**  
3RD. FLR. - (330SF x 119SF) + 3RD. FLR. ROOF - (138SF x 50PSF) 37,950# + 6,900# = 44,850#  
W10x68 WILL SUPPORT 50K OVER 24'-0" SPAN
- GIRDER (28)**  
3RD. FLR. - (138SF x 119SF) + 3RD. FLR. ROOF - (138SF x 50PSF) 15,870# + 6,900# = 22,770#  
W10x45 WILL SUPPORT 32K OVER 24'-0" SPAN
- GIRDER (29)**  
3RD. FLR. - (367SF x 119SF) + 3RD. FLR. ROOF - (175SF x 50PSF) 44,505# + 8,750# = 53,255#  
W12x79 WILL SUPPORT 63K OVER 27'-0" SPAN



**FIRST FLOOR STRUCTURAL PLAN**  
1/8" = 1'-0"

| TARGET | COLUMN                                                   | NOTES                                   |
|--------|----------------------------------------------------------|-----------------------------------------|
| 1      | 6" x 4" x 3/8" TK. WILL SUPPORT 103K SPANNING 12'-0" HT. |                                         |
| 2      | 4" x 4" x 1/2" TK. WILL SUPPORT 55K SPANNING 12'-0" HT.  | EXTERIOR EXPOSED COLUMNS SHALL BE GALV. |
| 3      | 6" x 4" x 1/2" TK. WILL SUPPORT 125K SPANNING 12'-0" HT. |                                         |
| 4      | 9" x 5" x 3/4" TK. WILL SUPPORT 325K SPANNING 12'-0" HT. |                                         |
| 5      | 6" x 3" x 5/8" TK. WILL SUPPORT 100K SPANNING 12'-0" HT. |                                         |
| 6      | 5" x 3" x 1/2" TK. WILL SUPPORT 76K SPANNING 10'-0" HT.  |                                         |
| 7      | 5" x 3" x 1/4" TK. WILL SUPPORT 36K SPANNING 12'-0" HT.  |                                         |



**SECOND FLOOR STRUCTURAL PLAN**  
1/8" = 1'-0"

| ISSUE:                  | DATE:    |
|-------------------------|----------|
| PRELIM BG               | 01/29/20 |
| PROGRESS                | 05/06/20 |
| PROGRESS                | 06/20/20 |
| PROGRESS STRUCT.        | 06/25/20 |
| PROGRESS GENERAL        | 07/06/20 |
| CLIENT REV.             | 08/12/20 |
| CLIENT REV. PROGRESS    | 09/11/20 |
| CLIENT REV. STRUCT REV. | 09/18/20 |
| FINAL REVIEW            | 10/20/20 |
| CLIENT REV. GENERAL     | 12/10/20 |
| CLIENT REV. GENERAL     | 04/01/21 |
| CLIENT REV. GENERAL     | 04/14/21 |
| CLIENT REV. GENERAL     | 04/28/21 |
| CLIENT REV. GAR. DR.    | 05/14/21 |

Client Name/Project Name/Address

**RIVER EDGE BUILDING**  
(Renovations & Addition)  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name  
STRUCTURAL-  
FIRST & SECOND FLOOR PLANS-  
SCHEDULES-NOTES  
Fischer Project Number  
20.001  
SHEET #

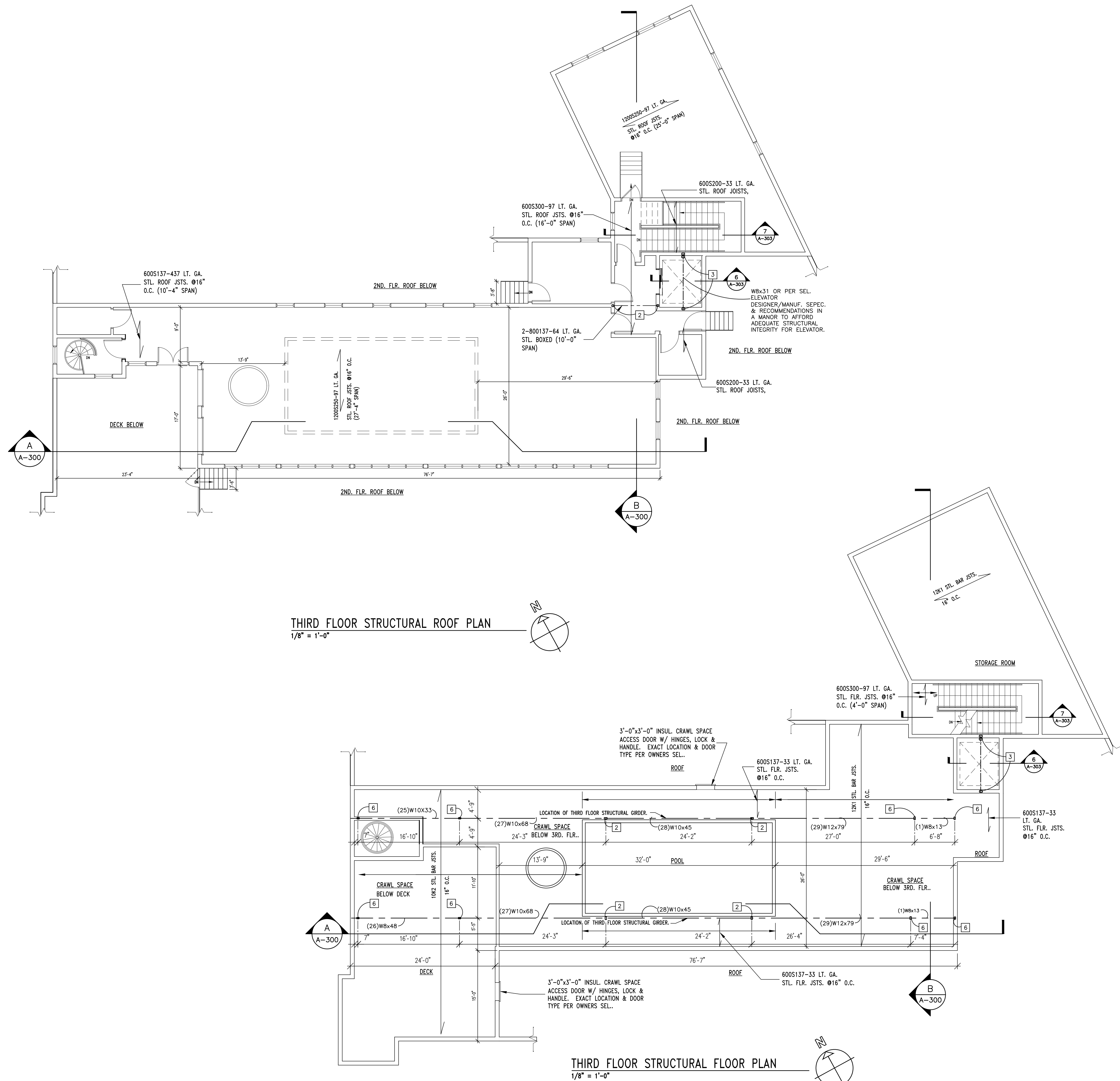
A-101a

Seal

GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022

| SYMBOL LEGEND               |                                                         |
|-----------------------------|---------------------------------------------------------|
| ELEVATION X<br>SHEET #      | ELEVATION                                               |
| SECTION DETAIL X<br>SHEET # | WALL SECTION                                            |
| BLDG SECTION X<br>SHEET #   | BLDG SECTION                                            |
| DETAIL #<br>SHEET #         | DETAIL                                                  |
| XX                          | KITCHEN EQUIPMENT<br>FIXTURE NO. ON FIRST<br>FLOOR PLAN |
| 202                         | KEYED NOTE TARGET ON<br>FLOOR PLANS                     |
| XX                          | DOOR NO. ON FLOOR PLANS<br>AND ELEVATIONS               |
| X                           | WINDOW NO. ON FLOOR PLANS<br>AND ELEVATIONS             |
| X                           | FOUNDATION & FOOTING<br>LETTER ON FOUNDATION PLAN       |
| X                           | STRUCT. COLUMN NO. ON<br>STRUCTURAL PLANS               |

| ABBREVIATION LEGEND |                                  |               |                                |
|---------------------|----------------------------------|---------------|--------------------------------|
| A.C.T./ACT          | ACOUSTICAL CEILING TILE          | H.M.          | HOLLOW METAL                   |
| A.D.A./ADA          | AMERICANS WITH DISABILITIES ACT  | H.P.          | HIGH POINT                     |
| ADJ.                | ADJUSTABLE                       | HT.           | HEIGHT                         |
| A.F.F.              | ABOVE FINISH FLOOR               | I.D.          | INSIDE DIMENSION               |
| ALT.                | ALTERNATE                        | I.E.          | THAT IS                        |
| ALUM.               | ALUMINUM                         | INSUL.        | INSULATION/ED/ING              |
| ANOD.               | ANODIZED                         | INT.          | INTERIOR                       |
| APPROX.             | APPROXIMATE/APPROXIMATELY        | JT.           | JOINT                          |
| BLDG.               | BUILDING                         | L.P.          | LOW POINT                      |
| C.B.                | CATCH BASIN                      | MAT'L         | MATERIAL                       |
| C.T./CER. TILE      | CERAMIC TILE                     | MECH.         | MECHANICAL                     |
| C.J.                | CONTROL JOINT                    | MIN.          | MINIMUM                        |
| CLG.                | CEILING                          | MISC.         | MISCELLANEOUS                  |
| COL.                | COLUMN                           | M.O.          | MASONRY OPENING                |
| CONC.               | CONCRETE                         | MTL.          | METAL                          |
| CONT.               | CONTINUOUS                       | N.I.C.        | NOT IN CONTRACT                |
| DET.                | DETAIL                           | O.A.          | OVERALL                        |
| D.F.                | DRINKING FOUNTAIN                | O.C.          | ON CENTER                      |
| D.H.                | DOUBLE HUNG                      | O.D.          | OUTSIDE DIMENSION              |
| DIM.                | DIMENSION                        | OH./OVH'D.    | OVERHEAD                       |
| D.O.                | DOOR OPENING                     | PLAS. LAM.    | PLASTIC LAMINATE               |
| D.S.                | DOWNSPOUT                        | PTD.          | PAINTED                        |
| DWG.                | DRAWING                          | R./RAD.       | RADIUS                         |
| EIFS                | EXTERIOR INSULATED FINISH SYSTEM | R.D.          | ROOF DRAIN                     |
| E.G.                | FOR EXAMPLE                      | REF.          | REFRIGERATOR                   |
| EL./ELEV.           | ELEVATION                        | REINF.        | REINFORCEMENT/ED/ING           |
| ELEC.               | ELECTRIC/ELECTRICAL              | REQ'D.        | REQUIRED                       |
| EQUIP.              | EQUIPMENT                        | RM.           | ROOM                           |
| E.W.C.              | ELECTRIC WATER COOLER            | R.O.          | ROUGH OPENING                  |
| EXIST./EXTG.        | EXISTING                         | S.C.          | SOLID CORE                     |
| EXP. JT.            | EXPANSION JOINT                  | S.F./SQ. FT.  | SQUARE FEET                    |
| EXT.                | EXTERIOR                         | SHLVS.        | SHELVES                        |
| F.D.                | FLOOR DRAIN                      | SOL. SFC.     | SOLID SURFACE                  |
| F.E.                | FIRE EXTINGUISHER                | SQ.           | SQUARE                         |
| F.E.C.              | FIRE EXTINGUISHER CABINET        | S.ST.         | STAINLESS STEEL                |
| FIN.                | FINISH                           | STRUC.        | STRUCTURE - STRUCTURAL         |
| FL./FLR.            | FLOOR                            | T.M.E.        | TO MATCH EXISTING              |
| F.O.                | FINISHED OPENING                 | TYP.          | TYPICAL                        |
| FOUND./FND.         | FOUNDATION                       | U.N.O.        | UNLESS NOTED OTHERWISE         |
| F.R.T.              | FIRE RETARDANT TREATED           | V.C.T.        | VINYL COMPOSITION TILE         |
| GA.                 | GAUGE                            | V.I.F.        | VERIFY IN FIELD                |
| GALV.               | GALVANIZED                       | WD.           | WOOD                           |
| G.C.                | GENERAL CONTRACTOR               | W.O.          | WINDOW OPENING                 |
| GEN.                | GENERAL                          | W.W.F.        | WELDED WIRE FABRIC             |
| GR.                 | GRAIN                            | W.W.M.        | WELDED WIRE MESH               |
| GYP. BD.            | GYP. BOARD                       | W.I.C./W.I.F. | WALK-IN-COOLER/WALK-IN-FREEZER |
| H.C.                | HOLLOW CORE                      | W/            | WITH                           |
| H/C                 | HANDICAP (A.D.A. COMPLIANT)      |               |                                |
| HDPE                | HIGH DENSITY POLYETHYLENE        |               |                                |
| HDWR.               | HARDWARE                         |               |                                |



- GENERAL COORDINATION NOTES:**
- CONTRACTORS SHALL SCHEDULE ALL WORK TO BE EXECUTED IN SUCH A MANNER AS TO MAINTAIN ALL OUTSIDE TENANT OPERATIONS AS WELL AS ACCESS AND EGRESS FOR ALL TENANTS/CUSTOMERS WITH RESPECT TO ALL APPLICABLE CODE REGULATIONS, A.D.A. REQUIREMENTS, THE SAFETY OF ALL PERSONS IN AND AROUND THE BUILDING AND BUILDING SECURITY. ALL WORK MUST BE COORDINATED WITH OWNER/TENANT REPRESENTATIVES AND CONFORM TO FEDERAL REGULATIONS.
  - CONTRACTORS WILL BE RESPONSIBLE TO SUBMIT A DETAILED PROJECT SCHEDULE TO OWNER/TENANT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF ALL WORK.
  - CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN THE BUILDING IN A SECURE AND WATERTIGHT CONDITION DURING CONSTRUCTION.
  - CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN ALL EXISTING SERVICES AND UTILITIES.

**FISCHER & ASSOCIATES**  
**ARCHITECTS INC.**  
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 Tel: (440) 315-2300  
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|                         |          |
|-------------------------|----------|
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**RIVER EDGE BUILDING**  
 (Renovations & Addition)  
 17730 Lorain Road  
 Cleveland, Ohio

Drawing Name  
 STRUCTURAL-  
 THIRD FLOOR & ROOF PLANS-  
 LEGENDS-COORDINATION NOTES  
 Fischer Project Number  
 20.001  
 SHEET #

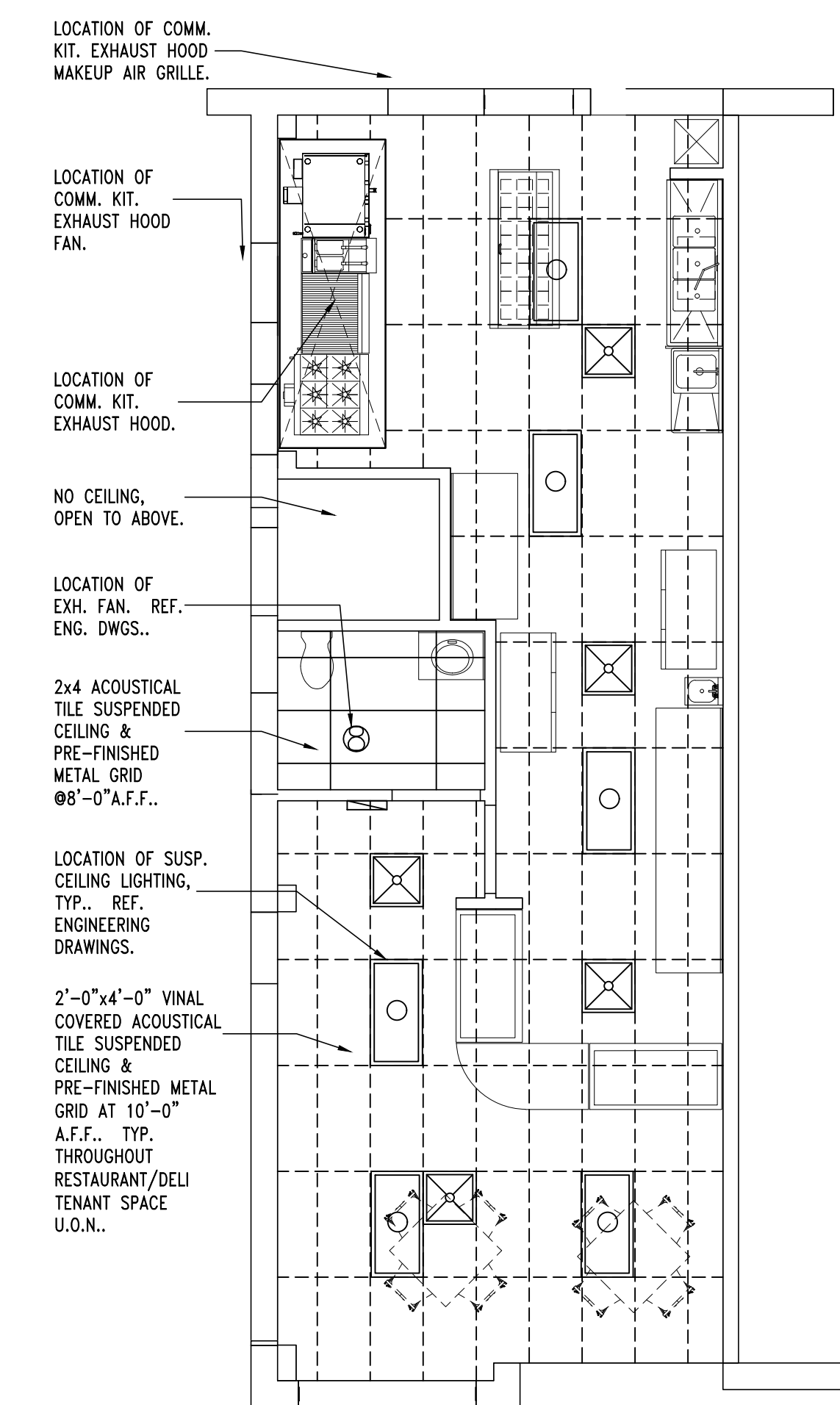
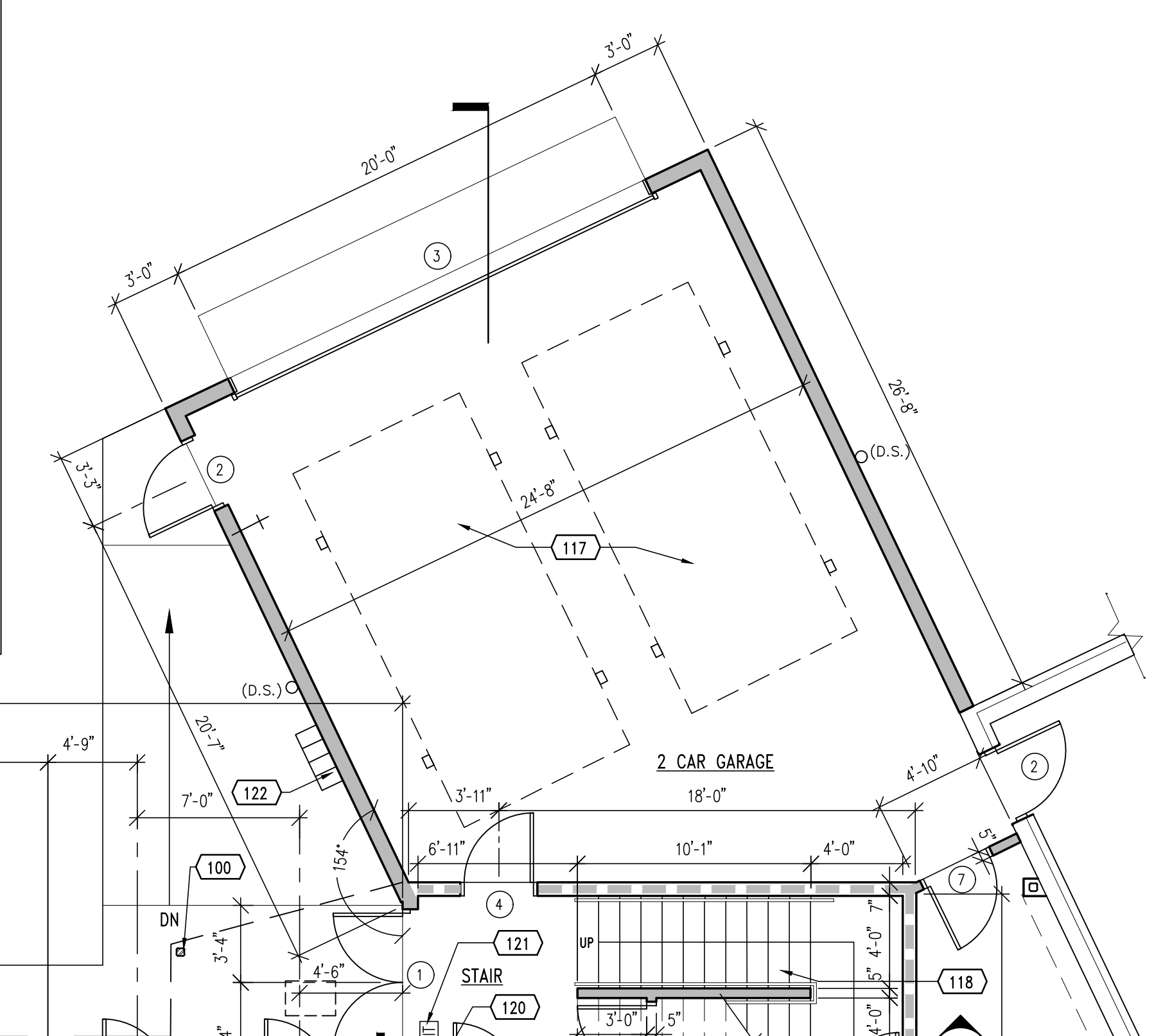
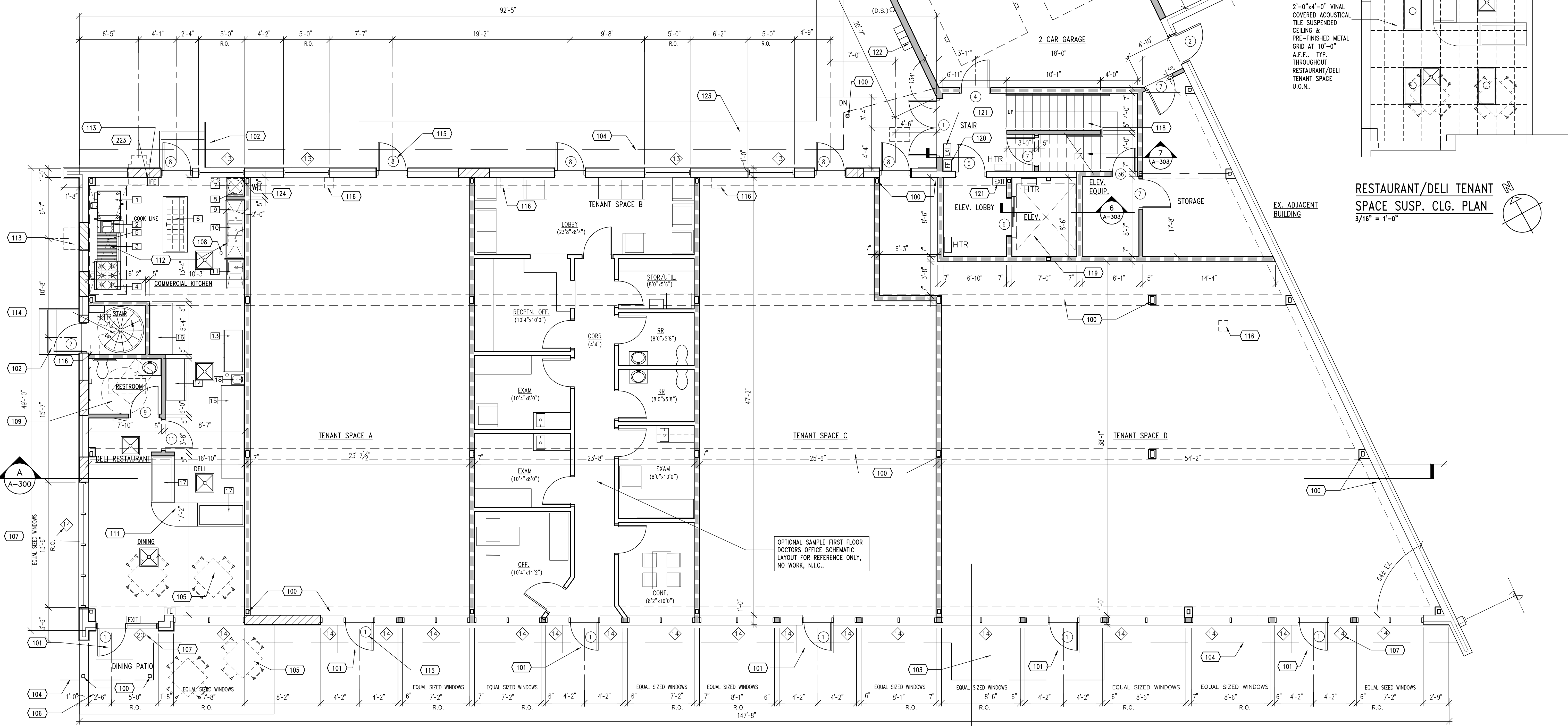
**A-101b**

Seal

GARY FISCHER LICENSE #8826  
 EXPIRATION DATE 12/31/2022

FIRST FLOOR PLAN KEYED NOTES

- COORDINATE WITH FIRST FLOOR PLAN THIS SHEET FOR KEYED NOTES TARGET LOCATIONS. (1XX)
- SPECIAL COORDINATION REFERENCE NOTE:  
REFERENCE ENGINEERING DRAWINGS/MPE-- FOR ALL PLUMBING, H.V.A.C. & ELECTRICAL DRAWINGS, SPECIFICATIONS, SCHEDULES & DETAILS. TYP. THROUGHOUT AS INDICATED.
- 100 LOCATION OF STRUCTURAL SUPPORT STEEL COLUMNS & GIRDERS. REF. STRUCTURAL PLANS/A-101a, A-101b & SECTION DETAILS AS INDICATED. TYP. THROUGHOUT U.O.N.. LOCATION OF 1 HR RATED DROPPED SOFFIT ENCLOSING STRUCTURAL GIRDERS, DASHED. ENCLOSE COLUMNS WITH LT. GA. METAL FURRING & 5/8" G.W.B. FOR 1 HR. RATING.
  - 101 FROSTPROOF ENTRY SLAB. REFERENCE FOUNDATION PLAN/A-100 & FROSTPROOF ENTRY SLAB DETAIL/A-301 FOR DETAILED INFORMATION.
  - 102 RAISED ENTRY PLATFORM, STEPS & RAILINGS. REFERENCE FOUNDATION PLAN/A-100 & ENTRY PLATFORM & STEPS DETAIL #4/A-302 FOR DETAILED INFORMATION. NUMBER OF STEPS MAY VARY. V.I.F. ELEVATION CHANGES.
  - 103 EXT'G. SIDEWALK. MODIFY AS REQUIRED FOR NEW LAYOUT.
  - 104 LINE OF SECOND FLOOR & BALCONY OVERHANG, DASHED, TYP. U.O.N..
  - 105 SCHEMATIC LOCATION OF DINING TABLE & CHAIRS BY OWNER, TYP..
  - 106 C.I.P. CONC. SLAB ON GRADE DINING PATIO W/ 6x6 #3/8 WWF ON MIN. 4" COMPACTED GRAVEL. PITCH 1/8"-FT FOR POSITIVE DRAINAGE AWAY FROM BLDG. EXTEND TO EXISTING SIDEWALK AND CONNECT WITH #4s @ 12" O.C., MIN. 6" EMBEDMENT, GROUT SOLID FOR ACCESSIBLE TRANSITION.
  - 107 TARGET # DESIGNATION FOR NEW WINDOW/S IN EXISTING FIRST FLOOR BRICK VENEERED MASONRY EXTERIOR WALL. REF. WINDOW SCHEDULE & NOTES/A-105. MODIFY WALL AS REQUIRED TO ACCOMMODATE NEW WINDOW & HEADER FOR STABLE UNIFORM APPEARANCE..
  - 108 FLOOR DRAIN (FD) WITH GRILLE FLUSH WITH TOP OF EXISTING FIRST FLOOR CONCRETE FLOOR SLAB.
  - 109 CREATE A.D.A. COMPLIANT UNISEX RESTROOM. REFERENCE ADA COMPLIANCE DETAILS/A-303 FOR DETAILED RESTROOM INFORMATION. REF. FIRST FLOOR PLAN FOR LAYOUT INCLUDING 5'-0" CLEARANCE, 1'-6" DOOR HANDLE CLEARANCE, 2'-6"x4'-3" LAV. CLEARANCE & MIN. 5'-0" W.C. CLEARANCE.
  - 110 NOT USED.
  - 111 DELI SERVICE COUNTER MILLWORK PER OWNERS SELECTION. SUBMIT SHOP DRAWINGS. SET COUNTER TOP AT 3'-0" A.F.F. FOR ACCESSIBLE COMPLIANCE.
  - 112 COMMERCIAL KITCHEN EQUIPMENT AND FIXTURES. REFERENCE KITCHEN EQUIPMENT SCHEDULE & NOTES/A-105 FOR DETAILED INFORMATION. FIXTURES, EQUIPMENT & ACCESSORIES SELECTION BY OWNER. SUBMIT SHOP DRAWINGS FOR ALL FIXTURES, EQUIPMENT AND ACCESSORIES.
  - 113 COMMERCIAL KITCHEN EXHAUST HOOD THRU WALL EXHAUST & MAKEUP AIR FANS, DUCT WORK, GRILLS, RELATED EQUIPMENT & ACCESSORIES. EQUIPMENT SELECTION BY OWNER. SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT. MODIFY EXISTING EXTERIOR MASONRY WALL AS REQUIRED AND INDICATED. REF. ELEVATIONS/A-200 & 201 FOR LOCATIONS. REF. KIT. HOOD/WALL PENETRATION SECTION 1/A-302.
  - 114 5'-0" METAL SPIRAL STAIR MAX. 8.25" RISERS, & HANDRAILS. SEL. BY OWNER. PROVIDE ADEQUATE SECOND FLOOR OPENING FOR MIN. 6'-8" HEAD CLEARANCE FROM STEPS AND ADEQUATE STRUCT. INTEGRITY.
  - 115 DOOR & DESIGNATION NUMBER. REFERENCE DOOR SCHEDULE/A-105, TYP. THROUGHOUT FIRST FLOOR PLAN AS SHOWN.
  - 116 LOCATION OF SECOND FLOOR OPENING ABOVE, SHOWN DASHED, AS REQUIRED FOR H.V.A.C. DUCT WORK CHASE. PROVIDE 1 HR. CHASE ENCLOSURE WALLS. REF. MECH. INFO./MPE.
  - 117 AUTOMOBILE LIFT COLUMNS, PLATFORMS, EQUIPMENT & ACCESSORIES. PLATFORM PERIMETER SHOWN DASHED. SELECTION BY OWNER. SUBMIT SHOP DWGS.
  - 118 CONSTRUCT METAL FRAMED EXIT STAIR & HAND RAILINGS. REF. STAIR SECTION #7/A-303.
  - 119 3 STORY ACCESSIBLE ELEVATOR, EQUIPMENT & ACCESSORIES. SELECTION BY OWNER PER APPLICABLE CODES. REF. ELEVATOR SECTION 6/A-303. SUBMIT SHOP DRAWINGS. ENCLOSED W/ 2 HR. RATED FIRE WALLS.
  - 120 LOCATION OF FIRE EXTINGUISHER. REF. COORDINATE WITH APPLICABLE LOCAL FIRE OFFICIAL FOR APPROVED LOCATIONS & TYPES, TYP.
  - 121 LOCATION OF EXIT SIGN. REFERENCE GENERAL NOTES/G-100 FOR TYPES & SIGN DETAIL/303, TYP..
  - 122 EXTERIOR WALL MOUNTED MAIL BOXES. SELECTION BY OWNER PER LOCAL MAIL DELIVERY REQUIREMENTS. SUBMIT SHOP DWGS..
  - 123 CONSTRUCT NEW CONCRETE SLAB ON GRADE WALKWAY.
  - 124 CONSTRUCT METAL FRAMED SHELF & BRACKETS AT MIN. 6'-8" A.F.F. IN A MANNER TO SUPPORT WATER HEATER, SHOWN DASHED.



FIRST FLOOR PLAN  
3/16" = 1'-0"

FISCHER & ASSOCIATES  
ARCHITECTS INC.

554 West Ninth Street  
Lorain, Ohio 44052  
Tel: (440) 315-2300  
E mail: andrea@fischerarch.com

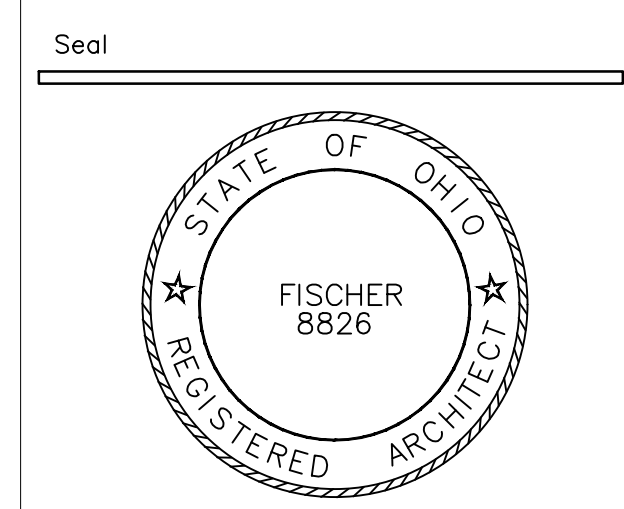
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Client Name/Project Name/Address

RIVER EDGE BUILDING  
(Renovations & Addition)  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name  
ARCHITECTURAL-  
FIRST FLOOR PLAN-KEYED NOTES-  
REFLECTED CLG PLAN  
Fischer Project Number  
20.001  
SHEET #

A-102



GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022



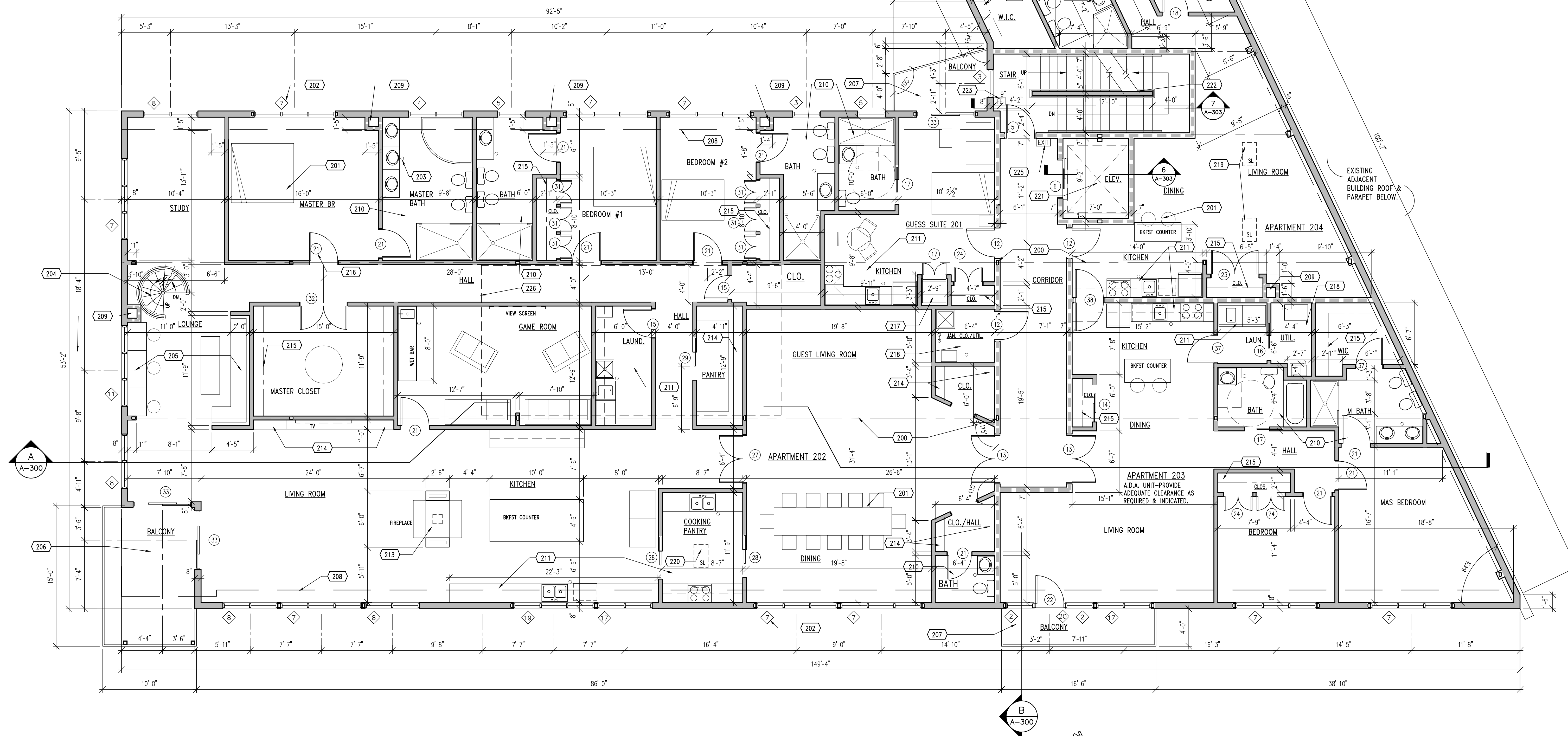
SECOND FLOOR PLAN KEYED NOTES

COORDINATE WITH FIRST FLOOR PLAN THIS SHEET FOR KEYED NOTES TARGET LOCATIONS. (ZXX)

SPECIAL COORDINATION REFERENCE NOTE:  
 REFERENCE ENGINEERING DRAWINGS/MPE-- FOR ALL PLUMBING, H.V.A.C. & ELECTRICAL DRAWINGS, SPECIFICATIONS, SCHEDULES & DETAILS. TYP. THROUGHOUT AS INDICATED.

- 200 LOCATION OF STRUCTURAL SUPPORT STEEL COLUMNS & GIRDERS. REF. STRUCTURAL PLANS/A-101a, A-101b & SECTION DETAILS AS INDICATED. TYP. THROUGHOUT U.O.N..
- 201 SCHEMATIC LOCATION OF FURNITURE BY OWNER, TYP. AS SHOWN.
- 202 TARGET # DESIGNATION FOR NEW WINDOW/S IN SECOND FLOOR EXTERIOR METAL FRAMED EXTERIOR WALL. REF. WINDOW SCHEDULE & NOTES/A-105. MODIFY WALL AS REQUIRED TO ACCOMMODATE NEW WINDOW & HEADER FOR STABLE UNIFORM APPEARANCE. TYP. AS INDICATED.
- 203 FLOOR DRAIN (FD) WITH GRILLE FLUSH WITH TOP OF SECOND FLOOR, TYP. AS INDICATED.
- 204 5'-0" METAL SPIRAL STAIR MAX. 8.25" RISERS, HAND & GUARD RAILS. SEL. BY OWNER. PROVIDE ADEQUATE THIRD FLOOR OPENING FOR MIN. 6'-8" HEAD CLEARANCE FROM STEPS AND ADEQUATE STRUCT. INTEGRITY.
- 205 BUILT IN SEATING & TABLES PER OWNERS SELECTION. SUBMIT SHOP DRAWINGS.
- 206 ROOF COVERED BALCONY DECK & GUARD RAILS. REF. SECTION B/A-300, SIM.
- 207 SECOND FLOOR BALCONY DECK & GUARD RAILS. REF. SECTION B/A-300. (SIMILAR) ACTUAL CONDITIONS MAY VARY FOR EACH BALCONY. REF. SECOND FLOOR PLAN/A-103 & ELEVATIONS/A-200 & 201 FOR LOCATIONS & DETAILS.
- 208 LOCATION OF FIRST FLOOR EXTERIOR WALL PERIMETER BELOW, DASHED.
- 209 H.V.A.C. CHASE. PROVIDE 1 HR. CHASE ENCLOSURE WALLS.
- 210 CREATE RESIDENTIAL BATHROOM W/ BATH TUBE, SHOWER, WATER CLOSET (WC) BODY, (BD), VANITY COUNTER W/ LAV. (LAV), FAUCET, BACK SPLASH AND BASE CABINET/S. ALL AS SHOWN AND PER OWNERS SELECTION. TYP. AS SHOWN.
- 211 RESIDENTIAL KITCHEN AND LAUNDRY ROOM: LAYOUT SHOWN IS SCHEMATIC IN NATURE. REFERENCE OWNER SELECTED KITCHEN DESIGNER/SUPPLIERS' SHOP DRAWING FOR ALL INFORMATION INCLUDING BUT NOT LIMITED TO COUNTERS, CABINETS, SOFFITS, FIXTURES & ACCESSORIES PER OWNERS SELECTION AND PER APPLICABLE CODES.
- 212 NOT USED.

- 213 SYN. STONE FINISHED MAS. FIREPLACE AND CHIMNEY. SIZE AND STRUCTURE PER OWNER SEL. PER FIREPLACE MANUF. RECOMMENDATIONS, SPECS. & INSTALLATION INSTRUCTIONS. SUBMIT SHOP DWGS..
- 214 ADJUSTABLE SHELVES & SUPPORTS PER OWNERS SELECTION.
- 215 CLOSET RODS, SHELVES & SUPPORTS PER OWNERS SELECTION.
- 216 DOOR & DESIGNATION NUMBER. REFERENCE DOOR SCHEDULE/A-105, TYP. THROUGHOUT SECOND FLOOR PLAN AS SHOWN.
- 217 STACK WASHER DRYER (W/D) AS SEL. BY OWNER.
- 218 UTILITY ROOM WITH FURNACE, WATER HEATER & ELECTRICAL PANEL. ALL PER OWNERS SELECTION PER APPLICABLE CODES. PROVIDE SECOND FLOOR ROOF OPENING ABOVE AS REQUIRED FOR H.V.A.C. DUCT WORK CHASE.
- 219 2'-6"x1'-6" INSUL. METAL FRAMED SKYLIGHT ABOVE (SL), DASHED. PROVIDE ADEQUATE STRUCTURAL ROOF SUPPORT ELEMENTS. INSTALL FOR WEATHER TIGHT CONDITION. FINAL SELECTION & EXACT LOCATION BY OWNER.
- 220 2'-0"x2'-0" INSUL. METAL FRAMED VENTILATING SKYLIGHT ABOVE (VSL), DASHED. PROVIDE ADEQUATE STRUCTURAL ROOF SUPPORT ELEMENTS. INSTALL FOR WEATHER TIGHT CONDITION. FINAL SELECTION & EXACT LOCATION BY OWNER.
- 221 3 STORY ACCESS ACCESSIBLE ELEVATOR, EQUIPMENT & ACCESSORIES. SELECTION BY OWNER PER APPLICABLE CODES. REF. ELEVATOR SECTION 6/A-303. SUBMIT SHOP DRAWINGS. ENCLOSED W/ 2 HR. RATED FIRE WALLS.
- 222 CONSTRUCT METAL FRAMED EXIT STAIR & HAND RAILINGS. REF. STAIR SECTION #4/A-303.
- 223 LOCATION OF FIRE EXTINGUISHER [FE] COORDINATE WITH APPLICABLE LOCAL FIRE OFFICIAL FOR APPROVED LOCATIONS & TYPES, TYP.
- 224 NOT USED.
- 225 LOCATION OF EXIT SIGN [EXIT] REFERENCE GENERAL NOTES/G-100 FOR TYPES, TYP..
- 226 LOCATION OF POOL ABOVE, DASHED.



SECOND FLOOR PLAN  
 3/16" = 1'-0"

|                         |          |
|-------------------------|----------|
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| CLIENT REV. GAR. DR.    | 05/14/21 |

Client Name/Project Name/Address

RIVER EDGE BUILDING  
 (Renovations & Addition)  
 17730 Lorain Road  
 Cleveland, Ohio

Drawing Name  
 ARCHITECTURAL-  
 SECOND FLOOR PLAN-KEYED NOTES  
 Fischer Project Number  
 20.001  
 SHEET #

A-103

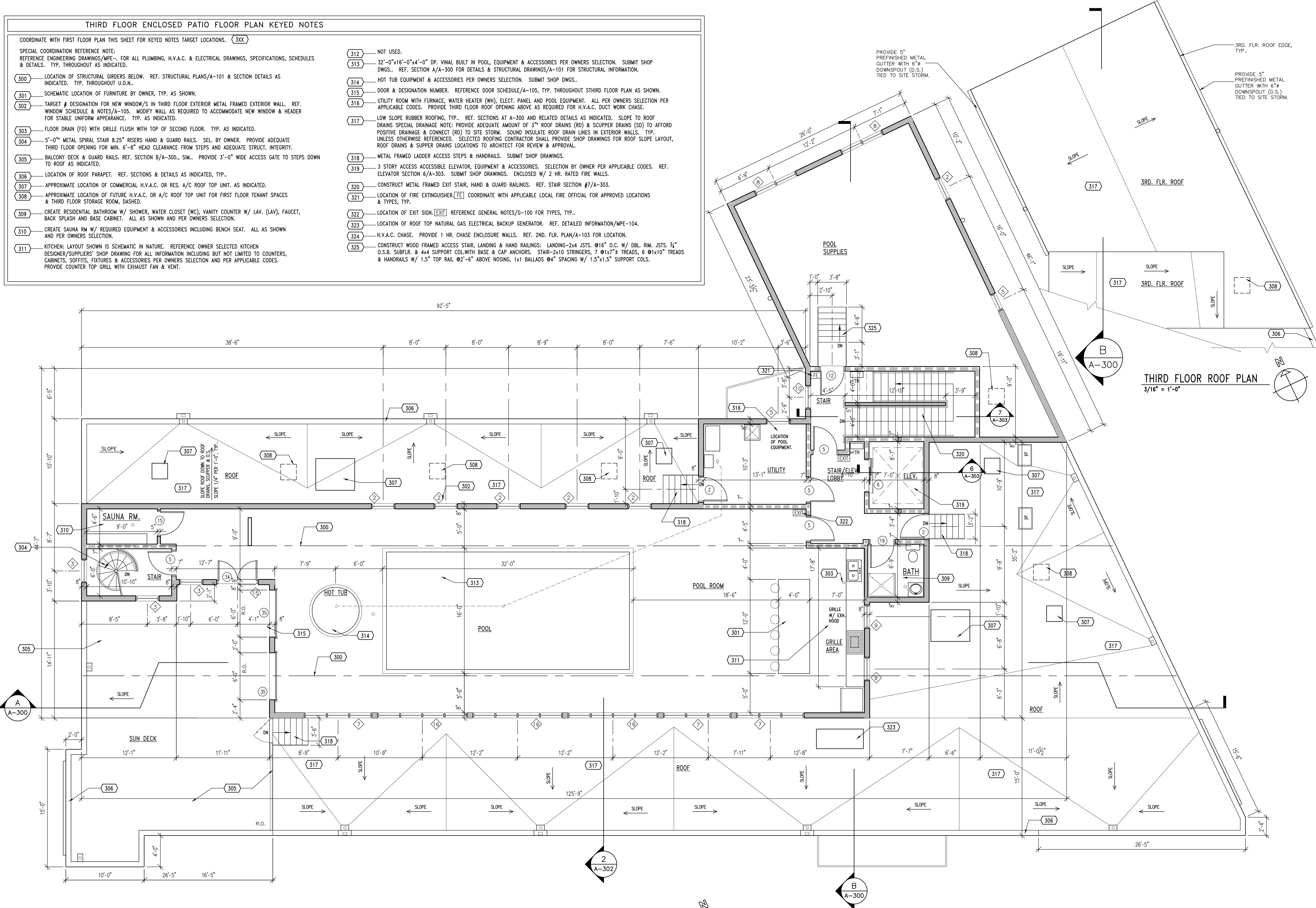
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GARY FISCHER LICENSE #8826  
 EXPIRATION DATE 12/31/2022

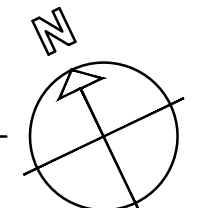
THIRD FLOOR ENCLOSED PATIO FLOOR PLAN KEYED NOTES

- COORDINATE WITH FIRST FLOOR PLAN THIS SHEET FOR KEYED NOTES TARGET LOCATIONS. (3XX)
- SPECIAL COORDINATION REFERENCE NOTE:  
REFERENCE ENGINEERING DRAWINGS/MPE-- FOR ALL PLUMBING, H.V.A.C. & ELECTRICAL DRAWINGS, SPECIFICATIONS, SCHEDULES & DETAILS. TYP. THROUGHOUT AS INDICATED.
- 300 LOCATION OF STRUCTURAL GIRDERS BELOW. REF. STRUCTURAL PLANS/A-101 & SECTION DETAILS AS INDICATED. TYP. THROUGHOUT U.O.N.
  - 301 SCHEMATIC LOCATION OF FURNITURE BY OWNER, TYP. AS SHOWN.
  - 302 TARGET # DESIGNATION FOR NEW WINDOW/S IN THIRD FLOOR EXTERIOR METAL FRAMED EXTERIOR WALL. REF. WINDOW SCHEDULE & NOTES/A-105. MODIFY WALL AS REQUIRED TO ACCOMMODATE NEW WINDOW & HEADER FOR STABLE UNIFORM APPEARANCE. TYP. AS INDICATED.
  - 303 FLOOR DRAIN (FD) WITH GRILLE FLUSH WITH TOP OF SECOND FLOOR. TYP. AS INDICATED.
  - 304 5'-0" METAL SPIRAL STAIR 8.25" RISERS HAND & GUARD RAILS. SEL. BY OWNER. PROVIDE ADEQUATE THIRD FLOOR OPENING FOR MIN. 6'-8" HEAD CLEARANCE FROM STEPS AND ADEQUATE STRUCT. INTEGRITY.
  - 305 BALCONY DECK & GUARD RAILS. REF. SECTION B/A-300.. SIM.. PROVIDE 3'-0" WIDE ACCESS GATE TO STEPS DOWN TO ROOF AS INDICATED.
  - 306 LOCATION OF ROOF PARAPET. REF. SECTIONS & DETAILS AS INDICATED, TYP..
  - 307 APPROXIMATE LOCATION OF COMMERCIAL H.V.A.C. OR RES. A/C ROOF TOP UNIT. AS INDICATED.
  - 308 APPROXIMATE LOCATION OF FUTURE H.V.A.C. OR A/C ROOF TOP UNIT FOR FIRST FLOOR TENANT SPACES & THIRD FLOOR STORAGE ROOM, DASHED.
  - 309 CREATE RESIDENTIAL BATHROOM W/ SHOWER, WATER CLOSET (WC), VANITY COUNTER W/ LAV. (LAV), FAUCET, BACK SPLASH AND BASE CABINET. ALL AS SHOWN AND PER OWNERS SELECTION.
  - 310 CREATE SAUNA RM W/ REQUIRED EQUIPMENT & ACCESSORIES INCLUDING BENCH SEAT. ALL AS SHOWN AND PER OWNERS SELECTION.
  - 311 KITCHEN: LAYOUT SHOWN IS SCHEMATIC IN NATURE. REFERENCE OWNER SELECTED KITCHEN DESIGNER/SUPPLIERS' SHOP DRAWING FOR ALL INFORMATION INCLUDING BUT NOT LIMITED TO COUNTERS, CABINETS, SOFFITS, FIXTURES & ACCESSORIES PER OWNERS SELECTION AND PER APPLICABLE CODES. PROVIDE COUNTER TOP GRILL WITH EXHAUST FAN & VENT.

- 312 NOT USED.
- 313 32'-0"x16'-0"x4'-0" DP. VINYL BUILT IN POOL, EQUIPMENT & ACCESSORIES PER OWNERS SELECTION. SUBMIT SHOP DWGS.. REF. SECTION A/A-300 FOR DETAILS & STRUCTURAL DRAWINGS/A-101 FOR STRUCTURAL INFORMATION.
- 314 HOT TUB EQUIPMENT & ACCESSORIES PER OWNERS SELECTION. SUBMIT SHOP DWGS..
- 315 DOOR & DESIGNATION NUMBER. REFERENCE DOOR SCHEDULE/A-105, TYP. THROUGHOUT THIRD FLOOR PLAN AS SHOWN.
- 316 UTILITY ROOM WITH FURNACE, WATER HEATER (WH), ELECT. PANEL AND POOL EQUIPMENT. ALL PER OWNERS SELECTION PER APPLICABLE CODES. PROVIDE THIRD FLOOR ROOF OPENING ABOVE AS REQUIRED FOR H.V.A.C. DUCT WORK CHASE.
- 317 LOW SLOPE RUBBER ROOFING, TYP.. REF. SECTIONS AT A-300 AND RELATED DETAILS AS INDICATED. SLOPE TO ROOF DRAINS SPECIAL DRAINAGE NOTE: PROVIDE ADEQUATE AMOUNT OF 3" ROOF DRAINS (RD) & SCUPPER DRAINS (SD) TO AFFORD POSITIVE DRAINAGE & CONNECT (RD) TO SITE STORM. SOUND INSULATE ROOF DRAIN LINES IN EXTERIOR WALLS. TYP. UNLESS OTHERWISE REFERENCED. SELECTED ROOFING CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ROOF SLOPE LAYOUT, ROOF DRAINS & SUPPER DRAINS LOCATIONS TO ARCHITECT FOR REVIEW & APPROVAL.
- 318 METAL FRAMED LADDER ACCESS STEPS & HANDRAILS. SUBMIT SHOP DRAWINGS.
- 319 3 STORY ACCESS ACCESSIBLE ELEVATOR, EQUIPMENT & ACCESSORIES. SELECTION BY OWNER PER APPLICABLE CODES. REF. ELEVATOR SECTION 6/A-303. SUBMIT SHOP DRAWINGS. ENCLOSED W/ 2 HR. RATED FIRE WALLS.
- 320 CONSTRUCT METAL FRAMED EXIT STAIR, HAND & GUARD RAILINGS. REF. STAIR SECTION #7/A-303.
- 321 LOCATION OF FIRE EXTINGUISHER. FE COORDINATE WITH APPLICABLE LOCAL FIRE OFFICIAL FOR APPROVED LOCATIONS & TYPES, TYP.
- 322 LOCATION OF EXIT SIGN. EXIT REFERENCE GENERAL NOTES/G-100 FOR TYPES, TYP..
- 323 LOCATION OF ROOF TOP NATURAL GAS ELECTRICAL BACKUP GENERATOR. REF. DETAILED INFORMATION/MPE-104.
- 324 H.V.A.C. CHASE. PROVIDE 1 HR. CHASE ENCLOSURE WALLS. REF. 2ND. FLR. PLAN/A-103 FOR LOCATION.
- 325 CONSTRUCT WOOD FRAMED ACCESS STAIR, LANDING & HAND RAILINGS: LANDING-2x4 JSTS. @16" O.C. W/ DBL RIM. JSTS. 3/4" O.S.B. SUBFLR. & 4x4 SUPPORT COL WITH BASE & CAP ANCHORS. STAIR-2x10 STRINGERS, 7 @1x7"± TREADS, 6 @1x10" TREADS & HANDRAILS W/ 1.5" TOP RAIL @2'-6" ABOVE NOSING, 1x1 BALLADS @4" SPACING W/ 1.5"x1.5" SUPPORT COLS.



SECOND FLOOR ROOF/THIRD FLOOR PLAN  
3/16" = 1'-0"



|                         |          |
|-------------------------|----------|
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| ISSUE:                  | DATE:    |
| PRELIM BG               | 01/29/20 |
| PROGRESS                | 05/06/20 |
| PROGRESS                | 06/20/20 |
| PROGRESS STRUCT.        | 06/25/20 |
| PROGRESS GENERAL        | 07/06/20 |
| CLIENT REV.             | 08/12/20 |
| CLIENT REV. PROGRESS    | 09/18/20 |
| CLIENT REV. STRUCT REV. | 09/14/20 |
| FINAL REVIEW            | 10/20/20 |
| CLIENT REV. GENERAL     | 12/10/20 |
| CLIENT REV. GENERAL     | 04/01/21 |
| CLIENT REV. GENERAL     | 04/14/21 |
| CLIENT REV. GENERAL     | 04/28/21 |
| CLIENT REV. GAR. DR.    | 05/14/21 |

Client Name/Project Name/Address

RIVER EDGE BUILDING  
(Renovations & Addition)  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name  
ARCHITECTURAL-  
SECOND FLOOR ROOF/THIRD FLOOR PLAN-  
KEYED NOTES  
Fischer Project Number  
20.001  
SHEET #

A-104

Seal

GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022

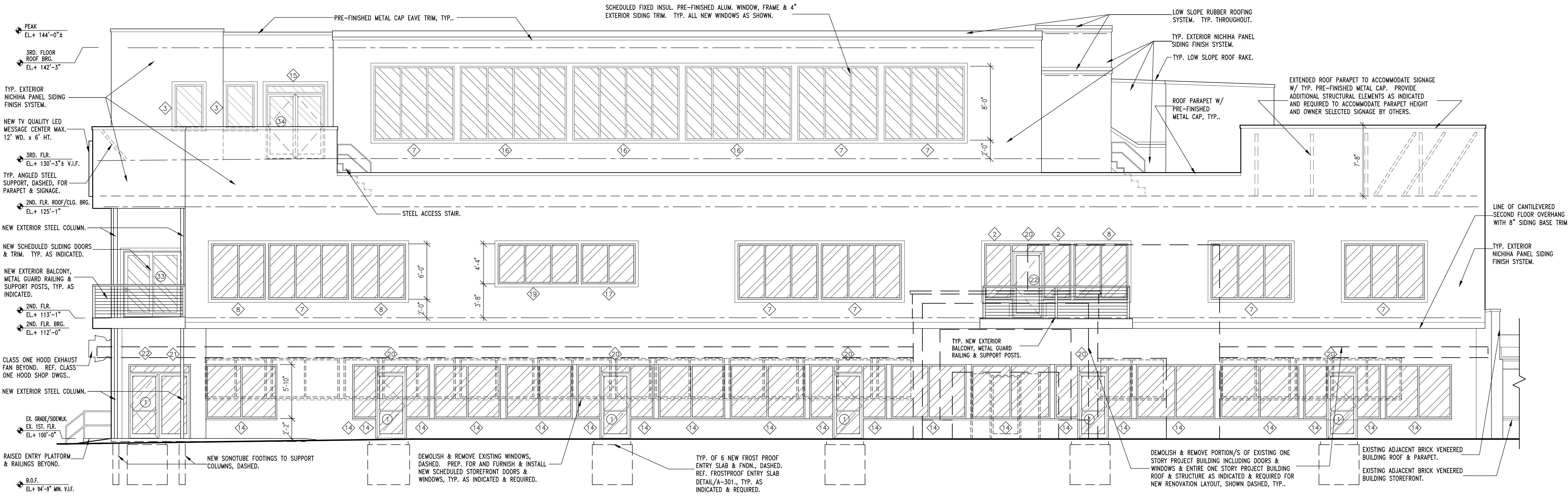
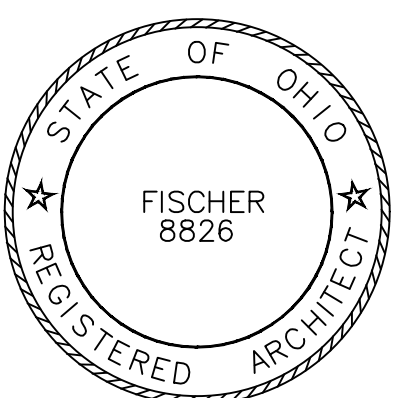






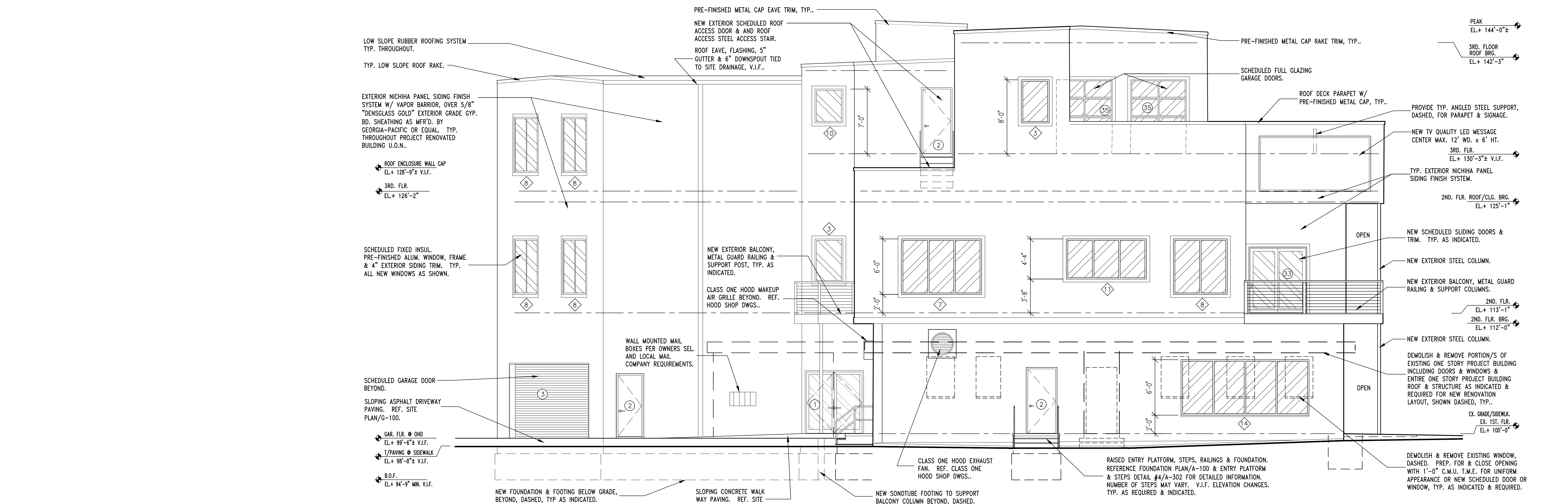


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| CLIENT REV. GENERAL      | 04/28/21 |
| CLIENT REV. GAR. DR.     | 05/14/21 |



SOUTH STREET FRONT ELEVATION

3/16" = 1'-0"



WEST ELEVATION

3/16" = 1'-0"



|                          |          |
|--------------------------|----------|
| PRELIM BG                | 01/29/20 |
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| PROGRESS                 | 06/20/20 |
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Client Name/Project Name/Address

RIVER EDGE BUILDING

(Renovations & Addition)

17730 Lorain Road  
Cleveland, Ohio

Drawing Name

ARCHITECTURAL-  
ELEVATIONS

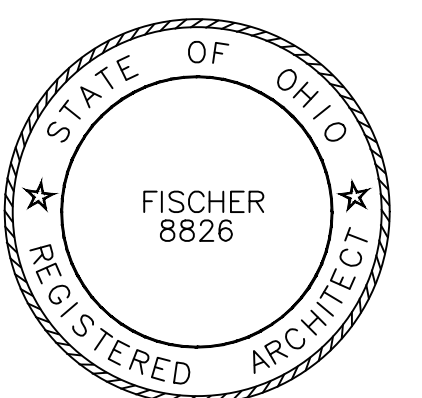
Fischer Project Number

20.001

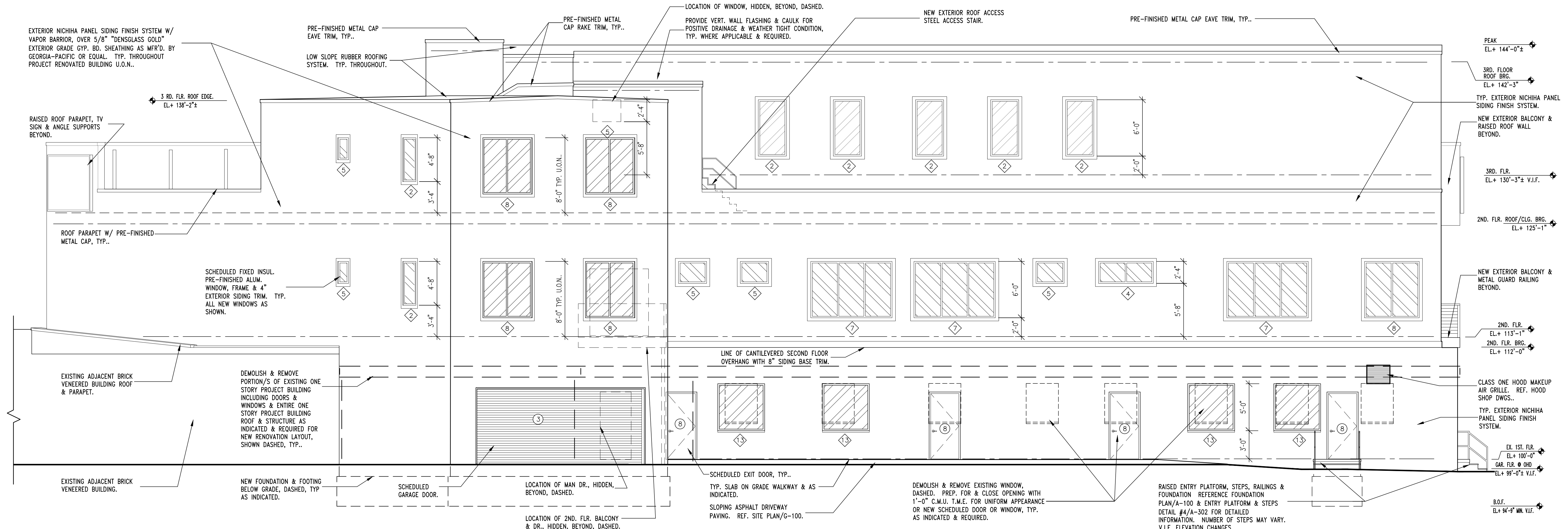
SHEET #

A-201

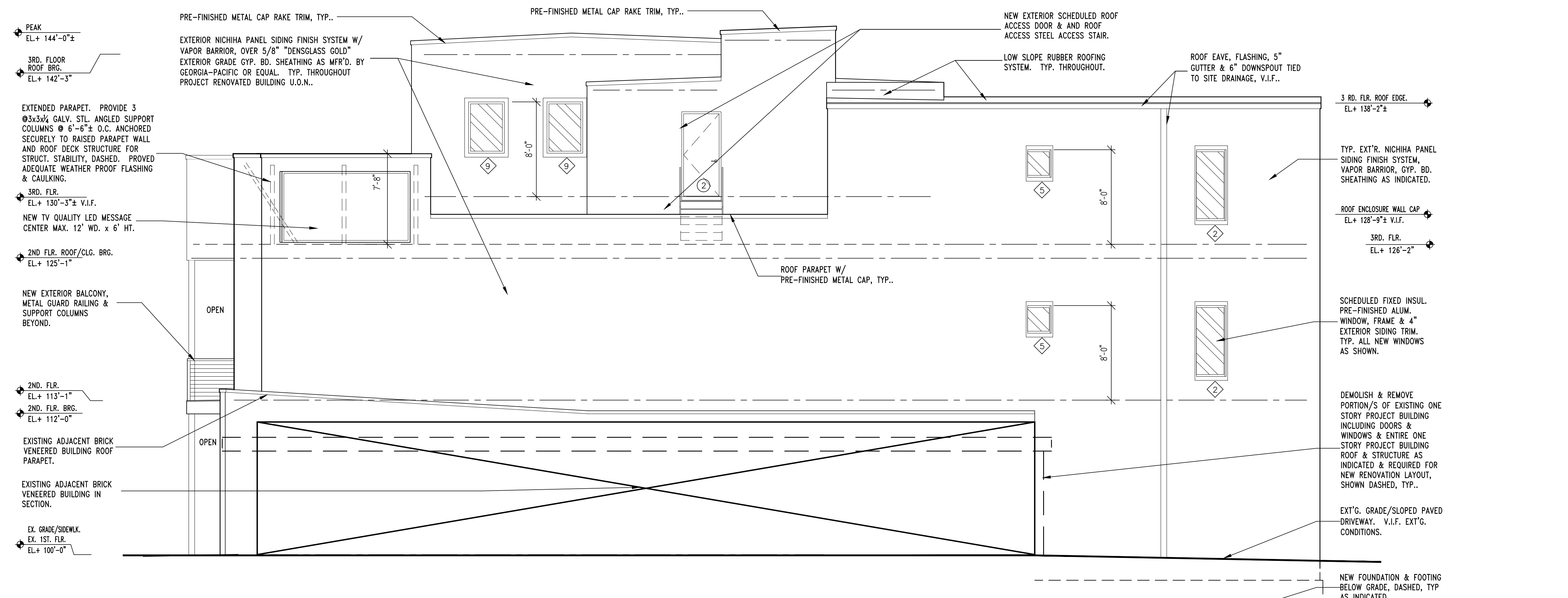
Seal



GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022



NORTH ELEVATION  
3/16" = 1'-0"



EAST ELEVATION  
3/16" = 1'-0"



|                          |          |
|--------------------------|----------|
| PRELIM BG                | 01/29/20 |
| PROGRESS                 | 05/06/20 |
| PROGRESS                 | 06/20/20 |
| PROGRESS STRUCT.         | 06/25/20 |
| PROGRESS GENERAL         | 07/06/20 |
| CLIENT REV.              | 08/12/20 |
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| FINAL REVIEW             | 10/20/20 |
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| CLIENT REV. GENERAL      | 04/14/21 |
| CLIENT REV. GENERAL      | 04/28/21 |
| CLIENT REV. GAR. DR.     | 05/14/21 |

Client Name/Project Name/Address

**RIVER EDGE BUILDING**  
**(Renovations & Addition)**  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name

ARCHITECTURAL-  
SECTIONS-DETAILS

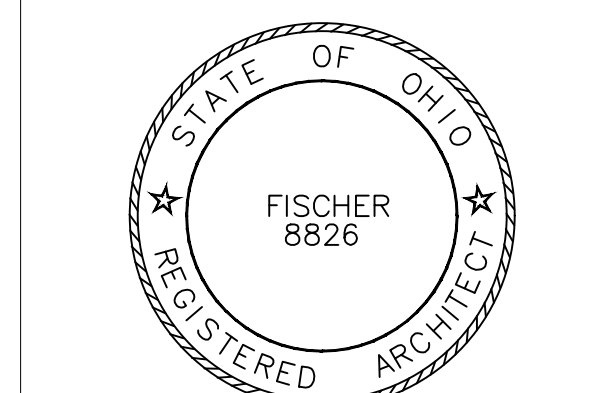
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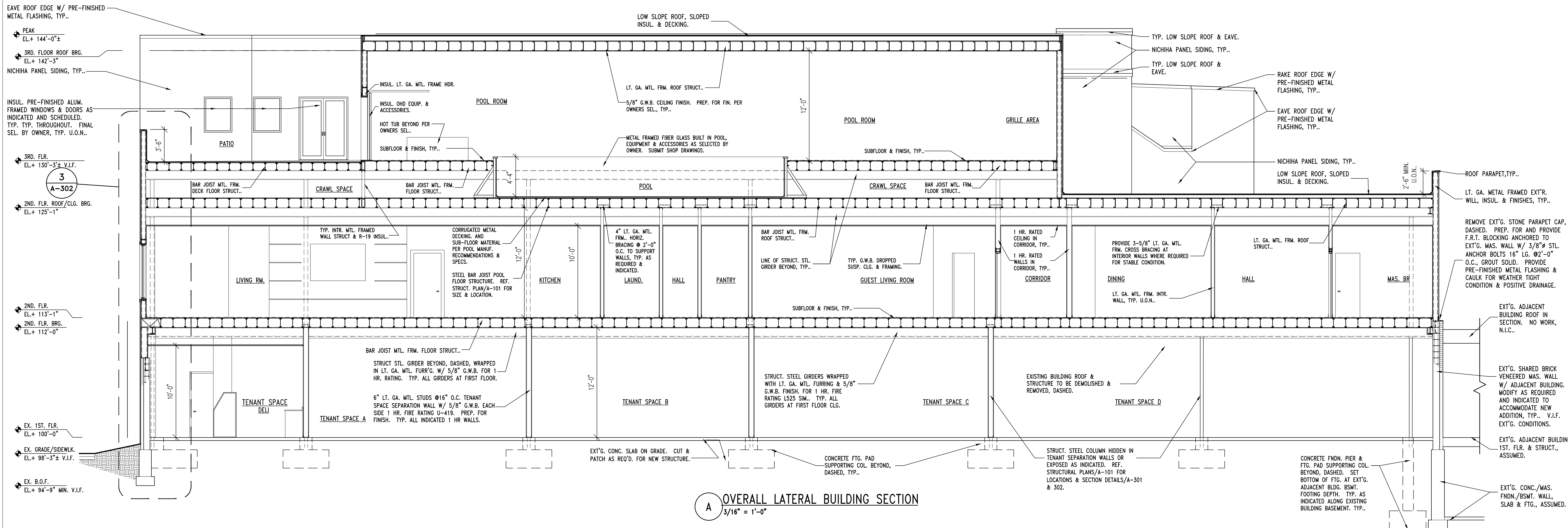
SHEET #

**A-300**

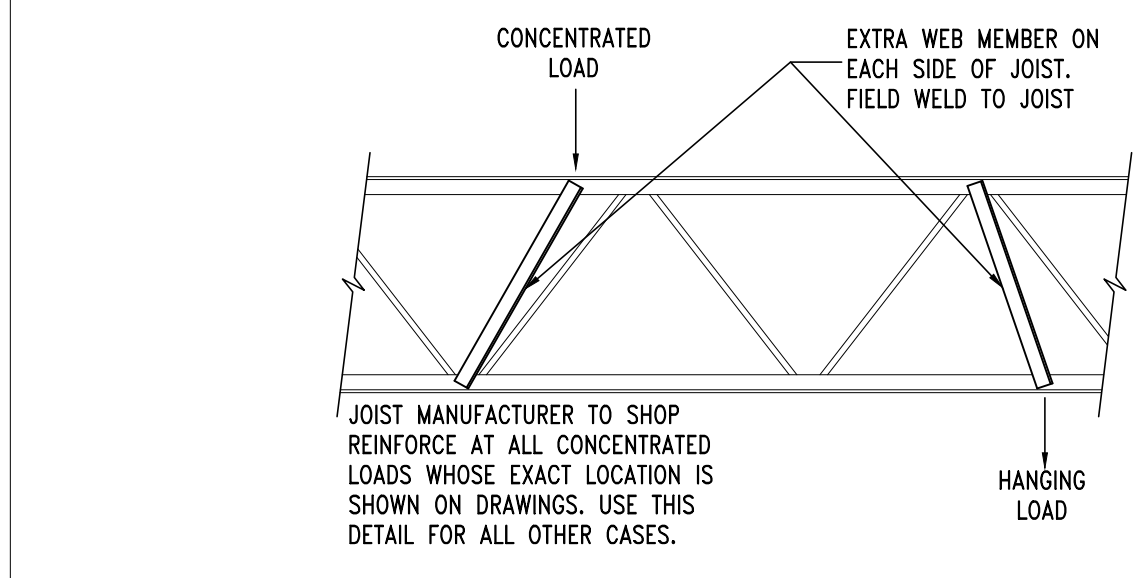
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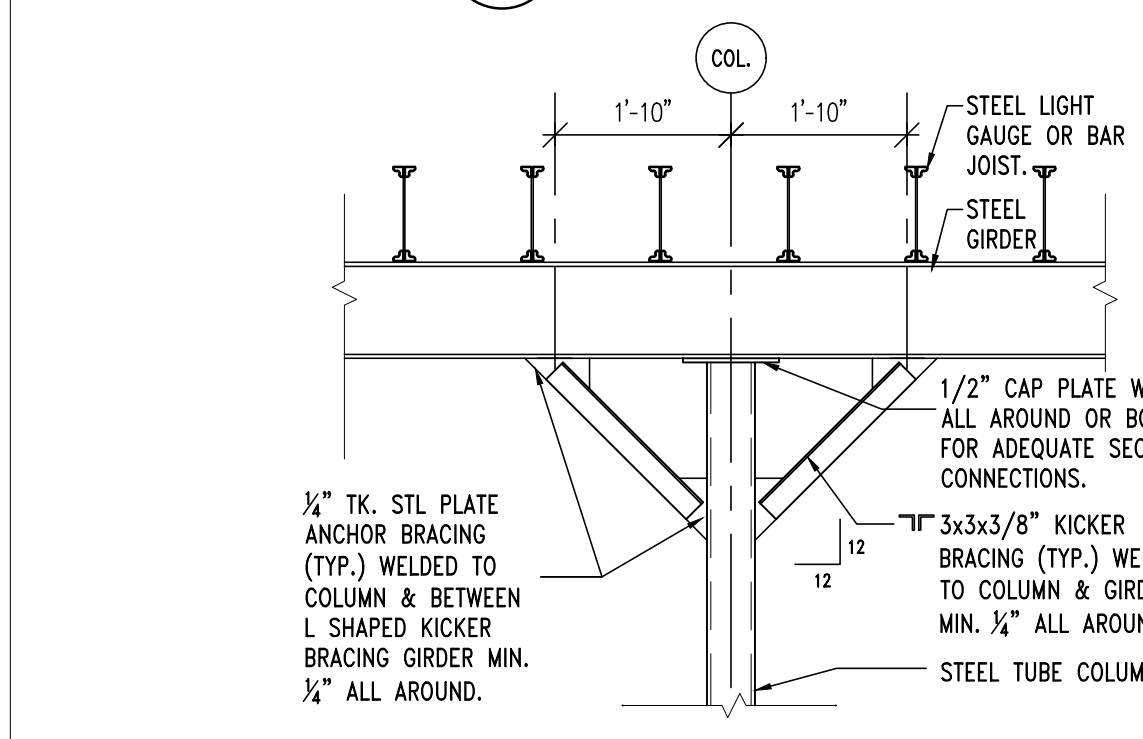
GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022



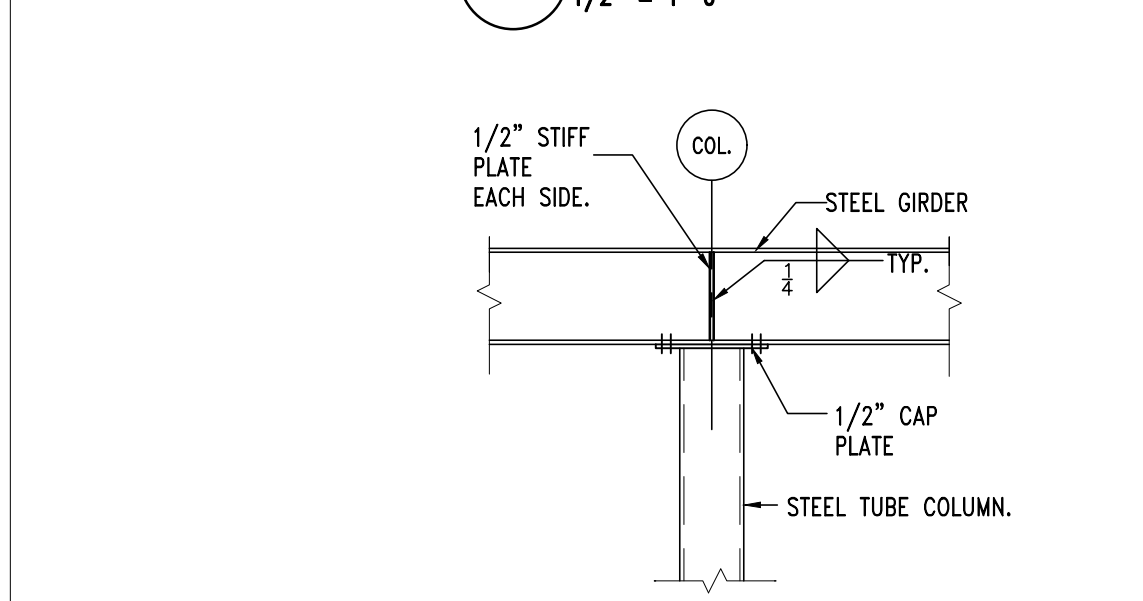
**A OVERALL LATERAL BUILDING SECTION**  
3/16" = 1'-0"



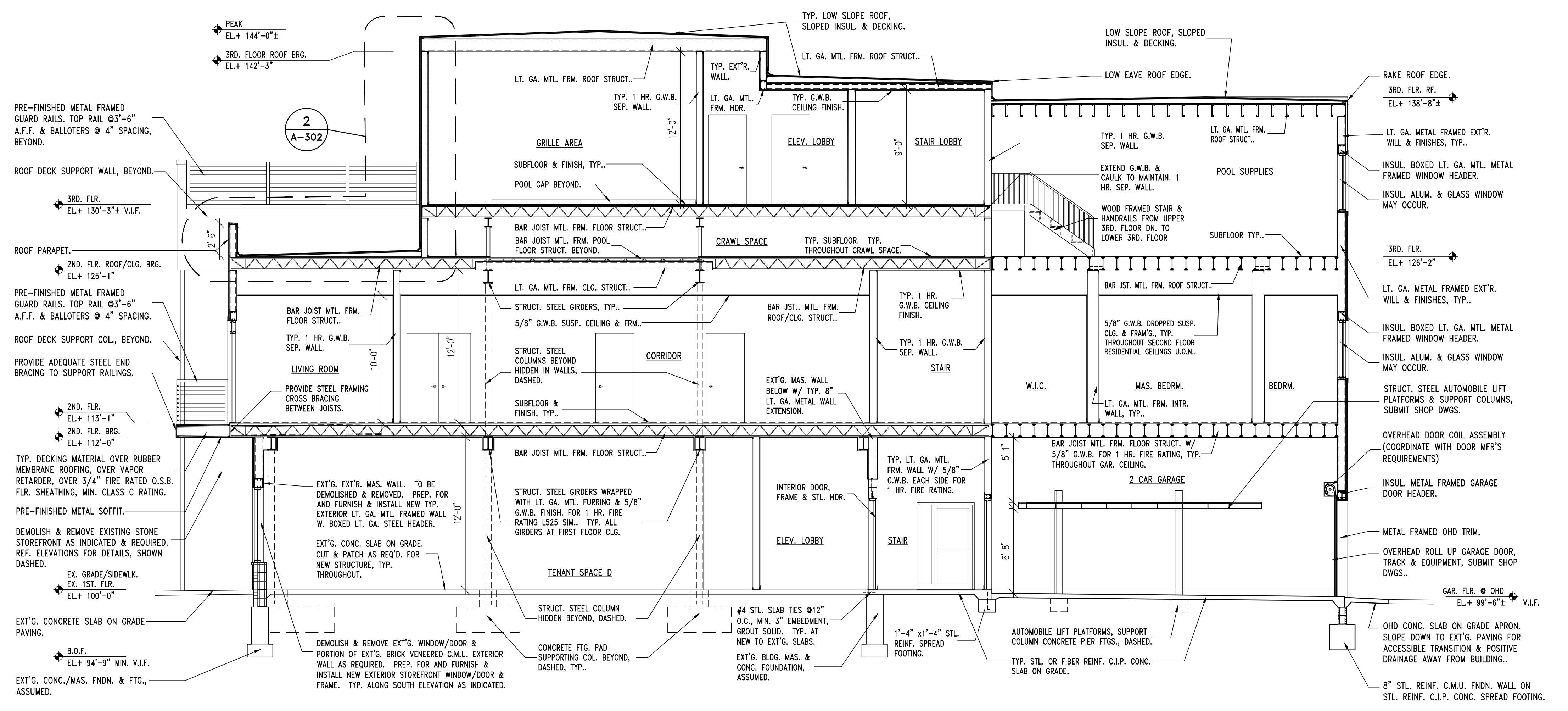
**1 JOIST REINFORCING DETAIL**  
1/2" = 1'-0"



**2 BEAM SUPPORT DETAIL**  
1/2" = 1'-0"



**3 BEAM BEARING DETAIL**  
1/2" = 1'-0"



**B OVERALL CROSS BUILDING SECTION**  
3/16" = 1'-0"



# GENERAL STRUCTURAL NOTES

**GOVERNING CODE:** OHIO BUILDING CODE, 2017 ISSUE, INCLUDING SUBSEQUENT AMENDMENTS.

**DESIGN LIVE LOADS:**

|                                |                               |
|--------------------------------|-------------------------------|
| ASSEMBLY:                      | 100 PSF                       |
| STAIRS AND CORRIDORS:          | 100 PSF                       |
| ROOF:                          | 50 PSF + APPLICABLE DRIFT     |
| ASSUMED SOIL BEARING PRESSURE: | 2500 PSF (GC TO FIELD VERIFY) |

**SNOW DESIGN REQUIREMENTS:**

|                                           |        |
|-------------------------------------------|--------|
| FLAT ROOF SNOW LOAD (P <sub>f</sub> ):    | 30 PSF |
| SNOW IMPORTANCE FACTOR (I <sub>s</sub> ): | 1.1    |
| THERMAL FACTOR (C <sub>t</sub> ):         | 1.0    |
| SNOW EXPOSURE FACTOR (C <sub>e</sub> ):   | 1.0    |

**WIND DESIGN REQUIREMENTS:**

|                                                         |             |
|---------------------------------------------------------|-------------|
| BASIC WIND SPEED:                                       | 115 MPH     |
| WIND IMPORTANCE FACTOR (I <sub>w</sub> ):               | 1.15        |
| BUILDING CATEGORY:                                      | II          |
| WIND EXPOSURE CATEGORY:                                 | B           |
| INTERNAL PRESSURE COEFFICIENT: COMPONENTS AND CLADDING: | +0.18/-0.18 |

**SEISMIC DESIGN REQUIREMENTS:**

|                                                   |                                                                                  |
|---------------------------------------------------|----------------------------------------------------------------------------------|
| SEISMIC USE GROUP:                                | II                                                                               |
| SEISMIC IMPORTANCE FACTOR (I <sub>e</sub> ):      | 1.25                                                                             |
| SPECTRAL RESPONSE COEFFICIENT (S <sub>d</sub> ):  | 0.368                                                                            |
| SPECTRAL RESPONSE COEFFICIENT (S <sub>d1</sub> ): | 0.0864                                                                           |
| SITE CLASS:                                       | D                                                                                |
| ANALYSIS PROCEDURE:                               | EQUIVALENT LATERAL FORCE BEARING WALL SYSTEM WITH REINFORCED MASONRY SHEAR WALLS |
| BASIC SEISMIC-FORCE RESISTING SYSTEM:             |                                                                                  |

SHOULD ANY OF THE GENERAL NOTES CONFLICT WITH ANY DETAILS OR INSTRUCTIONS ON PLANS, OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.

PARTS OF THE STRUCTURE AFFECTED BY OPENINGS RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. THE GENERAL CONTRACTOR SHALL VERIFY THESE CONDITIONS WITH MECHANICAL AND OTHER TRADES AND INCLUDE ANY ADDITIONAL COSTS IN BASE BID.

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE DOWNS. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENFORCE ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

**EXISTING CONDITIONS**

PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION, ELEVATIONS AND CONDITIONS. ANY CONDITIONS DISCOVERED IN VARIANCE WITH DESIGN DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND ARCHITECT AT NO COST TO THE OWNER.

**FABRICATION AND PLACEMENT SUBMITTALS**

THE CONTRACTOR WILL SUBMIT THE DOCUMENTS TO THE ARCHITECT FOR REVIEW OF CONFORMANCE WITH THE PLANS AND SPECIFICATIONS 30 DAYS BEFORE REQUIRED FOR ORDERING OR INSTALLATION AT THE JOB SITE.

THESE DRAWINGS SHALL BE CHECKED AND COORDINATED WITH OTHER MATERIALS AND CONTRACTS BY THE GENERAL CONTRACTOR AND BEAR CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ARCHITECT FOR APPROVAL.

PROPRIETARY PRODUCTS REQUIRE PHYSICAL PROPERTIES OF MATERIAL AND ANY PREPARATIONS FOR INSTALLATION OR APPLICATION METHODS.

CUSTOM FABRICATED ITEMS REQUIRE FABRICATION AND PLACEMENT DRAWINGS OF ALL MATERIALS. THESE DRAWINGS MUST INCLUDE PLANS AND DETAILS OF DECK MATERIAL WITH AN INSTALLATION SEQUENCE; LOCATION OF JOINTS; FASTENING TYPE AND SPACING; AND PROPERTIES OF MATERIALS. DESIGN CALCULATIONS ARE NECESSARY FOR ALL STRUCTURAL MEMBERS WITH DETAILS, LOCATIONS, AND LOADS ON ANY CONNECTIONS TO OTHER BUILDING MATERIALS.

AIR CONDITIONING, PLUMBING, AND OPERATING EQUIPMENT REQUIRE THE LOCATIONS OF ANY OPENINGS AND CONNECTION METHODS TO ANY STRUCTURAL PARTS OF THE BUILDING.

**SLAB ON GRADE**

PROVIDE 1'-0" WIDE THICKENED SLAB WITH 2-#4 CONTINUOUS UNDER ALL 6" NON-BEARING MASONRY WALLS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.

CONTROL JOINTS SHALL BE CREATED BY SAW CUTS, 1/8" WIDE TO A DEPTH EQUAL 1/3 OF THE SLAB THICKNESS, LOCATED ON COLUMN CENTER LINES AND AT 15'-0"OC (PLUS OR MINUS 5'-0") IN EACH DIRECTION, UNLESS NOTED OTHERWISE.

CONSTRUCTION JOINTS SHALL BE KEYED AND LOCATED AT CONTROL JOINT INTERVALS.

**FOUNDATIONS**

ELEVATIONS OF THE EXISTING FOOTINGS ARE BASED ON THE BEST INFORMATION AVAILABLE TO THE DESIGNERS. IT IS ANTICIPATED THAT THERE WILL BE VARIATIONS BETWEEN THE ACTUAL EXISTING FOUNDATIONS AND WHAT IS SHOWN ON THE DRAWINGS. THE FOOTINGS SHOWN ARE TO BE USED AS BASIS FOR BIDDING. UNIT COSTS AS SUBMITTED ON THE PROPOSAL FORM FOR IN PLACE CONCRETE (CY), EXCAVATION (CY), AND REINFORCING STEEL (LB), SHALL APPLY TO ANY VARIATIONS IN THE FOUNDATIONS AND PIERS.

DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL FLOOR SLABS ARE IN PLACE OR PERMISSION IS OBTAINED FROM THE ARCHITECT.

ALL FOOTINGS ARE TO REST ON FIRM UNDISTURBED SOIL, OF BEARING CAPACITY NOTED, REGARDLESS OF ELEVATIONS SHOWN ON DRAWINGS, WHERE ROCK OR SHALE IS THE BEARING MATERIAL PROVIDE 6" DEEP PENETRATION.

ALL SOIL SURROUNDING AND UNDER FOOTINGS SHALL BE PROTECTED FROM FROST ACTION AND FREEZING DURING THE COURSE OF CONSTRUCTION.

BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 1'-0" BELOW EXISTING GRADE.

BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 3'-6" BELOW FINISHED GRADE.

STEP BOTTOM OF FOOTING, WHERE REQUIRED, AT A RATE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL. MAXIMUM VERTICAL STEP 2'-0".

WHERE FOOTINGS ARE IN CLOSE PROXIMITY OF SEWERS, BOTTOM OF FOOTINGS SHALL BE AT LEAST 8" BELOW INVERT ELEVATION OF SEWERS.

KEEP FOUNDATION EXCAVATIONS FREE OF WATER AT ALL TIMES.

USE LEAN CONCRETE (f'<sub>c</sub>=1500 PSI) FOR OVER-EXCAVATION OF FOOTINGS AND REPLACEMENT OF WEAKENED SOIL.

**CONCRETE**

CONCRETE SHALL DEVELOP A COMPRESSIVE STRENGTH IN 28 DAYS:

- ALL CONCRETE = 4000 PSI
- ALL CONCRETE EXPOSED TO WEATHER = 4000 PSI AIR ENTRAINED

CONCRETE WORK, DETAILING, FABRICATION, AND ERECTION OF STEEL REINFORCING BARS SHALL CONFORM TO THE LATEST A.C.I. SPECS. AND DETAILING MANUAL.

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE.

PROVIDE 3" MINIMUM COVER FOR ALL STRUCTURAL STEEL BELOW GRADE.

REINFORCING STEEL SHALL BE 60,000 PSI YIELD.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM-185.

NO TACK WELDING OF REINFORCING STEEL WILL BE PERMITTED.

ALL LAP SPLICES SHALL BE CLASS B, UNLESS NOTED OTHERWISE.

IN REINFORCED CONCRETE WALLS AND TRENCH FOOTINGS PROVIDE CORNER DOWELS OF SAME SIZE AND SPACING AS HORIZONTAL REINFORCING. DOWELS SHALL HAVE A CLASS B LAP WITH HORIZONTAL REINFORCING IN EACH DIRECTION.

PROVIDE THE FOLLOWING ADDITIONAL REINFORCING AT OPENINGS IN CONCRETE WALLS:

- 1-#5 AT EACH FACE OF WALL AT EACH OPENING. EXTEND 2'-0" BEYOND OPENING (TYPICAL).
- 1-#5 X 4'-0" LONG AT EACH FACE OF WALL DIAGONALLY AT EACH CORNER.

PLACE REINFORCING FOR CONCRETE WALLS AND COLUMNS AT THE SAME TIME. SET COLUMN REINFORCING FIRST AND THREAD WALL REINFORCING THROUGH COLUMN VERTICALS.

ALL CONCRETE COLUMN POURS SHALL BE COMPLETED AT LEAST TWO HOURS PRIOR TO POURING ADJOINING BEAMS, JOISTS, AND SLABS.

ALL KEYS IN CONCRETE WALLS SHALL BE 2 X 4 UNLESS NOTED OTHERWISE.

PROVIDE A MINIMUM OF 2-#4 BARS IN TOP OF ALL CONCRETE BEAMS WITH STIRRUPS.

PROVIDE DOUBLE JOISTS UNDER PARALLEL MASONRY PARTITIONS UNLESS NOTED.

SLEEVES, HOLES, OR INSERTS SHALL NOT BE PLACED IN SLABS WITHIN 2'-0" OF THE EDGE OF COLUMNS OR ANYWHERE IN BEAMS, COLUMNS, OR JOISTS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT.

ALL CONCRETE ACCESSORIES EXPOSED TO WEATHER SHALL BE CORROSION RESISTANT.

WIRE MESH REINFORCEMENT SHALL LAP ONE MESH SIZE AT SIDES AND ENDS AND BE WIRED TOGETHER.

REINFORCING STEEL SHOP DRAWINGS SHALL INDICATE THE SEQUENCE IN WHICH LAYERS OF CROSSING REINFORCING SHOULD BE PLACED IN ORDER TO PRODUCE THE CORRECT OUTERMOST LAYERS AS INDICATED ON THE DRAWINGS.

**MASONRY**

**MATERIALS:**

|                           |              |            |
|---------------------------|--------------|------------|
| HOLLOW LOAD BEARING UNITS | (GRADE N-11) | ASTM C 90  |
| SOLID LOAD BEARING UNITS  | (GRADE N-11) | ASTM C 145 |
| CONCRETE BRICK            | (GRADE N-11) | ASTM C 455 |
| MORTAR                    | (TYPE S)     | ASTM C 476 |

GROUT FOR REINFORCED MASONRY SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI MINIMUM.

WALLS SHOWN ON STRUCTURAL DRAWINGS ARE FOR CLARITY ONLY. SEE ARCHITECTURAL DRAWINGS FOR COMPOSITION OF MASONRY WALLS EXCEPT PIERS.

ALL HOLLOW UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL EDGES OF FACE SHELLS. WEBS SHALL ALSO BE BEDDED IN ALL COURSES OF BEARING WALLS, PIERS, COLUMNS AND PILASTERS. STARTING COURSE ON FOOTINGS ADJACENT TO CELLS OR CAVITIES SHALL BE FILLED WITH GROUT.

SOLID UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS.

COLLAR (VERTICAL LONGITUDINAL) JOINTS BETWEEN THE FACING AND BACKING WHYES IN WALLS SHALL BE COMPLETELY FILLED WITH MORTAR OR GROUT WHICH SHALL BE WORKED IN WITH A TROWEL.

MORTAR PROTRUSIONS EXTENDING INTO CELLS OR CAVITIES TO BE GROUTED SHALL BE REMOVED.

IN MASONRY WALLS NO CHASES, RISERS, CONDUITS, OR TOOTHING OF MASONRY SHALL OCCUR WITHIN 17" OF CENTERLINE OF BEAM BEARING OR LOAD CONCENTRATION.

USE 2 COURSES (16") OF SOLID MASONRY BELOW EACH BEAM OR LINTEL BEARING.

USE 1 COURSE (8") OF SOLID MASONRY BELOW EACH STEEL JOIST BEARING UNLESS NOTED OTHERWISE.

BOLTS OR ANCHORS SHALL BE EMBEDDED IN GROUT.

INTERSECTING LOAD BEARING WALLS SHALL BE TIED TOGETHER IN MASONRY BOND UNLESS NOTED OTHERWISE.

WALLS WILL HAVE 9 GA LADDER TYPE STEEL WIRE MORTAR JOINT REINFORCING AT 16"OC VERTICAL SPACING.

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN MORTAR OR GROUT.

**PIERS:**

- IF NOT SPECIFICALLY INDICATED, CONSTRUCT PIERS USING SAME MASONRY AS THAT IN WALL.
- PIERS DESIGNATED SMP SHALL BE CONSTRUCTED USING CONCRETE BUILDING BRICK CONFORMING TO ASTM C 55 GRADE N-11.
- BOND PIERS INTO ADJACENT WALLS USING PIER MASONRY MATERIAL FOR TOOTHING.

PROVIDE AN ADDITIONAL 2 - #5 BARS AT EACH SIDE OF ALL OPENINGS AS WELL AS ABOVE AND BELOW EACH OPENING AND AT THE ENDS OF WALLS. BARS TO EXTEND A MINIMUM OF 24" PAST THE EDGE OF OPENINGS.

AT TOPS OF ALL REINFORCED MASONRY COLUMNS, PROVIDE ADDITIONAL 2 - #4 TIES AT 4"OC AROUND VERTICAL BARS.

**STRUCTURAL STEEL**

**MATERIALS:**

|                   |            |
|-------------------|------------|
| STRUCTURAL STEEL  | ASTM A 36  |
| BOLTS             | ASTM A 325 |
| ANCHOR BOLTS      | ASTM A 307 |
| WELDING ELECTRODE | AWS E 70   |

DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.I.S.C. SPECIFICATIONS.

**CONNECTIONS:**

NON-COMPOSITE MEMBERS: DESIGN CONNECTIONS FOR FULL STRENGTH OF MEMBER FOR SPAN PER A.I.S.C. BEAM LOAD TABLES.

SHOP CONNECTIONS SHALL BE BOLTED (3/4"Ø A 325 BOLTS) OR WELDED UNLESS NOTED OTHERWISE.

**STRUCTURAL STEEL CONTINUED**

FIELD CONNECTIONS SHALL BE 3/4"Ø A 325 BOLTS (FRICTION TYPE).

ONE SIDED CONNECTIONS WILL NOT BE PERMITTED UNLESS DETAILED ON THE DRAWINGS.

BEAMS BEARING ON MASONRY SHALL HAVE ANGLE WALL ANCHORS AS SHOWN IN THE A.I.S.C. MANUAL EXCEPT ANGLES SHALL BE WELDED TO THE BEAMS.

PROVIDE 1/2 X 8 X 0-8 BEARING PLATES FOR ALL WALL BEARING BEAMS UNLESS NOTED OTHERWISE.

ALL LOOSE BEAM LINTELS SHALL HAVE 8" MINIMUM BEARING UNLESS NOTED.

LOOSE LINTELS OVER DOORS, WINDOWS, DUCTS, AND MISCELLANEOUS OPENINGS IN MAS. WALLS TO BE USED FOR EACH 4" OF MASONRY WALL THICKNESS U.O.N.:

1 - L 3 1/2 X 4 X 5/16" FOR SPANS UP TO 4'-0" WITH 6" BEARING EACH END.

1 - L 3 1/2 X 5 X 5/16" FOR SPANS UP TO 5'-0" WITH 6" BEARING EACH END.

1 - L 3 1/2 X 6 X 5/16" FOR SPANS UP TO 6'-0" WITH 8" BEARING EACH END.

SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR MASONRY OPENINGS.

PROVIDE 9/16"Ø ROUND HOLES AS REQUIRED BY ARCHITECTURAL DRAWINGS FOR WOOD NAILERS.

ALL STRUCTURAL STEEL BEAMS AND COLUMNS ADJACENT TO MASONRY SHALL HAVE 1 1/2 X 1/8" STRAP ANCHORS AT 2'-8"OC OR APPROVED EQUAL.

PROVIDE 1/16" DRAW FOR EACH 10'-0" LENGTH OF BRACING.

SUBSTITUTION OF MEMBERS IS PERMITTED TO FACILITATE DELIVERY. SUBSTITUTION MEMBERS SHALL BE THE SAME NOMINAL DEPTH AND HAVE A FOOT WEIGHT GREATER THAN THE MEMBER INDICATED.

ALL WELDING SHALL CONFORM TO THE "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION" OF THE A.W.S. AND BE PERFORMED BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. STANDARDS.

SEQUENCE OF PLACING WELDS SHALL BE SUCH AS TO AVOID DISTORTION OF MEMBERS.

NO WELDING OR FINAL BOLTING SHALL BE DONE UNTIL STRUCTURE HAS BEEN PROPERLY ALIGNED.

**STEEL JOISTS**

STEEL JOISTS SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH THE LATEST S.J.I. SPECIFICATIONS.

ALL "K" SERIES JOISTS TO HAVE 3/8 X 4 X 0-10 BEARING PLATES WITH 1/2"Ø ANCHOR BOLTS X 18" LONG +2" HOOK (2 PER PLATE) UNLESS NOTED OTHERWISE.

JOISTS ON COLUMN CENTERLINES OR NEAREST TO COLUMN CENTERLINES SHALL BE ANCHORED BY BOLTING.

EXTEND JOIST BEARING END 1" MINIMUM PAST CENTERLINE OF SUPPORTING BEAM WHERE POSSIBLE.

ADJACENT JOISTS OF SAME DEPTH ARE TO HAVE WEB MEMBERS IN LINE TO PERMIT PASSAGE OF MECHANICAL DUCT WORK.

JOIST EXTENSIONS, WHETHER CANTILEVERED OR SUPPORTED, SHALL PROVIDE A MINIMUM LOAD SUSTAINING CAPACITY EQUAL TO THE JOIST.

ALL STEEL JOISTS WITH A LENGTH OF 40 FEET OR GREATER SHALL HAVE BOLTED DIAGONAL CROSS-BRIDGING FOR ONE OF THE REQUIRED ROWS. THIS SHALL BE THE ROW NEAREST TO MID-SPAN. BOLTED DIAGONAL BRIDGING SHALL BE INSTALLED AND CONNECTED BEFORE RELEASING THE HOISTING LINES.

**METAL DECK**

DECK SHALL CONFORM TO ALL REQUIREMENTS OF "BASIC DESIGN SPECIFICATIONS" AS ADOPTED BY THE S.D.I.

METAL DECK SHALL BE WIDE RIB WITH NESTING SIDE SEAMS OF DEPTH AND GAGE INDICATED ON THE DRAWINGS.

ATTACHMENT:

METAL DECK SHALL BE WELDED TO ALL SUPPORTING STEEL WITH PUDDLE WELDS (5/8"Ø MINIMUM) AT 12" CENTERS (5 PER SHEET MINIMUM).

SIDE LAP CONNECTIONS SHALL BE MADE WITH #12 SELF TAPPING SCREWS AT A MAXIMUM OF 3'-0" CENTERS.

**METAL DECK CONSTRUCTION:**

1 1/2" TYPE B X 22 GAGE PHOSPHATIZED, PRIME PAINTED GRAY. NOTED ON PLAN. SEE SPECIFICATIONS OR FINISH SCHEDULE.

METAL DECK TO BE WELDED TO SUPPORTING STEEL.

FINISH METAL DECK TO BE MANUF. PRIME PAINTED.

STEEL ELEVATIONS GIVEN AS PLUS FEET AND INCHES TO TOP OF STEEL REFERENCED FROM FINISHED FLOOR ELEVATION 100'-0".

PROVIDE JOIST BRIDGING IN ACCORDANCE WITH STEEL JOIST INSTITUTE UNLESS NOTED OTHERWISE.

PROVIDE 12 1/2 X 2 1/2 X 1/4" AT ALL CHANGES IN DECK DIRECTION AND ALL LOCATIONS WHERE DECK IS CUT ON A SKEW.

COORDINATE ALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

DECK SUPPORT ANGLE - CONTINUOUS Z5 X 3 1/2 X 5/16 LLV. TYPICAL AT ALL MASONRY WALLS PARALLEL TO STEEL JOISTS UNLESS NOTED OTHERWISE. SEE TYPICAL DETAILS.

ELEVATIONS NOTED ON PLAN ARE FROM REFERENCE FINISHED FLOOR ELEVATION 100'-0" UNLESS NOTED OTHERWISE.

**FLOOR CONSTRUCTION:**

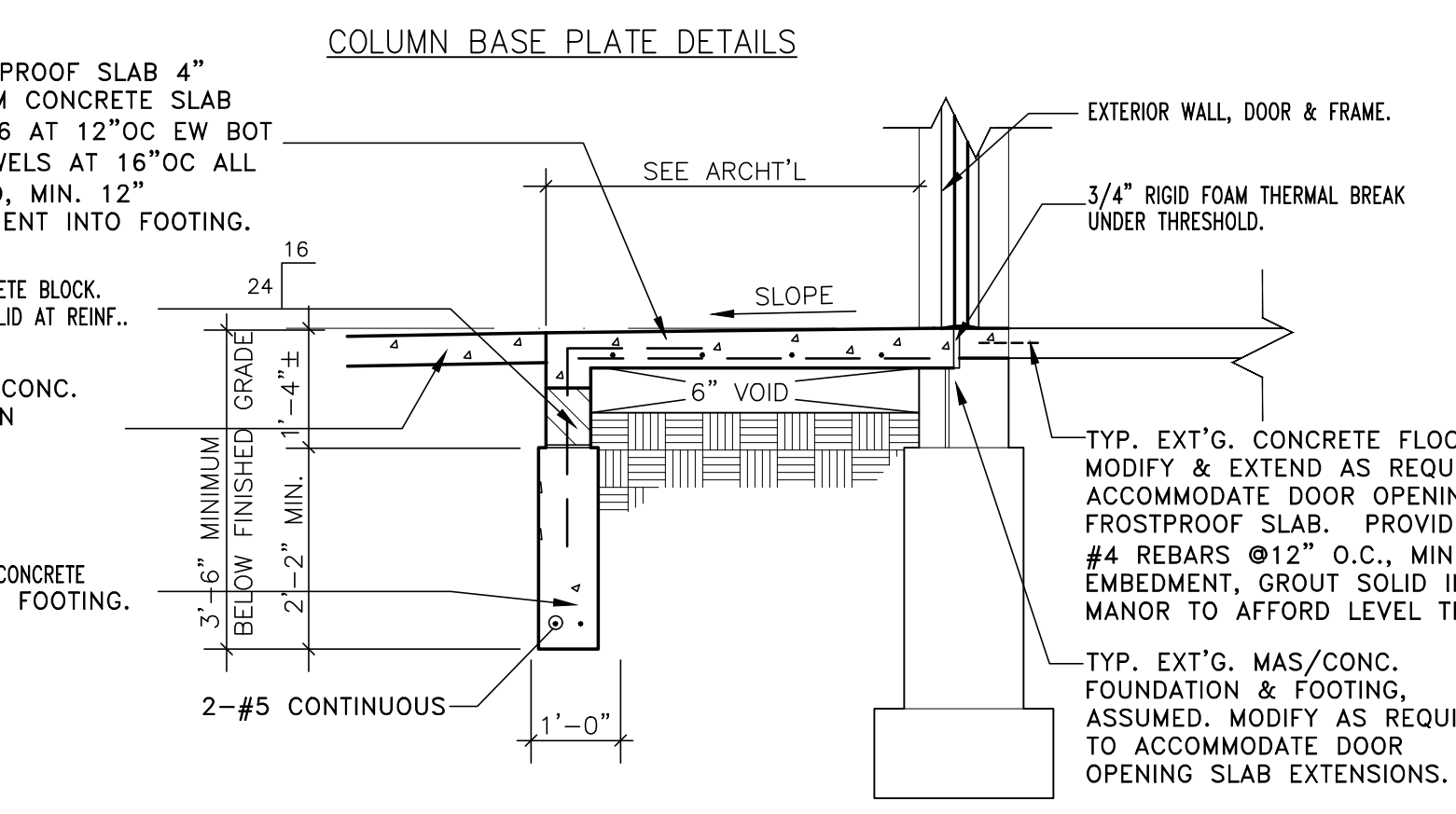
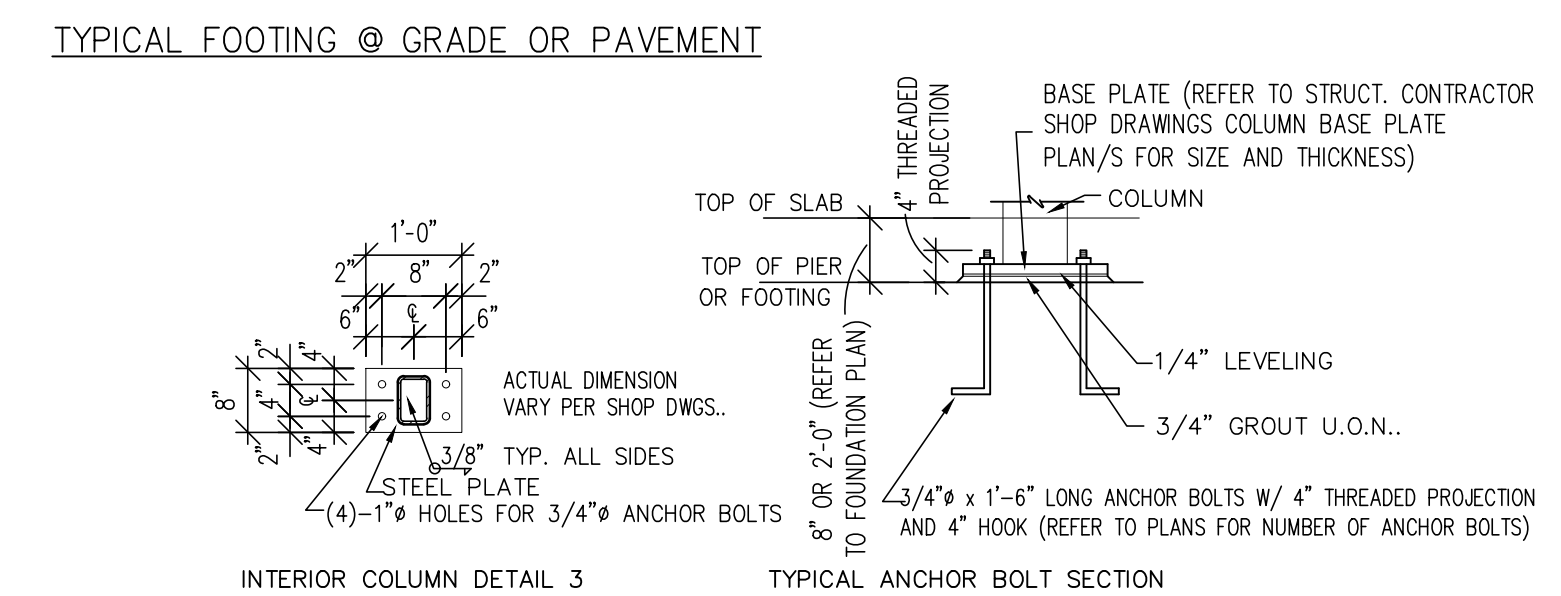
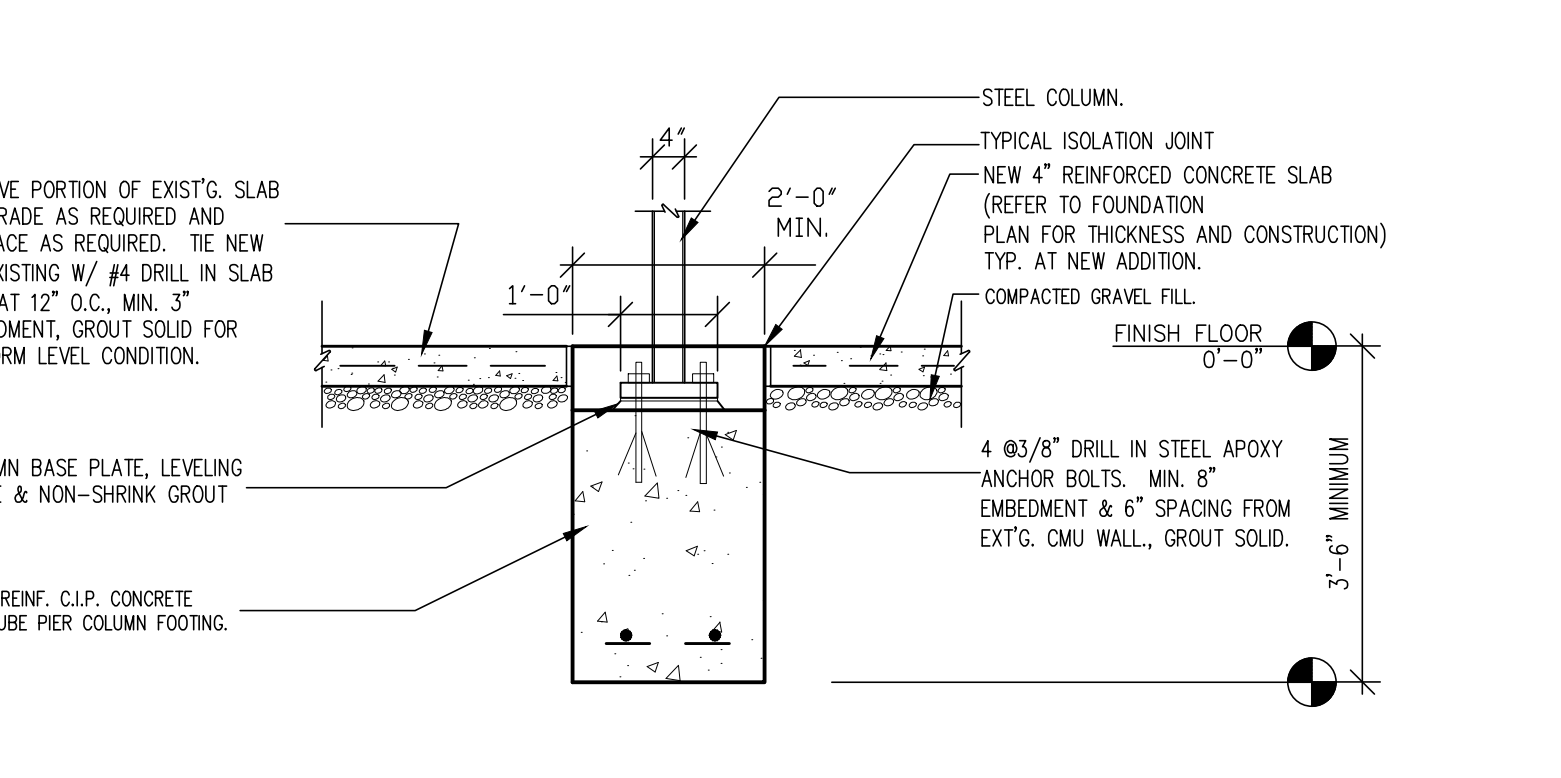
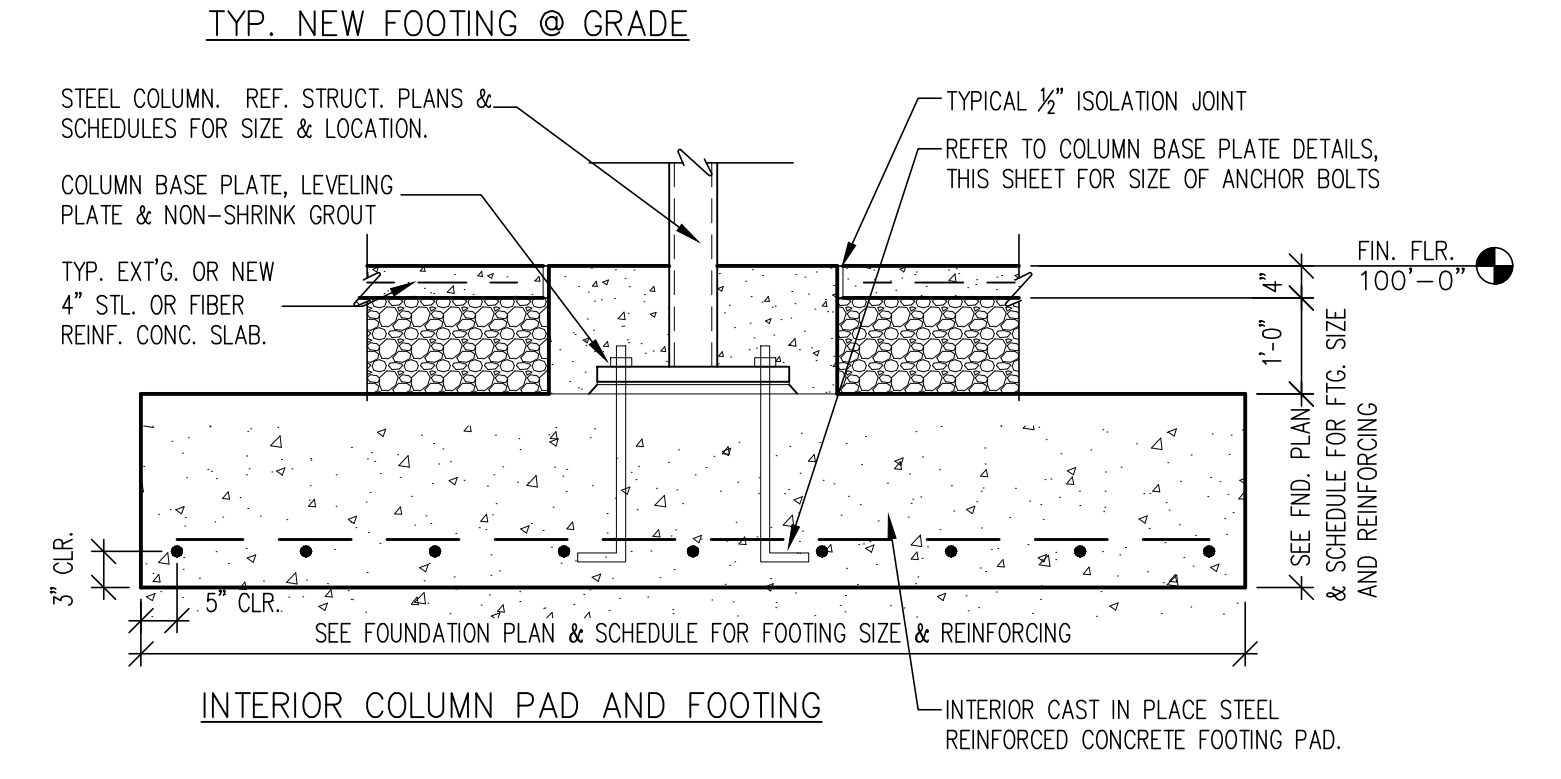
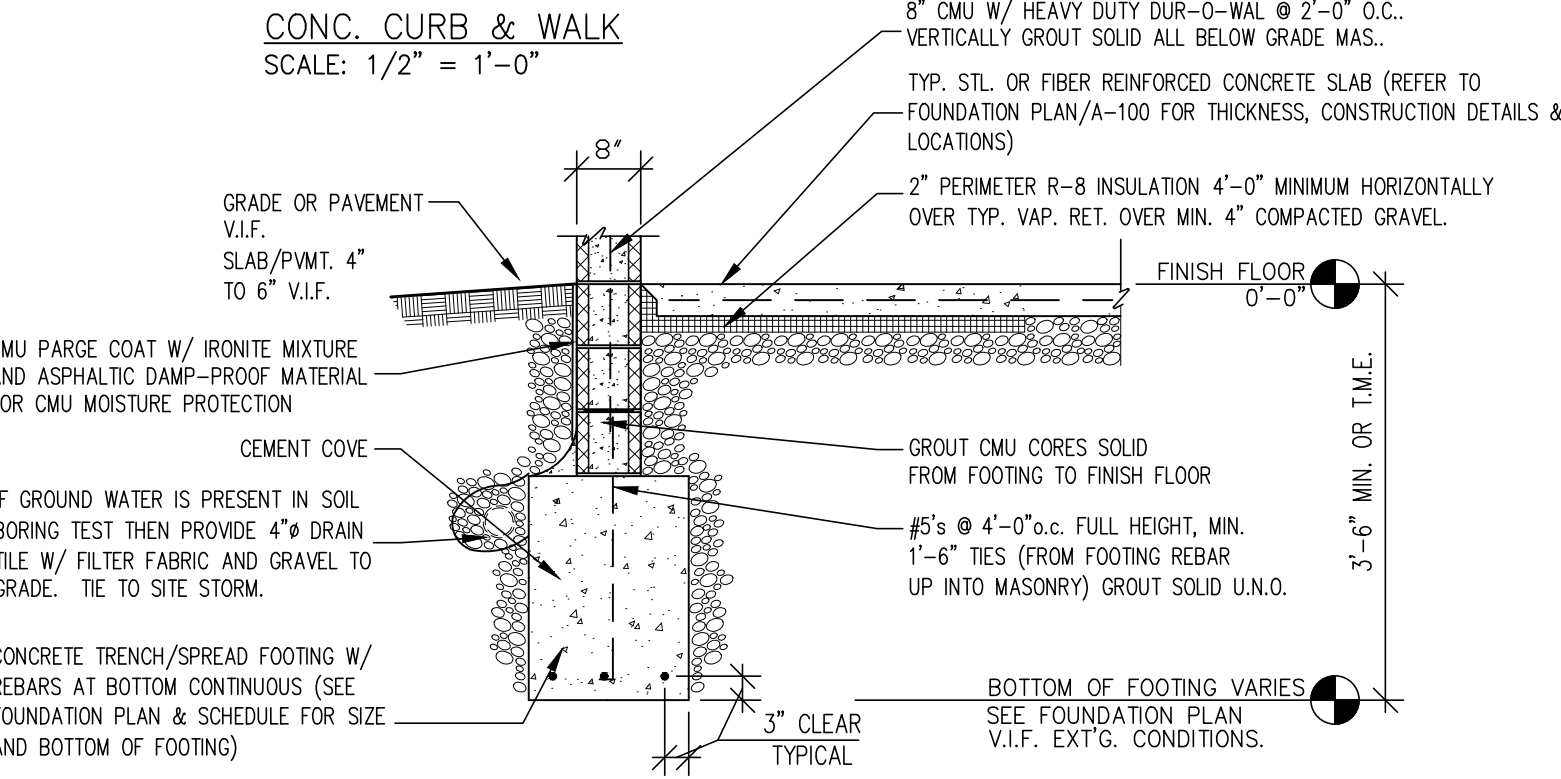
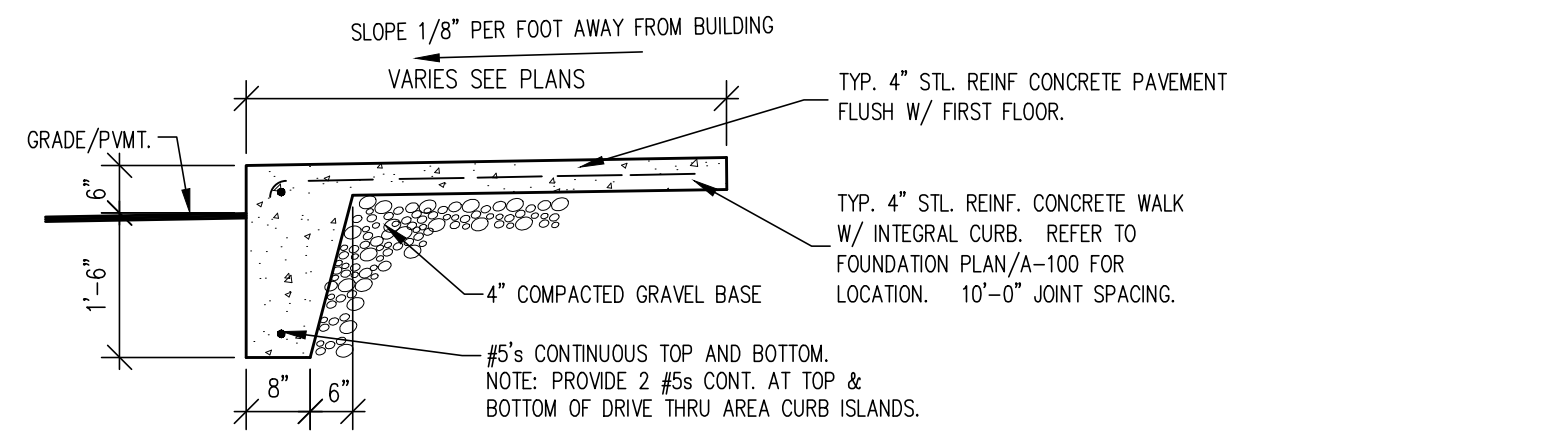
45" CONCRETE SLAB REINFORCED WITH 6x6-10/10 W.W.F. ON 6 MIL VAPOR BARRIER ON 6" COMPACTED GRANULAR FILL AS NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXTENT AND FINISH OF SLAB ON GRADE AND ANY FLOOR DEPRESSION.

PROVIDE 2 - #4 X 3'-0" AT ALL RE-ENTRANT CORNERS.

FOOTING ELEVATIONS ARE GIVEN AS MINUS FEET AND INCHES TO TOP OF FOOTING AND ARE REFERENCED FROM THE FINISHED FIRST FLOOR ELEVATION 100'-0".

NOTE: FOUNDATION THICKNESS SHOWN ON PLAN OR IN SCHEDULE IS A MINIMUM ONLY. CONTRACTOR SHALL FINISH TOP OF FOUNDATION AT 8" BELOW FINISHED FLOOR WHERE POSSIBLE.



**FOOTING & FOUNDATION DETAILS**

1/2" = 1'-0"

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street  
Lorain, Ohio 44052  
Tel: (440) 315-2300

E mail: andrea@fischerarch.com

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ISSUE: DATE:

|                          |          |
|--------------------------|----------|
| PRELIM BG                | 01/29/20 |
| PROGRESS                 | 05/06/20 |
| PROGRESS                 | 06/20/20 |
| PROGRESS STRUCT.         | 06/25/20 |
| PROGRESS GENERAL         | 07/06/20 |
| CLIENT REV.              | 08/12/20 |
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| CLIENT REV. GENERAL      | 04/14/21 |
| CLIENT REV. GENERAL      | 04/28/21 |
| CLIENT REV. GAR. DR.     | 05/14/21 |

Client Name/Project Name/Address

RIVER EDGE BUILDING  
(Renovations & Addition)  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name

ARCHITECTURAL  
FOUNDATION & FOOTING SECTION DETAILS  
STRUCTURAL SPECIFICATION NOTES

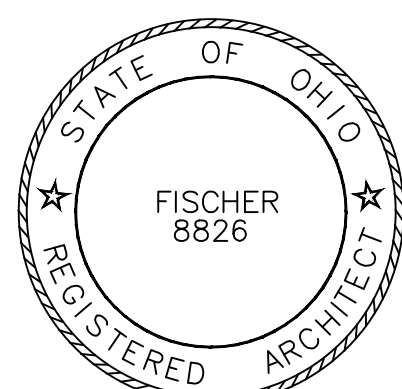
Fischer Project Number

20.001

SHEET #

A-301

Seal



GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022





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Client Name/Project Name/Address

**RIVER EDGE BUILDING**  
 (Renovations & Addition)  
 17730 Lorain Road  
 Cleveland, Ohio

Drawing Name

SECTION DETAILS & RELATED NOTES

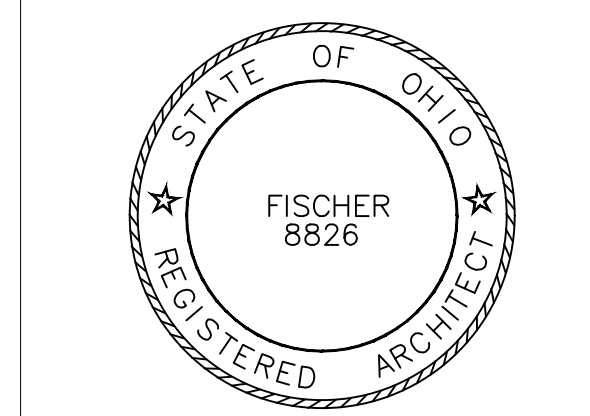
Fischer Project Number

20.001

SHEET #

A-302

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EXPIRATION DATE 12/31/2022

**STEEL LINTEL SCHEDULE AND INFORMATION**

A. LOOSE LINTELS OVER MASONRY OPENINGS TO BE USED FOR EACH 4" OF MASONRY WALL THICKNESS:

- 1 - < 3-1/2" X 4" X 5/16" FOR SPANS UP TO 4'-0" WITH SOLID BEARING EACH END
- 1 - < 3-1/2" X 5" X 5/16" FOR SPANS UP TO 5'-0" WITH SOLID BEARING EACH END
- 1 - < 3-1/2" X 6" X 5/16" FOR SPANS UP TO 6'-6" WITH 8" BEARING EACH END

B. ALL LOOSE LINTELS SHALL HAVE 8" MINIMUM SOLID BEARING EACH END UNLESS NOTED OTHERWISE.

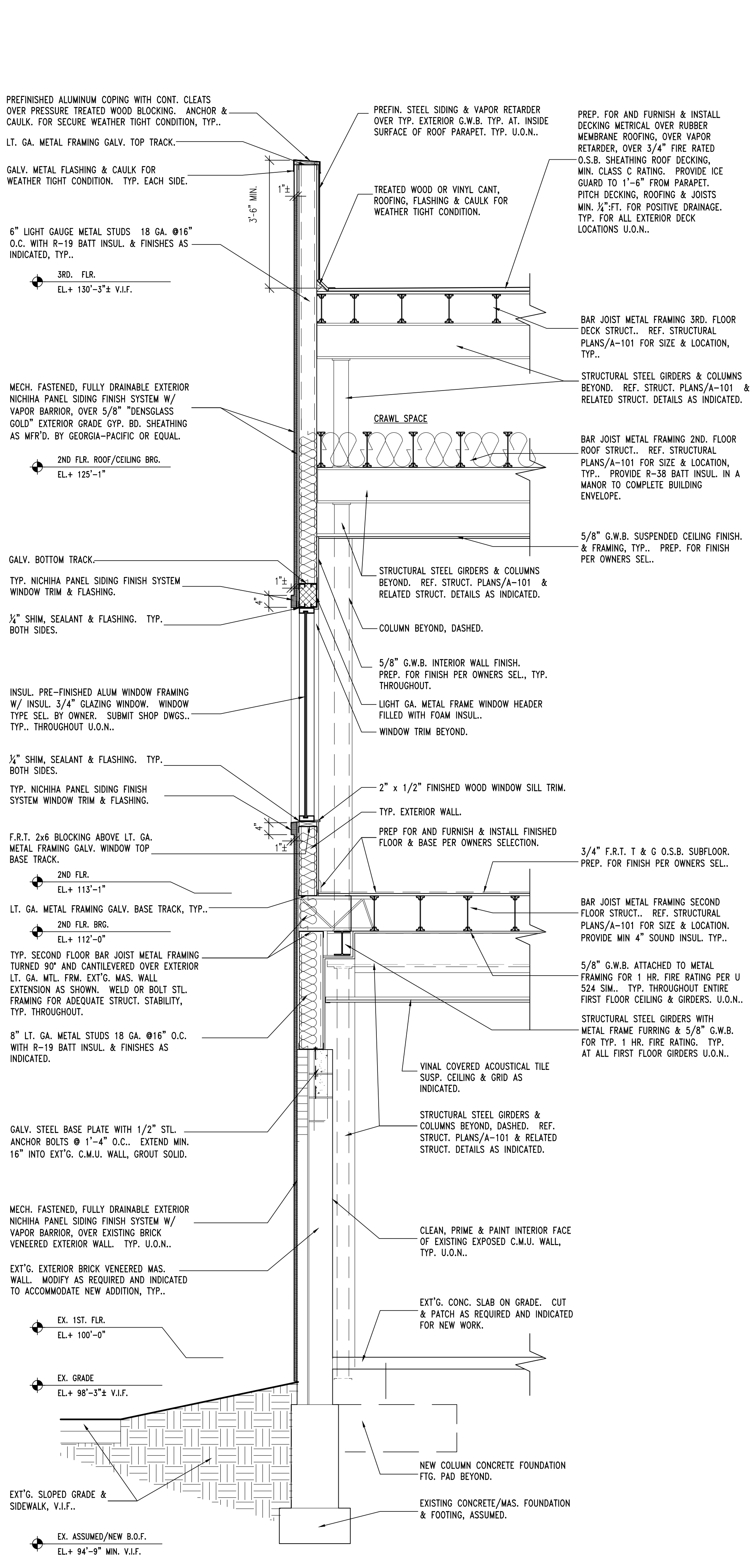
C. NOT USED

D. PROVIDE MIN. (3) COURSES (24") OF SOLID MASONRY BELOW EACH LINTEL BEARING.

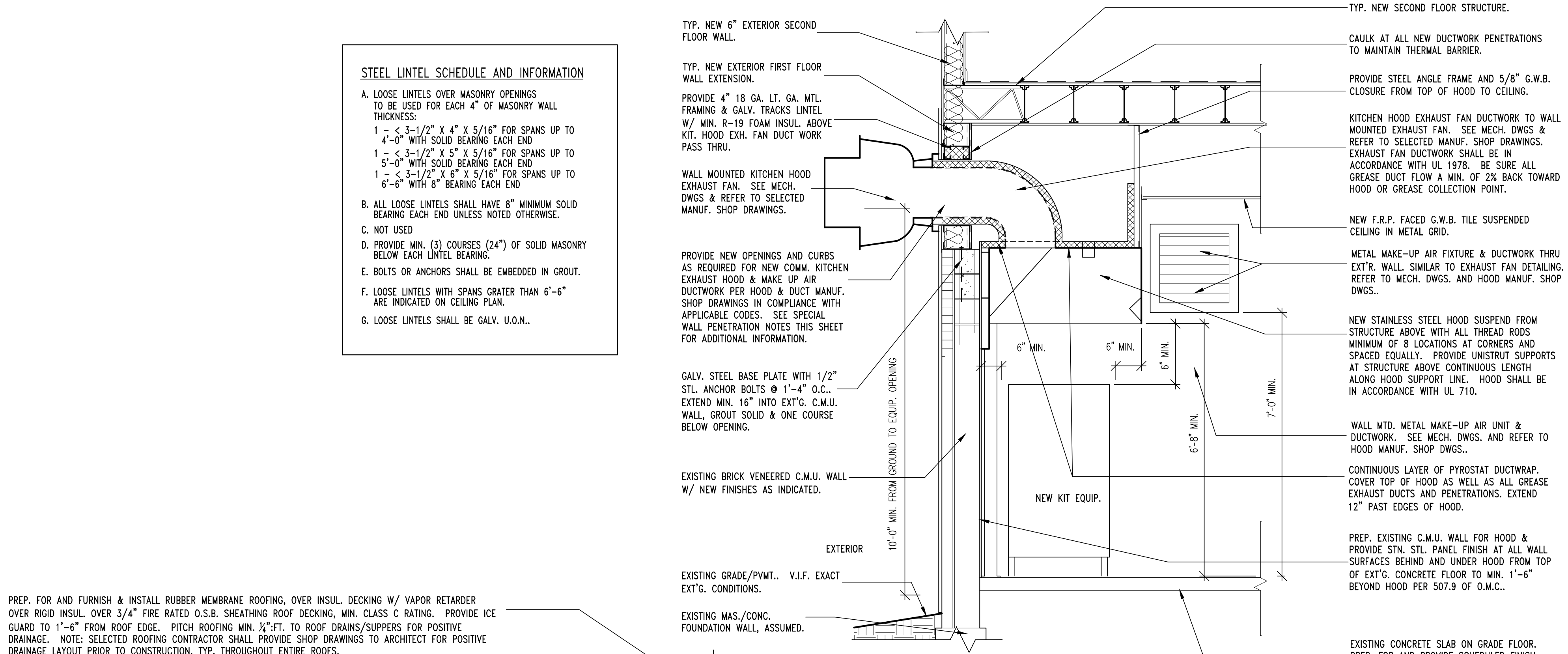
E. BOLTS OR ANCHORS SHALL BE EMBEDDED IN GROUT.

F. LOOSE LINTELS WITH SPANS GRATER THAN 6'-6" ARE INDICATED ON CEILING PLAN.

G. LOOSE LINTELS SHALL BE GALV. U.O.N..



3 EXTERIOR WALL SECTION DETAIL  
1/2" = 1'-0"

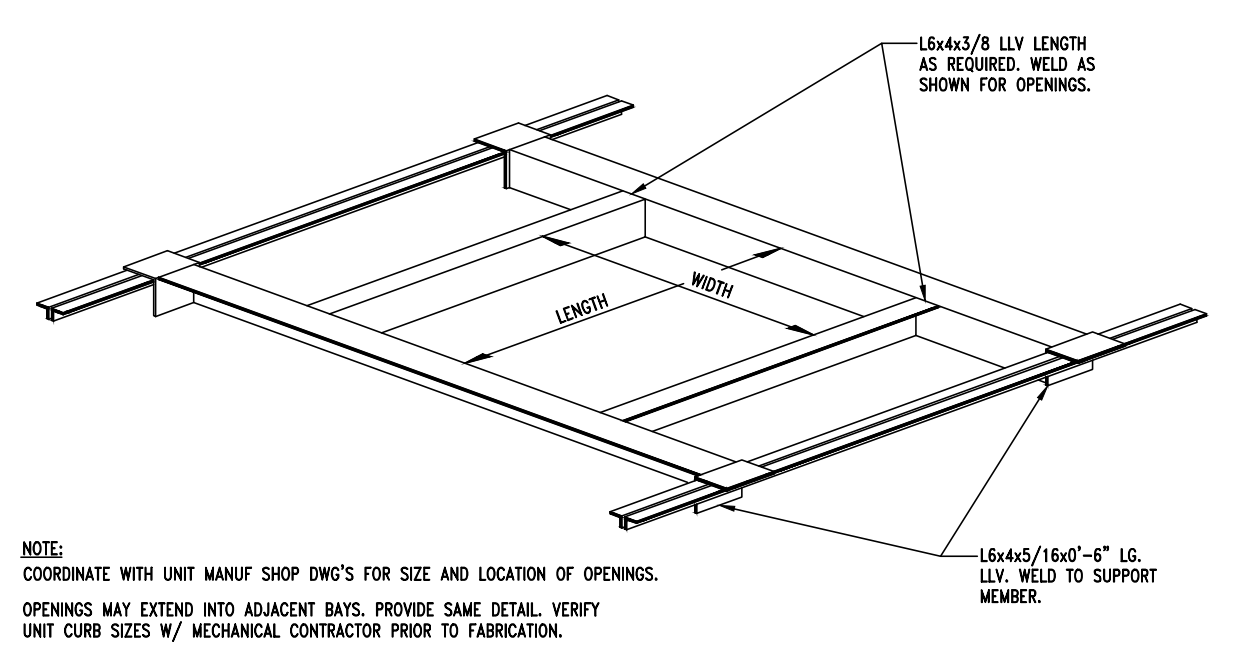


**SPECIAL KITCHEN HOOD WALL PENETRATION AND COORDINATION NOTES:**  
KITCHEN HOOD M.A.U. DUCTWORK, OPENING AND GRILLE FORWARD. SEE MECH. DWGS. AND REFER TO HOOD MANUF. SHOP DWGS. PENETRATION OPENING SHALL BE SIMILAR TO EXHAUST DUCTWORK OPENING WITHOUT FIRE WRAP INSULATION. REFERENCE WEST & NORTH ELEVATION/A-200 & 201 FOR HOOD VENT LOCATIONS.

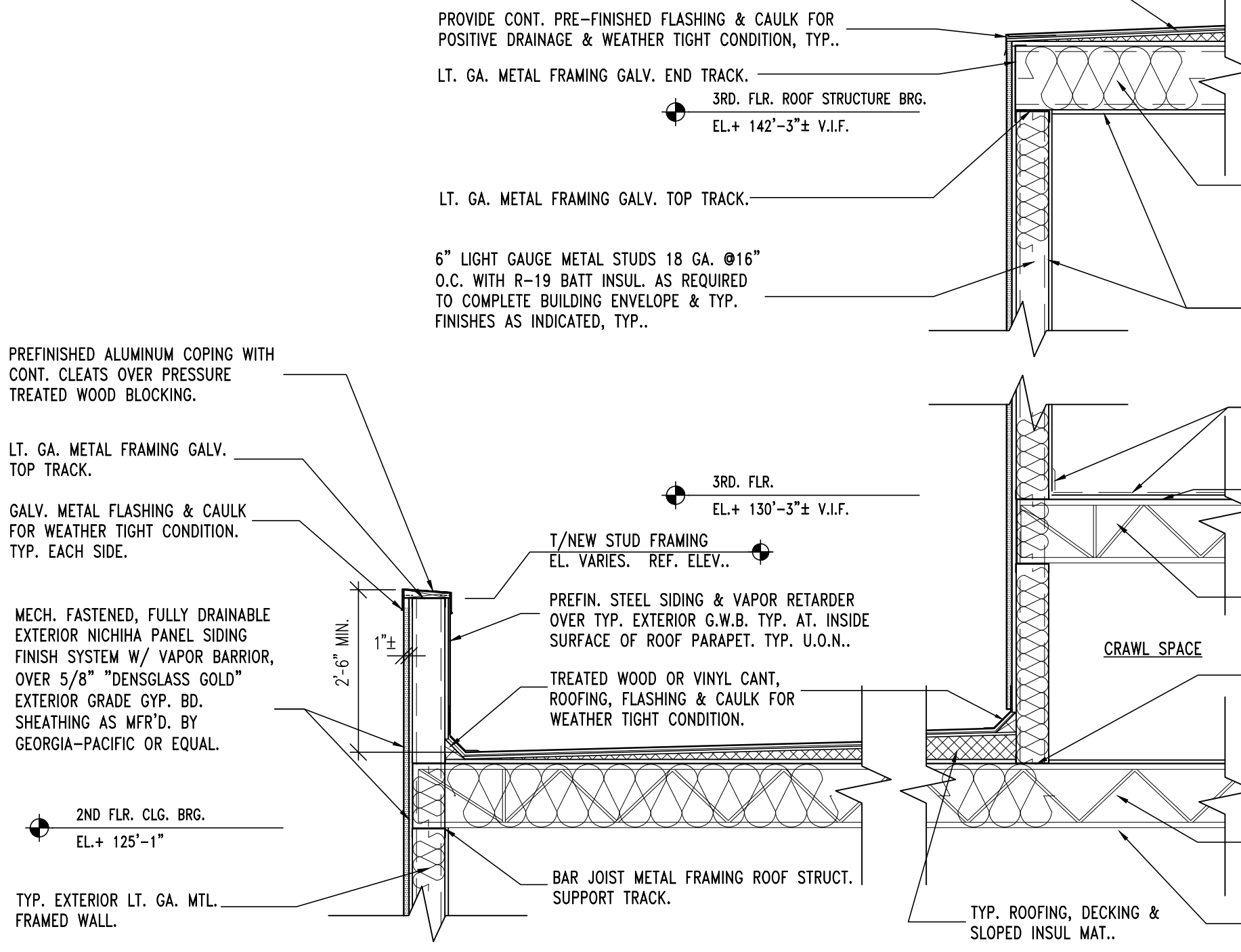
**SPECIAL WALL PENETRATION NOTES:**  
THE DETAILS SHOWN ARE TYPICAL STANDARDS AND ARE FOR CODE COMPLIANCE INFORMATION. ACTUAL DETAILS MAY VARY PER EXISTING FIELD CONDITIONS & SELECTED EQUIPMENT. CONTRACTOR TO PROVIDE HOOD DESIGNER SUPPLIERS' SHOP DRAWINGS TO ARCH. AND APPLICABLE BUILDING DEPT. FOR REVIEW PRIOR TO FABRICATION AND FINAL SELECTION.

**CUT AND PATCH EXISTING EXTERIOR WALL AS REQUIRED FOR INSTALLATION OF NEW DUCTWORK IN A MANNER TO MAINTAIN STRUCTURAL INTEGRITY, WEATHER TIGHT CONDITION AND FIRE SEPARATION/PROTECTION FROM COMBUSTIBLES. ALL WORK SHALL BE DONE PER EXHAUST & MAKE UP AIR EQUIP. MANUF. RECOMMENDATIONS, SPECS AND INSTALLATION INSTRUCTIONS.**

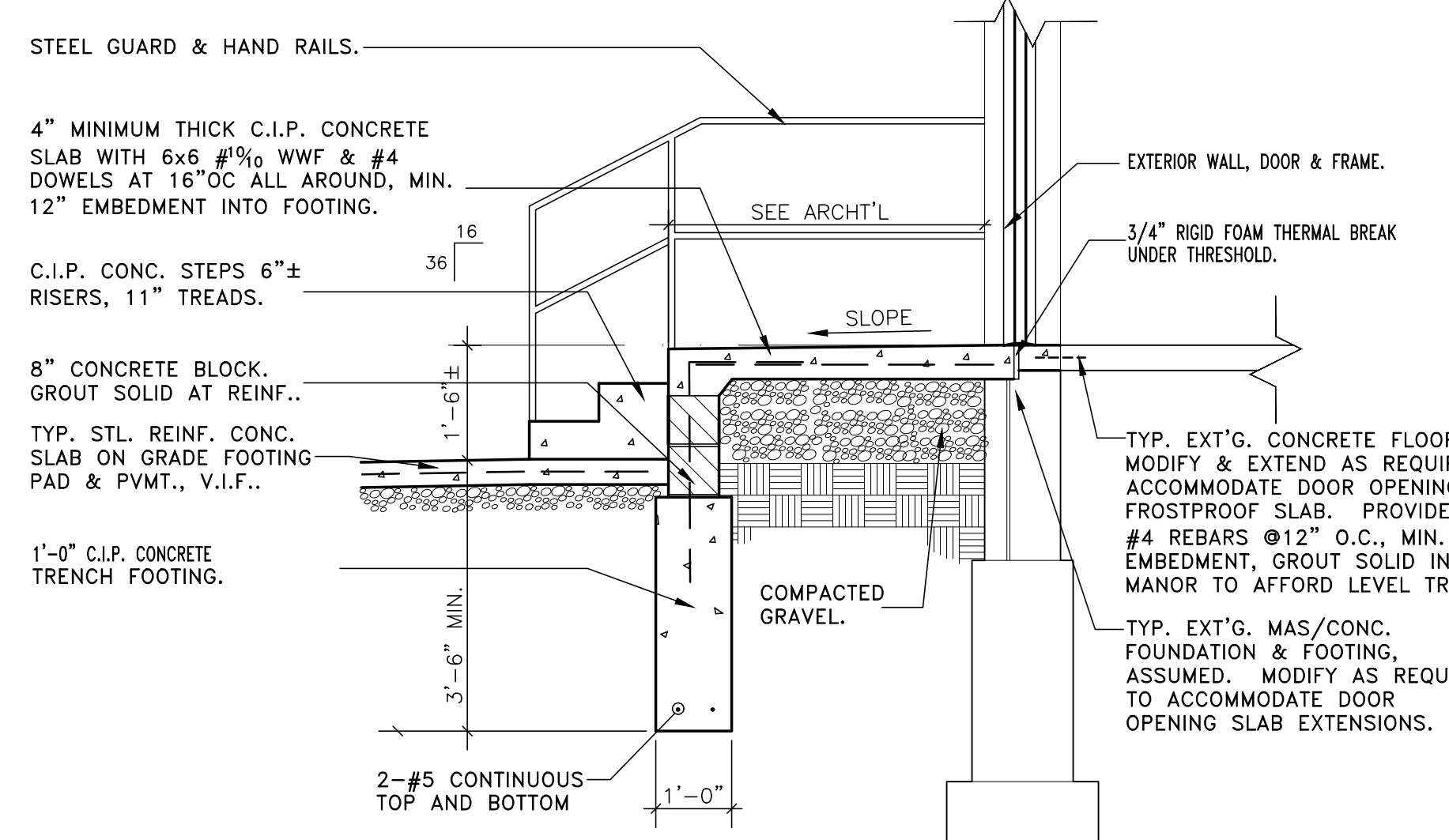
**FIRE RATED DUCT INSULATION NOTES:**  
GREASE DUCT FIRE RATED INSULATION SYSTEM SHALL BE PYROTECH FLEXIBLE SINGLE LAYER DUCT WRAP: CALCIA, MAGNESIA, SILICA CHEMISTRY EQUAL TO UNIFRAX MAX. 2.0 DUCT INSULATION. 2" THICKNESS, 8 PCF DENSITY, SCIRM ENCAPSULATED. 2HR. FIRE RATED PER ASTM E-119 FULL SCALE ENGLULFMENT TEST.  
INSTALL DUCTWORK AND INSULATION PER MANUFACTURES SPECS AND INSTALLATION INSTRUCTIONS AND PER APPLICABLE CODES.



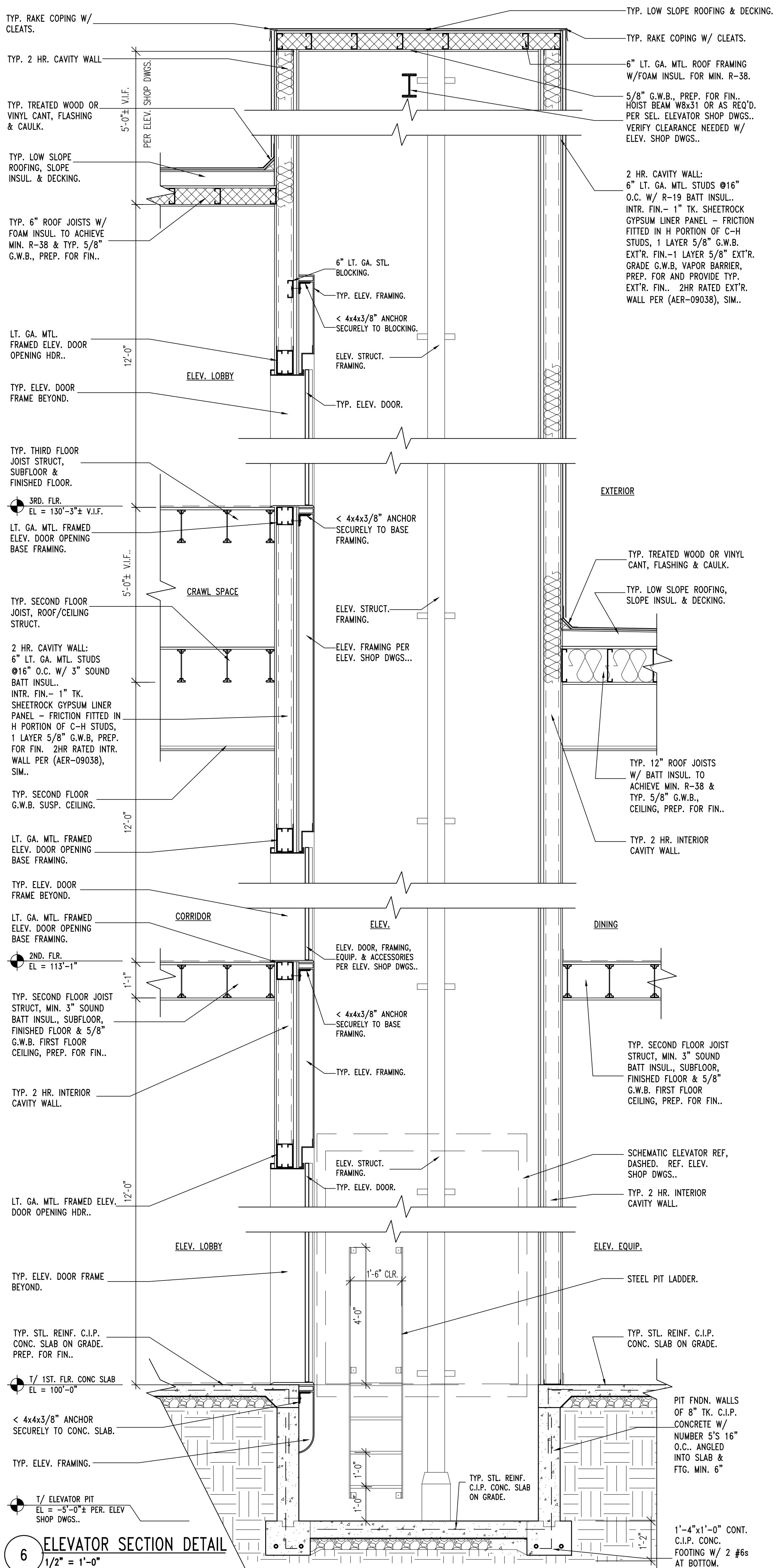
5 SCHEMATIC ROOF OPENING DETAIL  
1/2" = 1'-0"



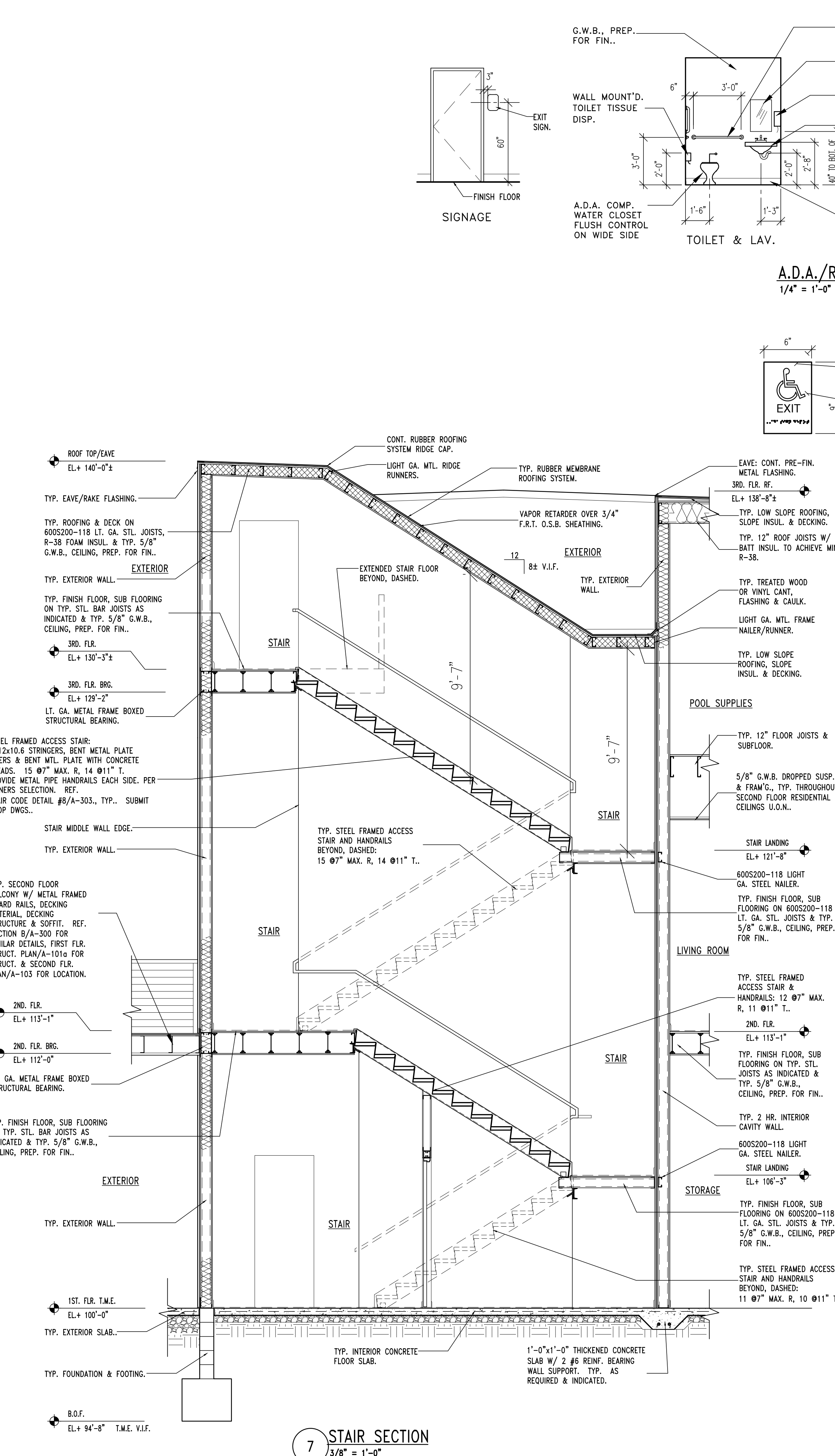
2 EXTERIOR WALL SECTION DETAIL  
1/2" = 1'-0"



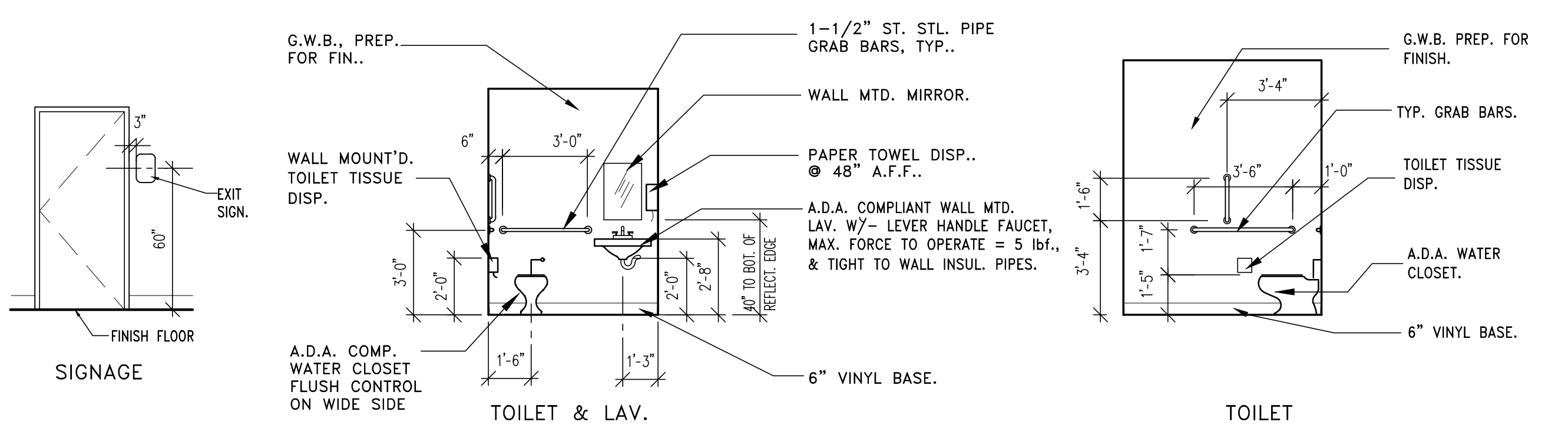
4 ENTRY PLATFORM & STEPS DETAIL  
1/2" = 1'-0"



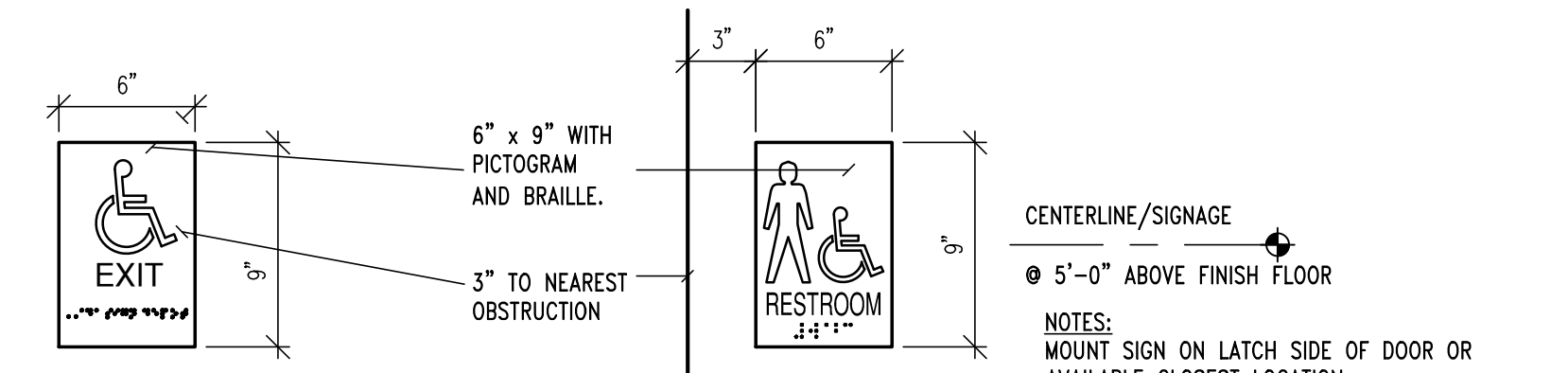
**6 ELEVATOR SECTION DETAIL**  
1/2" = 1'-0"



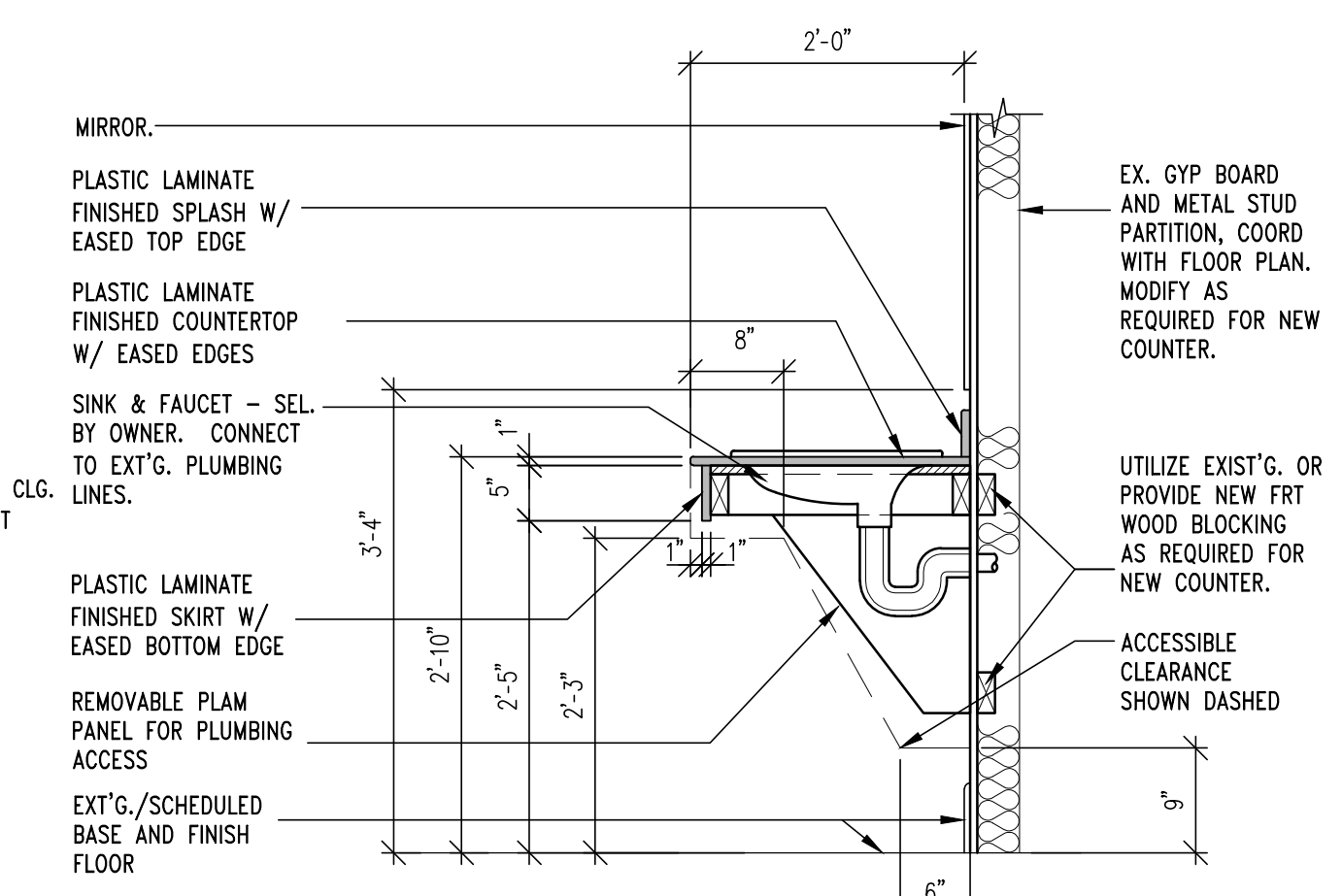
**7 STAIR SECTION**  
3/8" = 1'-0"



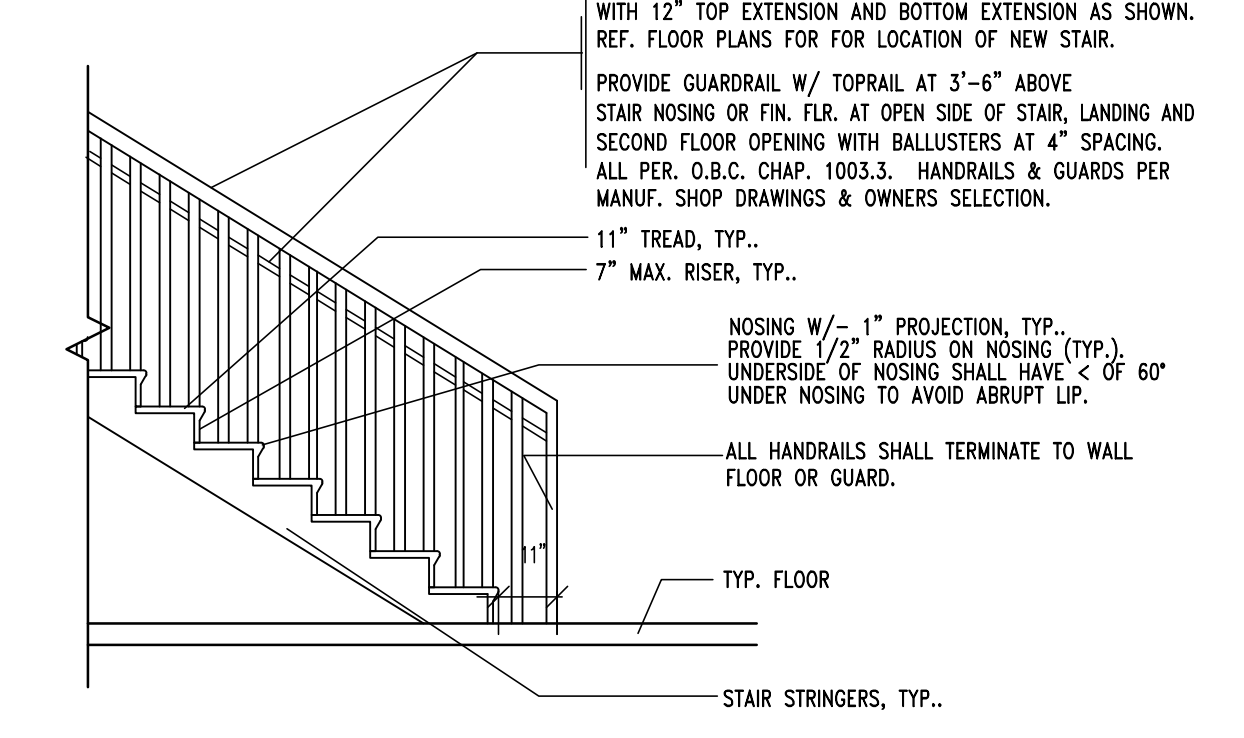
**A.D.A./RESTROOM DETAILS**  
1/4" = 1'-0"



**A.D.A./RESTROOM SIGNAGE**  
1-1/2" = 1'-0"



**RR. LAV. COUNTER DETAIL**  
3/4" = 1'-0"



**8 STAIR CODE COMPLIANCE DETAIL**  
3/8" = 1'-0"

**FISCHER & ASSOCIATES**  
ARCHITECTS INC.  
554 West Ninth Street  
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Tel: (440) 315-2300  
E mail: andrea@fischerarch.com

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| CLIENT REV. GAR. DR.     | 05/14/21 |

Client Name/Project Name/Address

**RIVER EDGE BUILDING**  
(Renovations & Addition)  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name  
**SECTION DETAILS**  
ADA/RR DETAILS  
Fischer Project Number  
20.001  
SHEET #

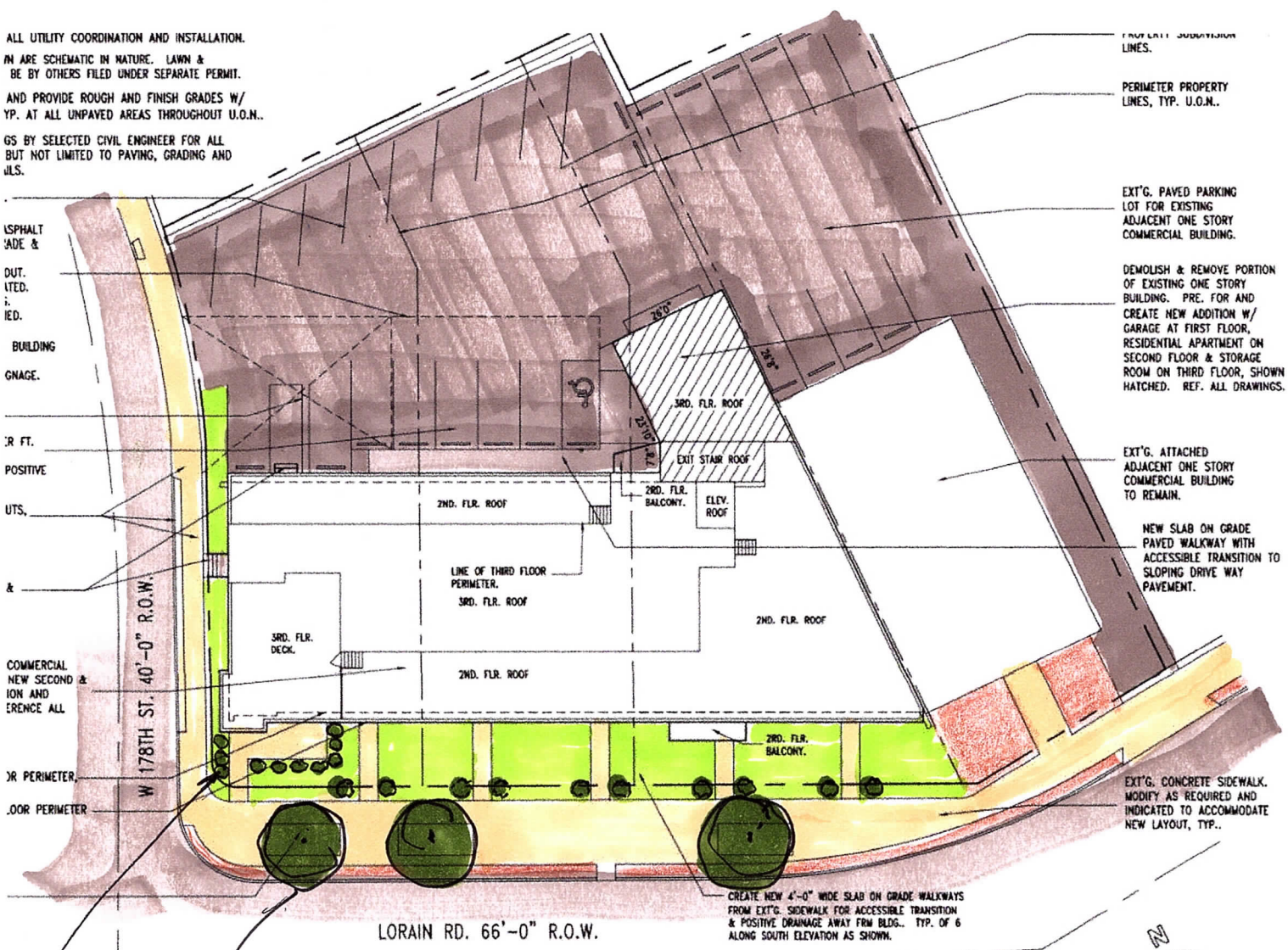
**A-303**

Seal  
  
 GARY FISCHER LICENSE #8826  
 EXPIRATION DATE 12/31/2022



ALL UTILITY COORDINATION AND INSTALLATION.  
 ARE SCHEMATIC IN NATURE. LAWN &  
 BE BY OTHERS FILED UNDER SEPARATE PERMIT.  
 AND PROVIDE ROUGH AND FINISH GRADES W/  
 YP. AT ALL UNPAVED AREAS THROUGHOUT U.O.N..  
 GS BY SELECTED CIVIL ENGINEER FOR ALL  
 BUT NOT LIMITED TO PAVING, GRADING AND  
 ULS.

ASPHALT  
 LADE &  
 DUT.  
 UTED.  
 I.  
 ED.  
 BUILDING  
 GNAGE.  
 R FT.  
 POSITIVE  
 UTS.  
 &  
 COMMERCIAL  
 NEW SECOND &  
 ION AND  
 ERENCE ALL  
 R PERIMETER  
 OOR PERIMETER



PERIMETER SUBDIVISION  
 LINES.  
 PERIMETER PROPERTY  
 LINES, TYP. U.O.N..  
 EXT'G. PAVED PARKING  
 LOT FOR EXISTING  
 ADJACENT ONE STORY  
 COMMERCIAL BUILDING.  
 DEMOLISH & REMOVE PORTION  
 OF EXISTING ONE STORY  
 BUILDING. PRE. FOR AND  
 CREATE NEW ADDITION W/  
 GARAGE AT FIRST FLOOR,  
 RESIDENTIAL APARTMENT ON  
 SECOND FLOOR & STORAGE  
 ROOM ON THIRD FLOOR, SHOWN  
 HATCHED. REF. ALL DRAWINGS.  
 EXT'G. ATTACHED  
 ADJACENT ONE STORY  
 COMMERCIAL BUILDING  
 TO REMAIN.  
 NEW SLAB ON GRADE  
 PAVED WALKWAY WITH  
 ACCESSIBLE TRANSITION TO  
 SLOPING DRIVE WAY  
 PAVEMENT.  
 EXT'G. CONCRETE SIDEWALK.  
 MODIFY AS REQUIRED AND  
 INDICATED TO ACCOMMODATE  
 NEW LAYOUT, TYP..

LORAIN RD. 66'-0" R.O.W.

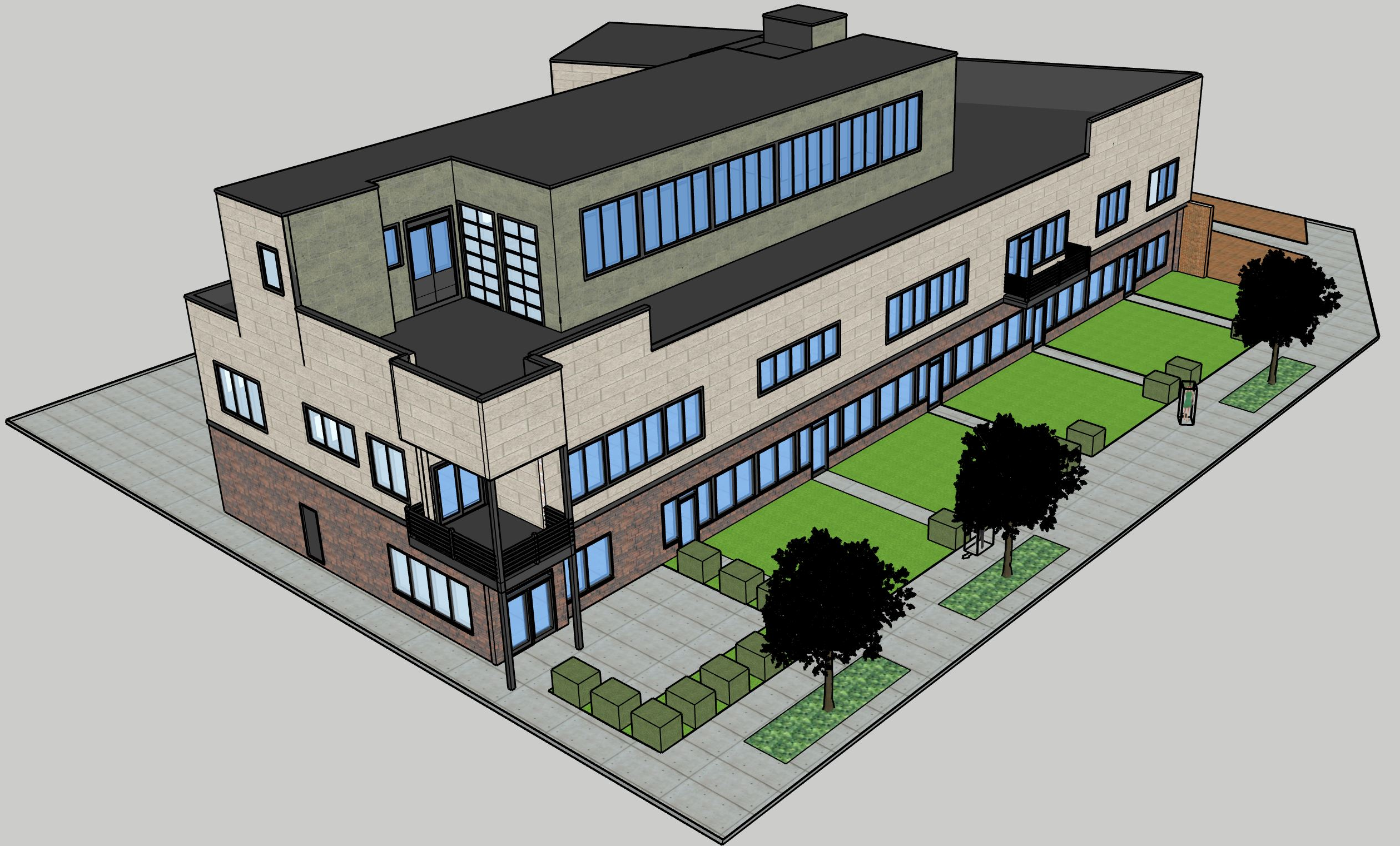
CREATE NEW 4'-0" WIDE SLAB ON GRADE WALKWAYS  
 FROM EXT'G. SIDEWALK FOR ACCESSIBLE TRANSITION  
 & POSITIVE DRAINAGE AWAY FRM BLDG. TYP. OF 6  
 ALONG SOUTH ELEVATION AS SHOWN.

SITE PLAN  
 1" = 20'-0"



EXISTING  
 TREES &  
 PLANTINGS  
 Boxwood  
 (Low crowns)

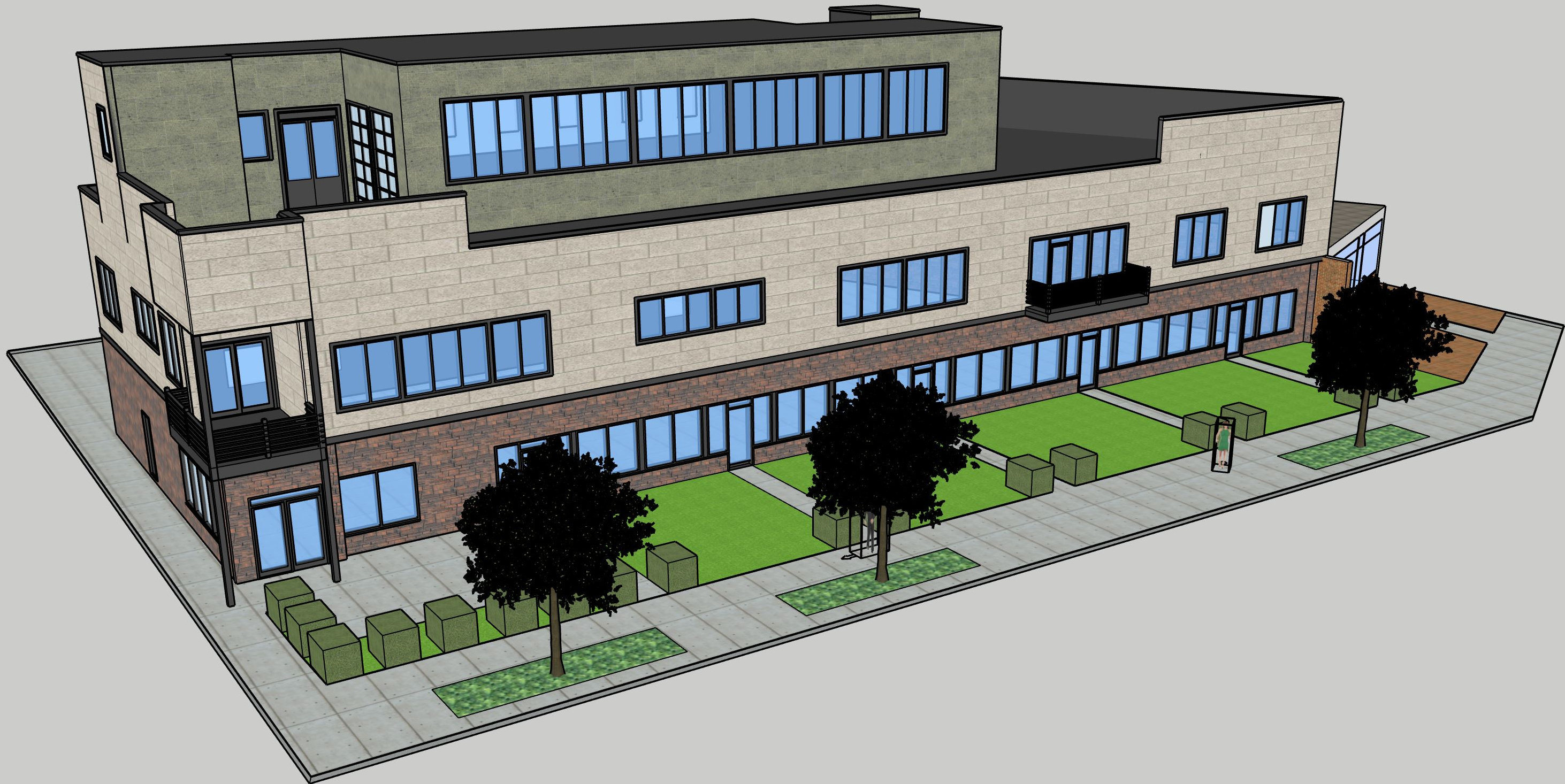














# CITY DENTAL CARE

17700

OPEN

PARKING

DENTIST







02502039

7.85

52.97

74.66

58.1

02503001

52.97  
40  
110  
3

45.11

61.74

31.03

39.1

59.60

18

02503002

106.2

02503003

179.57

02503003

70

204.78

200

02503004

159.82

02503005

58.26

57.99

35

02503035

40

49.77

35





Lorain

NOT A THRU STREET

Red billboard text











# Southeast Design Review Case

---

September 3, 2021



SE2021-021 – Entrada at Woodhill Heights Townhouse New Construction:  
Seeking Schematic Design Approval

**Project Address: 2720 MLK Jr Drive**

Project Representative: Andrew Gottlieb, Keystate Homes



**KEYSTATE**  
HOMES

[www.keystatehomes.com](http://www.keystatehomes.com)  
216.591.1942

**BAYABUILD**

The logo for "ENTRADA AT WOODLAND HEIGHTS" is set against a solid black background. On the left is a white line-art icon of a two-story house with a gabled roof and several windows. To the right of the icon, the word "ENTRADA" is written in a large, bold, sans-serif font, and "AT WOODLAND HEIGHTS" is written in a smaller, sans-serif font below it.





City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

## Planning Commission/Design Review Application

DATE:

PROJECT NAME:

PROJECT ADDRESS:

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review):

COMPANY:

PHONE:

EMAIL:

OWNER: Entrada at Woodland Heights

ARCHITECT/ CONTRACTOR: Entrada at Woodland Heights

PROJECT TYPE:  New Building  Rehabilitation  Addition  Sign  Fence  Parking  Storefront

USE TYPE:  Residential  Commercial  Industrial  Institutional  Mixed-Use

Review Level:  Conceptual  Schematic Design  Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

*Andrew Gotlieb* 8/17/2021

Signature and date

\*\*\*\*\*

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

## **PROJECT DESCRIPTION – ENTRADA AT WOODLAND HEIGHTS**

Entrada at Woodland Heights (“Entrada”) seeks to transform the Buckeye-Shaker neighborhood and become a catalyst for further development in the adjacent areas by, amongst other things, bridging the Buckeye and Larchmere neighborhoods. Entrada will consist of forty-two (42) new two-story, approximately 1,950 gross square foot, town houses built in a side-by-side configuration (duplexes). The buildings have a modern look, while honoring the historical architectural language of the neighborhood (see the attached renderings). Each unit will include three bedrooms and three full baths including a first floor bedroom. With the addition of the first floor bedroom the homes will be more accessible, thus allowing residents to age in place. The living area will consist of an open floor plan. Kitchens will be attractively finished with center islands, granite or quartz countertops and stainless steel appliances. Each townhouse will feature a roof-deck over an attached two-car garage and a wrap-around front porch, allowing interaction amongst neighbors and integration with the neighborhood. Additionally, each home will be built to Cleveland Green Building Standards. Finally, Entrada homes will be built using a significant local MWBE workforce.

We sincerely thank you for taking the time to learn more about Entrada at Woodland Heights. Feel free to contact us at any time with any comments and/or questions.



CITY OF CLEVELAND

**Office of the Council**

[www.clevelandcitycouncil.org](http://www.clevelandcitycouncil.org)

**Blaine A. Griffin** COUNCIL MEMBER, WARD 6 • MAJORITY WHIP

**COMMITTEES:** Safety - *Chair* • Workforce & Community Benefits - *Vice Chair*  
Development, Planning & Sustainability • Finance • Operations

July 21, 2021

To Whom It May Concern,

I am writing to express my full support for the Entrada at Woodland Heights project located at St. Luke's. I firmly believe that this project will be transformational for the Buckeye-Shaker neighborhood, in that it will offer beautifully designed, environmentally friendly, high-quality homes at prices that are accessible to existing neighborhood residents. This project executes the vision we have all had for the renaissance of this long-underserved neighborhood, and will create value for its residents and for the homeowners surrounding the project site. In addition, the developers will be employing a substantial MWBE workforce, creating much needed jobs throughout the city for those who have often lacked fulsome employment opportunities.

Please feel free to reach out to me at any time with questions and/or comments at 2216-664-4234. I look forward to seeing this project move along as expeditiously as possible.

Sincerely,

A handwritten signature in blue ink that reads 'Blaine A. Griffin'.

Blaine A. Griffin  
Councilman  
Cleveland City Council  
Ward 6





CLEVELAND HEIGHTS

FAIRFAX

UNIVERSITY

redline rapid

SHAKER HEIGHTS

CLEVELAND

ENTRADA  
AT WOODLAND HEIGHTS

LARCHMERE



ST LUKE'S

SHAKER SQUARE

greenline rapid  
blueline rapid

BUCKEYE

WOODLAND HILLS



1:9,600

Date Created: 7/20/2021

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION.





East 114th Street Context



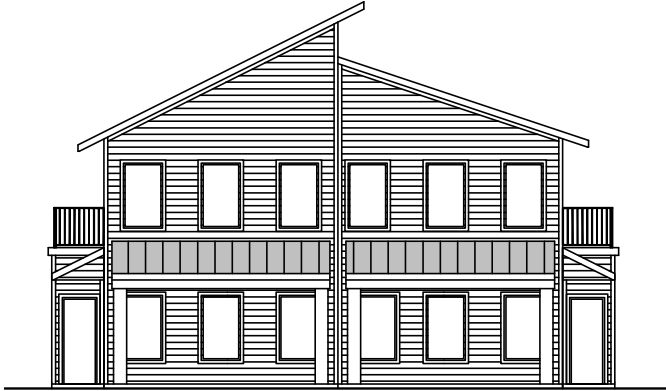






East 112th Street Context





FRONT ELEVATION



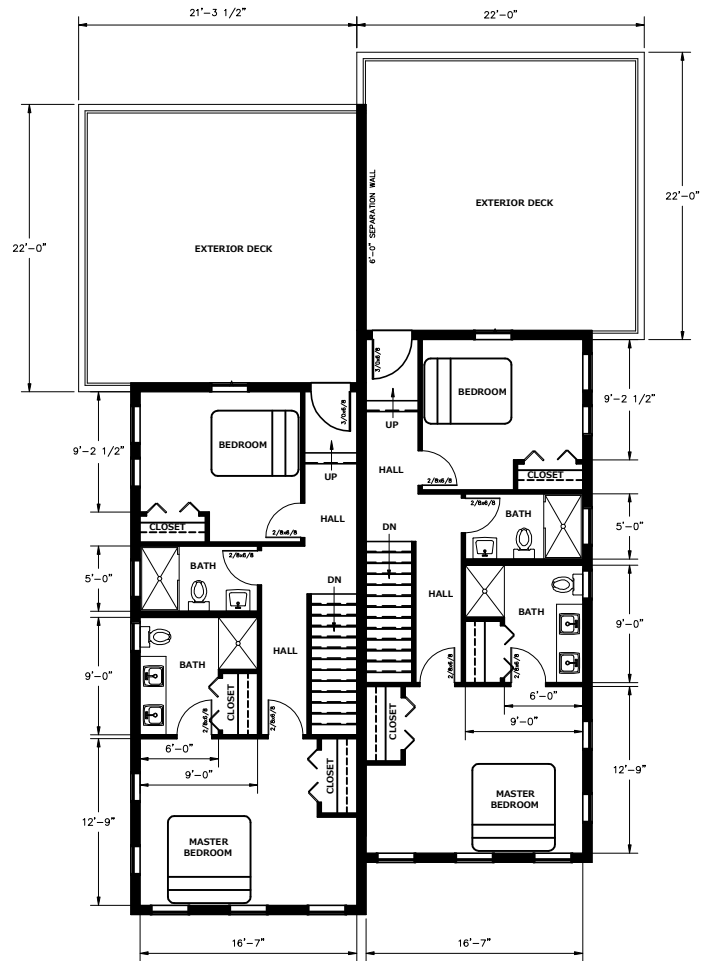
SIDE ELEVATION UNIT B



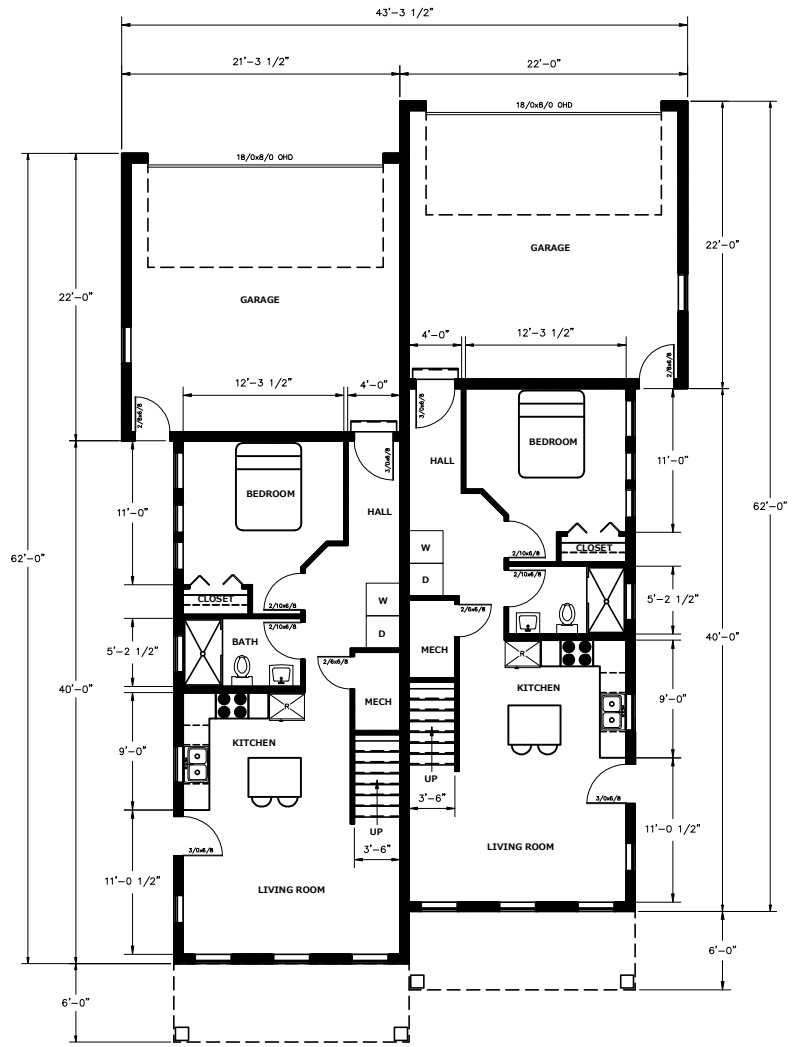
BACK ELEVATION



SIDE ELEVATION UNIT B



**2nd FLOOR PLAN**



**1ST FLOOR PLAN**

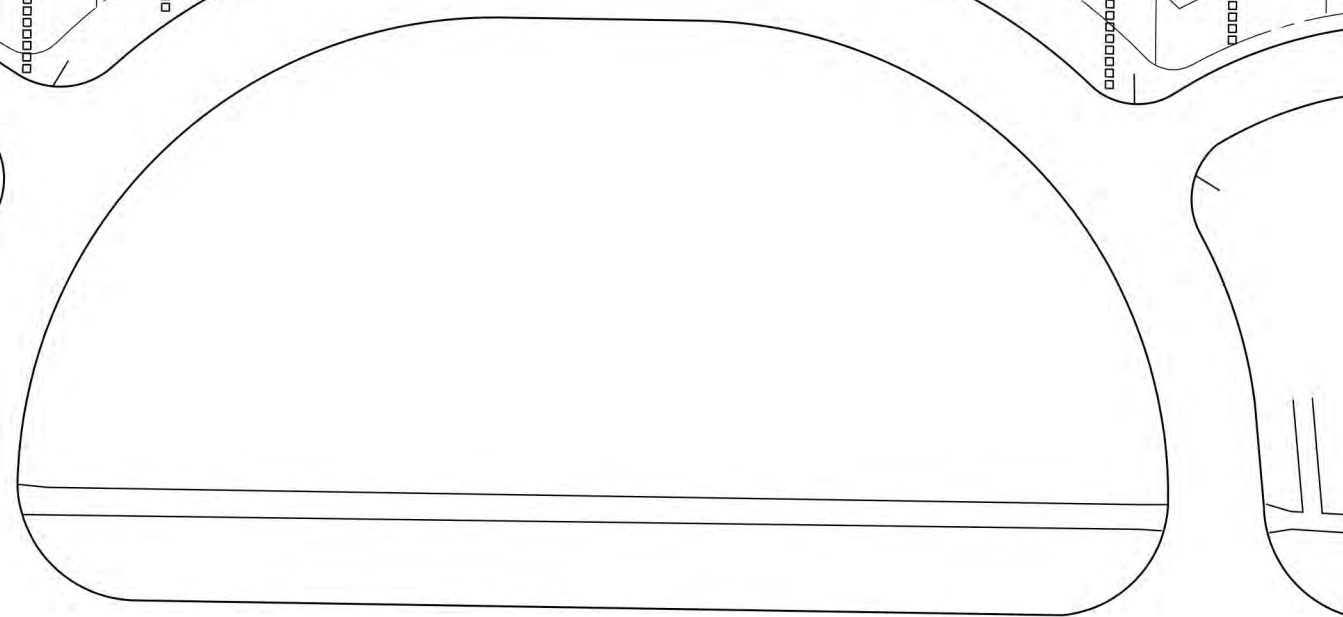
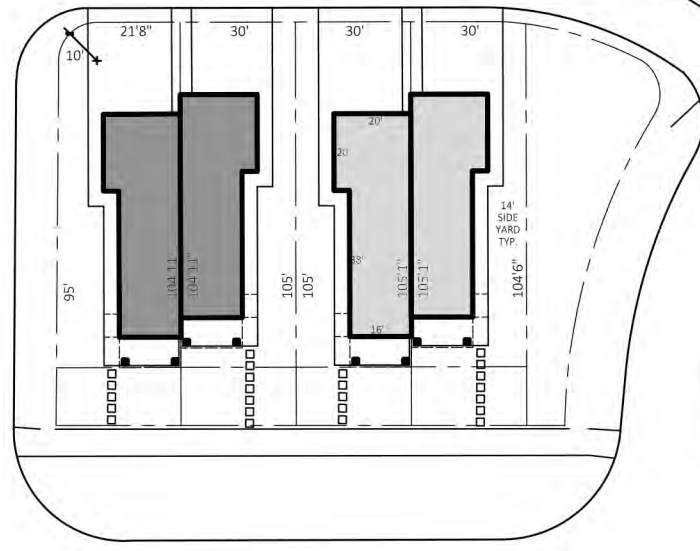
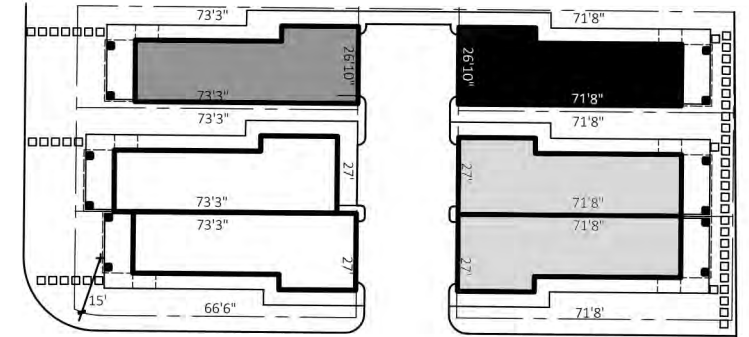
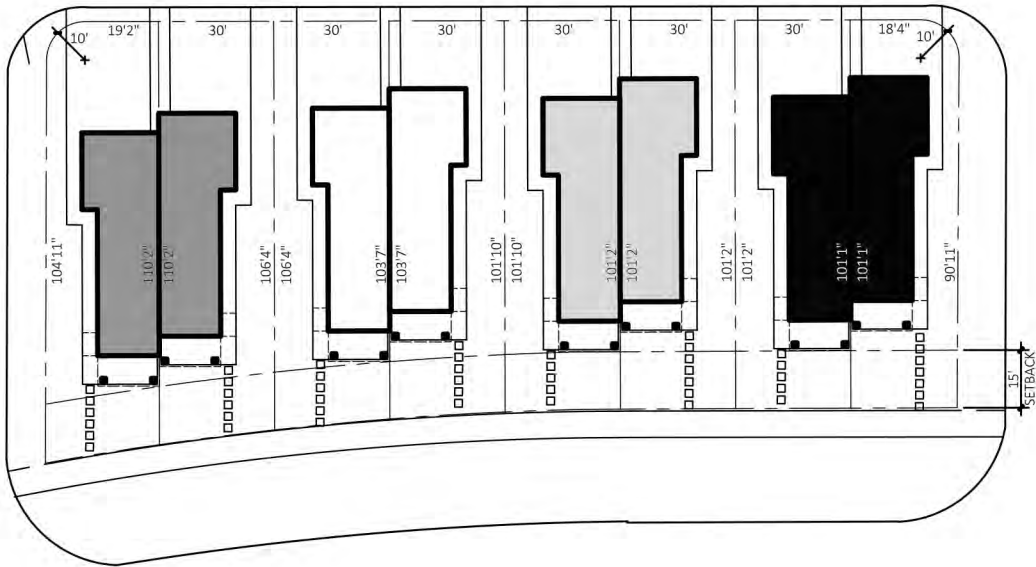
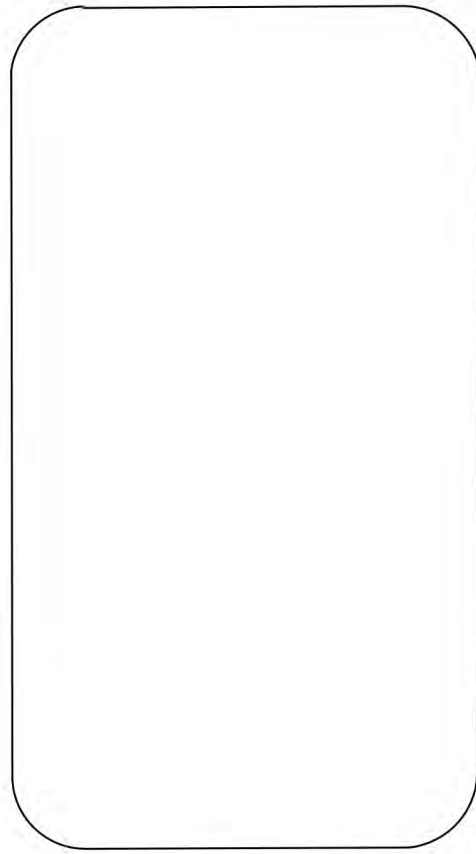
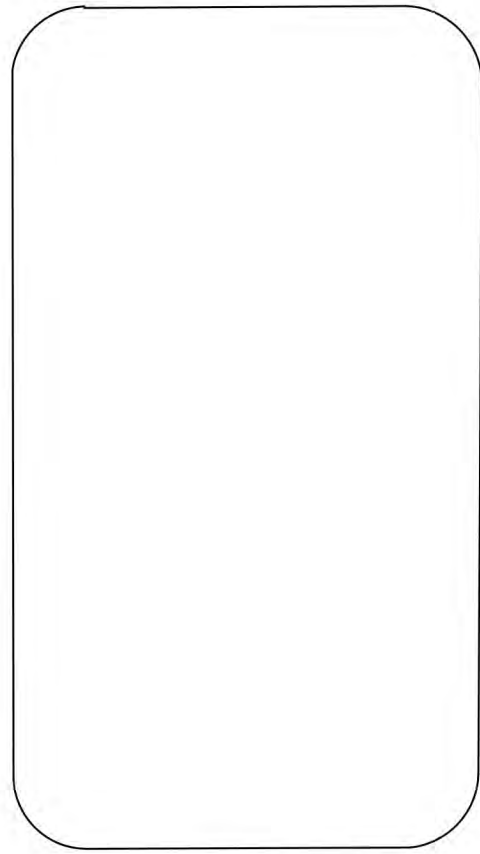








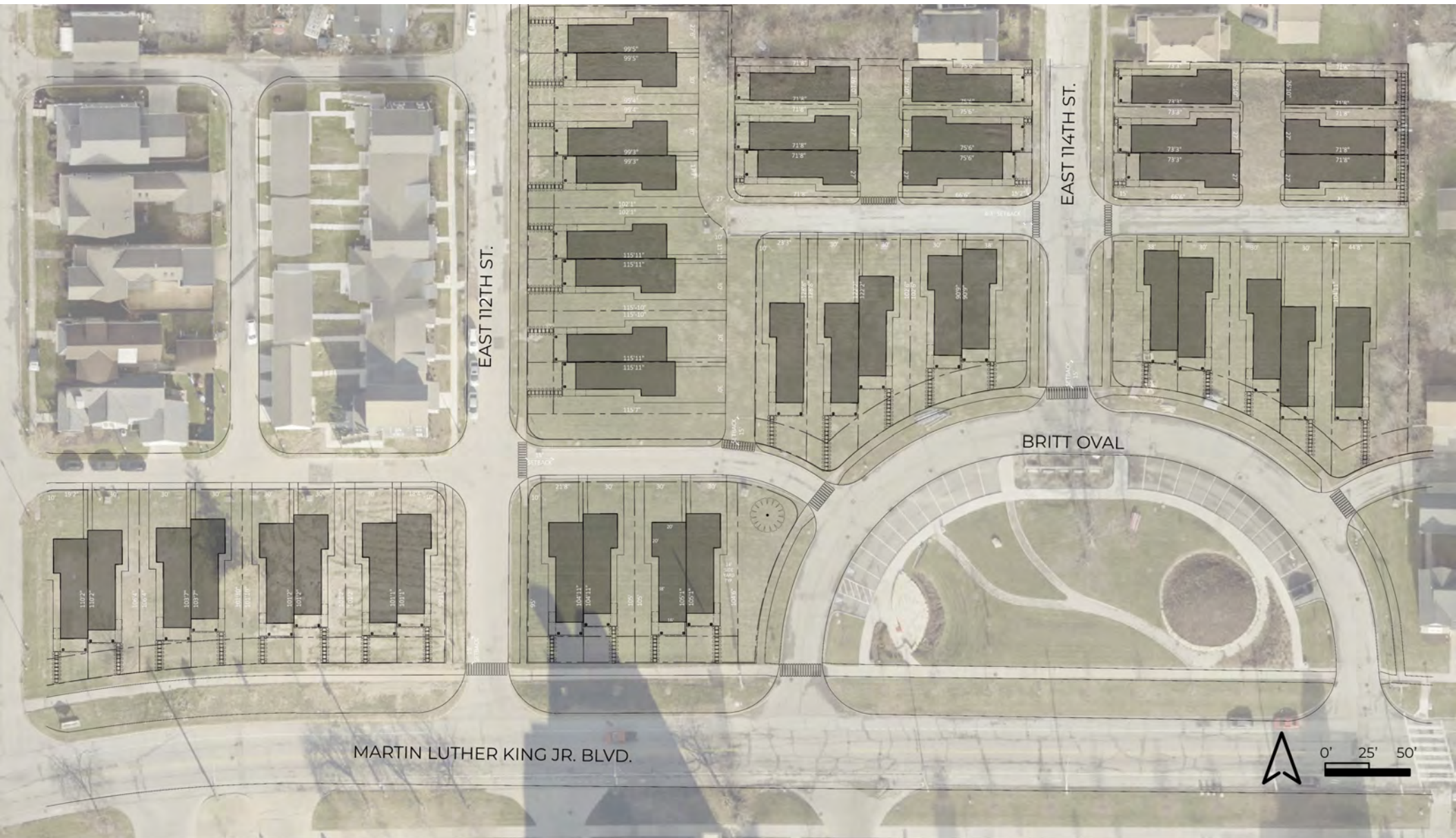




TUNDRA GREY,  
CAVERN STEEL,  
SNOWSCAPE WHITE,  
ABYSS BLACK





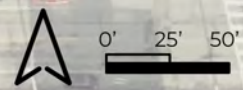


EAST 112TH ST.

EAST 114TH ST.

BRITT OVAL

MARTIN LUTHER KING JR. BLVD.



# Materials used in the Entrada line up of Homes.

## Exterior:

### Siding:

LP Smartside\* OR LIKE PRODUCT / BRAND [https://lpcorp.com/products/exterior/siding-trim/products/overview?gclid=EAIaIQobChMlu7LCteua8glVpx-tBh1pvQkvEAAYASAAEgKGA\\_D\\_BwE](https://lpcorp.com/products/exterior/siding-trim/products/overview?gclid=EAIaIQobChMlu7LCteua8glVpx-tBh1pvQkvEAAYASAAEgKGA_D_BwE)



Steel siding with a Wood Look by Quality Edge or similar <https://www.qualityedge.com/vesta/>

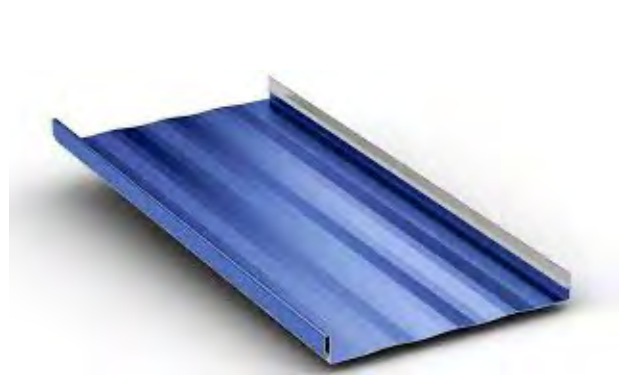




## Roofing:

McElroy Metals: Standing Seam w/ a Kynar paint system \* OR LIKE PRODUCT / BRAND

<https://www.mcelroymetal.com/standing-seam-metal-roofing-systems>



---

AFFORDABLE - SUSTAINABLE - RENEWABLE - A NEW WAY OF LIFE





## Windows:

Silverline\* OR LIKE PRODUCT / BRAND – [www.silverlinewindows.com](http://www.silverlinewindows.com)



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AFFORDABLE - SUSTAINABLE - RENEWABLE - A NEW WAY OF LIFE



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AFFORDABLE - SUSTAINABLE - RENEWABLE - A NEW WAY OF LIFE

# Southeast Design Review Case

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September 3, 2021



SE2021-023 – Proposed Demolition of a 2 ½ -Story Residential Structure:  
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

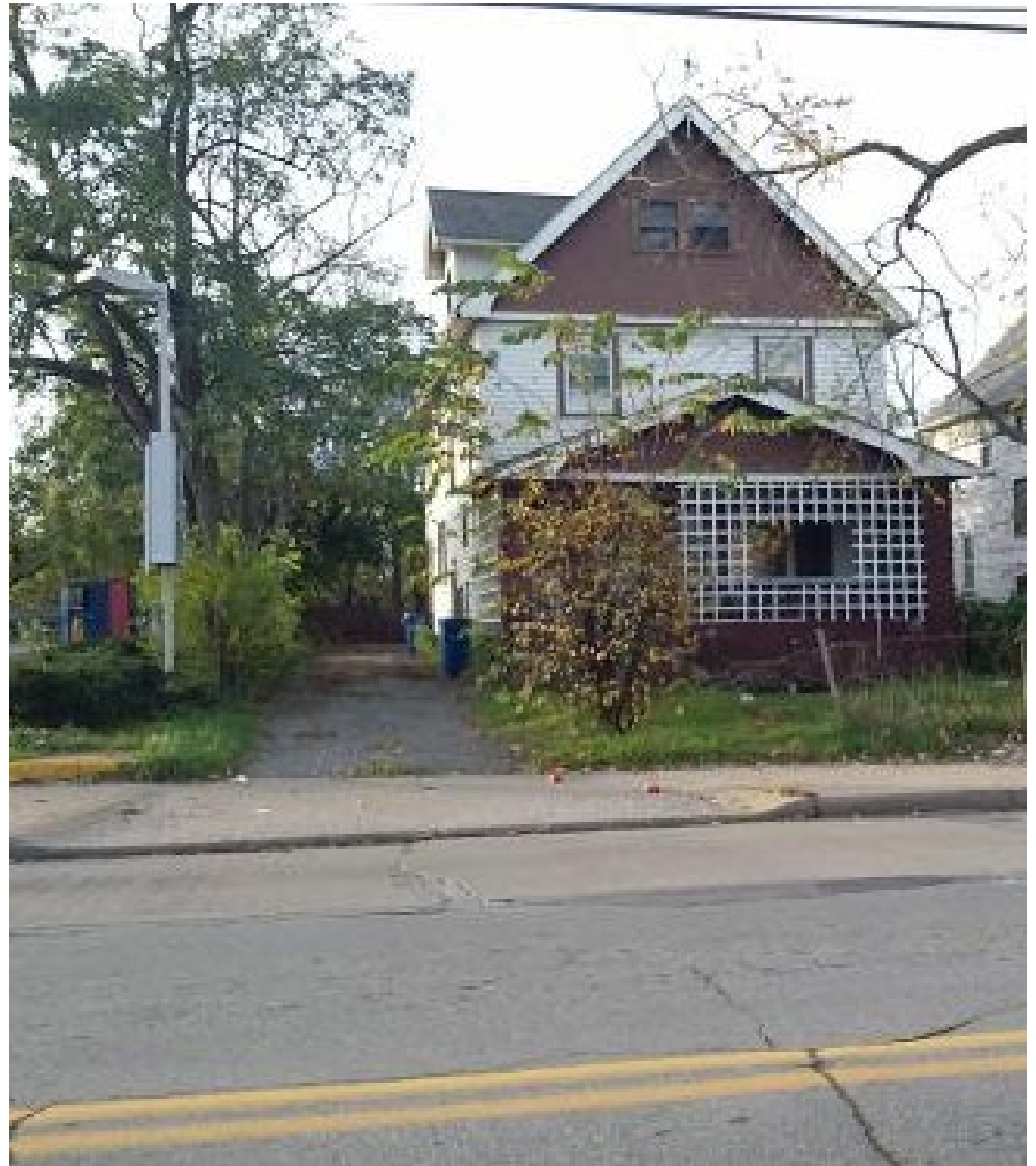
**Project Address: 11414 Union Avenue**

Project Representative: Steven Billington, CCLRC





- 
- **11414 Union Ave**
  - **135-11-011**
  
  - **Mt. Pleasant Design Review Committee Hearing**
  
  - **Requesting Approval for Demolition Permit**



# 11414 Union Ave 135-11-011 Aerial View







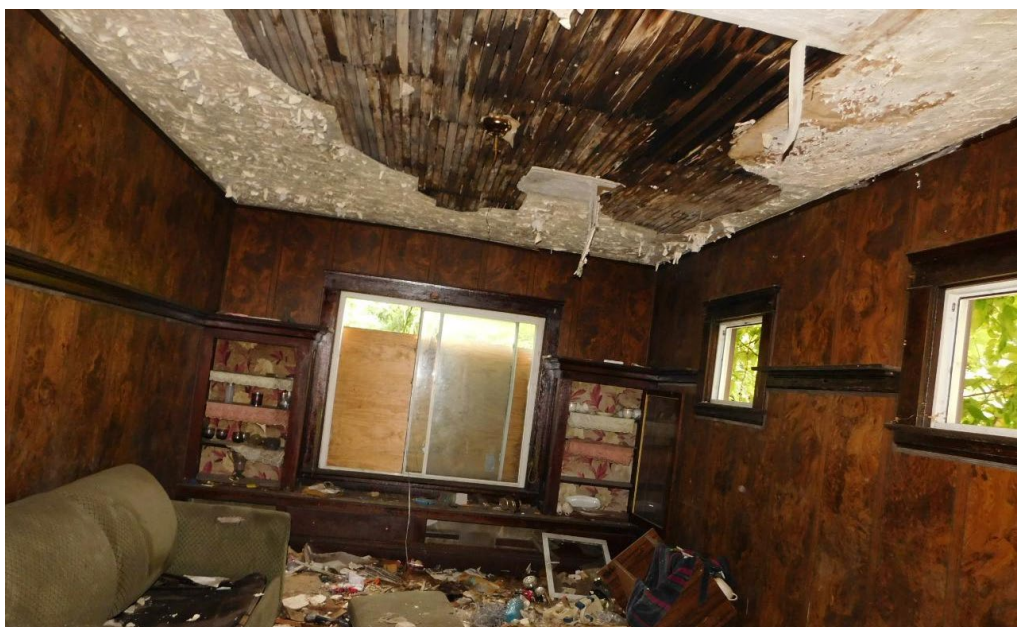
# 11414 Union Ave 135-11-011 Neighborhood Conditions





**11414 Union Ave 135-11-011**  
**Exterior Conditions**





**11414 Union Ave 135-11-011  
Interior Conditions**





# 11414 Union Ave 135-11-011 Interior Conditions



# 11414 Union Ave 135-11-011 Site Finish Proposal

| Proposed Site Work |                                                                   |
|--------------------|-------------------------------------------------------------------|
| 1                  | Demolish the vacant residential building                          |
| 2                  | Demolish garage and parking surfaces.                             |
| 3                  | Maintain fencing that belongs to neighboring commercial property. |
| 4                  | Finish grade, install topsoil, seed and straw per specifications  |
| 5.                 | Maintain mature healthy trees.                                    |



# Southeast Design Review Case

---

September 3, 2021



SE2021-024 – Proposed Demolition of a 2-Story Apartment Building:  
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

**Project Address: 12010 Union Avenue**

Project Representative: Steven Billington, CCLRC





- **12010 Union Ave**
- **137-02-002**
- **Mt. Pleasant Design Review Committee Hearing**
  
- **Requesting Approval for Demolition Permit**







- 12010 Union Ave 137-02-002
- Aerial View





# 12010 Union Ave 137-02-002 Neighborhood Conditions

---





# 12010 Union Ave 137-02-002

## Exterior Conditions

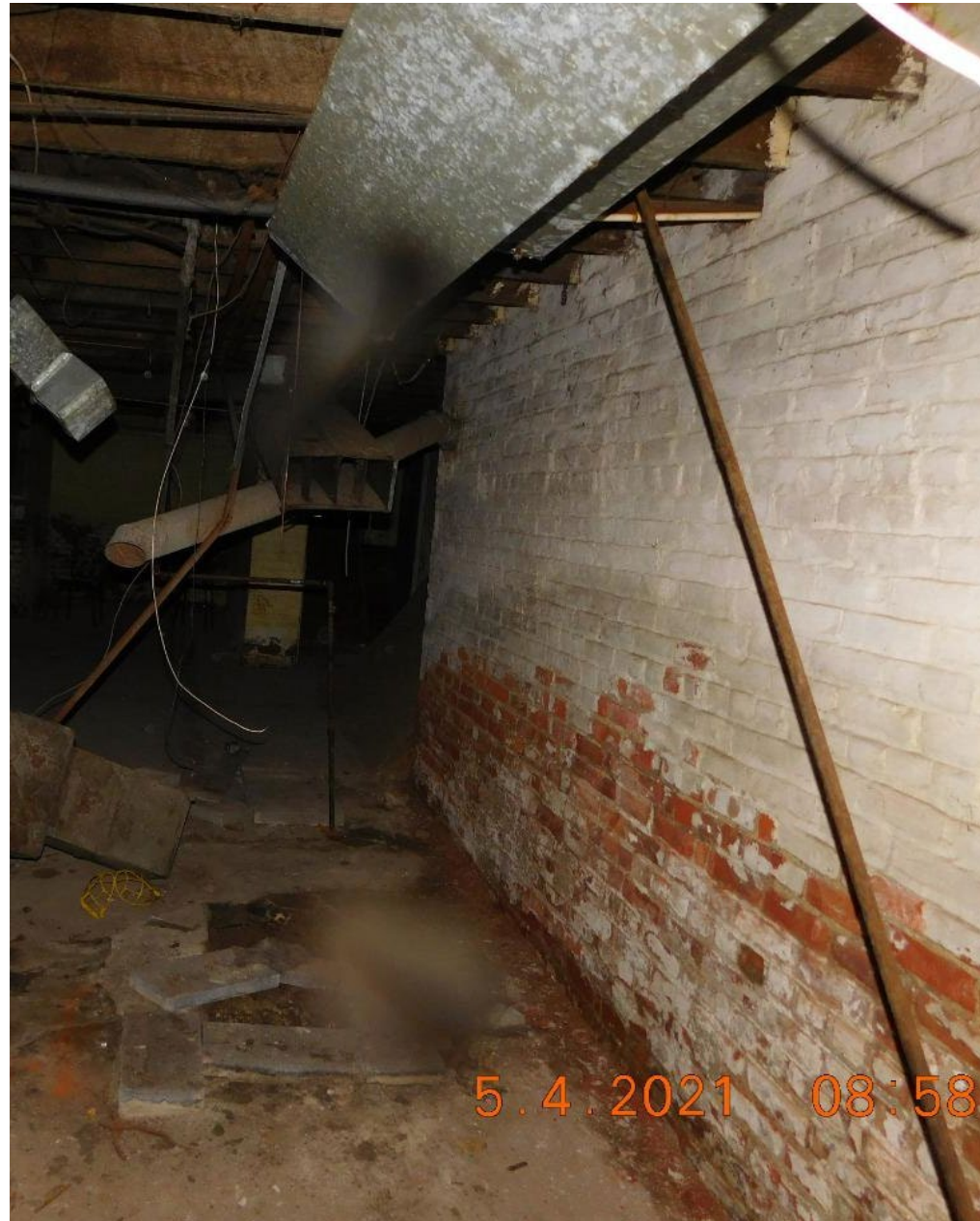
---





**12010 Union Ave 137-02-002**  
**Interior Conditions**





**12010 Union Ave 137-02-002**  
**Interior Conditions**



# 12010 Union Ave 137-02-002 Site Finish Proposal

| Proposed Site Work |                                                                  |
|--------------------|------------------------------------------------------------------|
| 1                  | Demolish the vacant residential apartment building               |
| 2                  | Finish grade, install topsoil, seed and straw per specifications |
| 3                  | Maintain mature healthy trees.                                   |



# Near West Design Review Case

---

September 3, 2021



NW2021-030 – 12-Unit Apartment Building New Construction:  
Seeking Schematic Design Approval

**Project Address: 2222 Fulton Road**

Project Representative: Westleigh Harper, Horton Harper Architects



# 2222 FULTON ROAD APARTMENTS

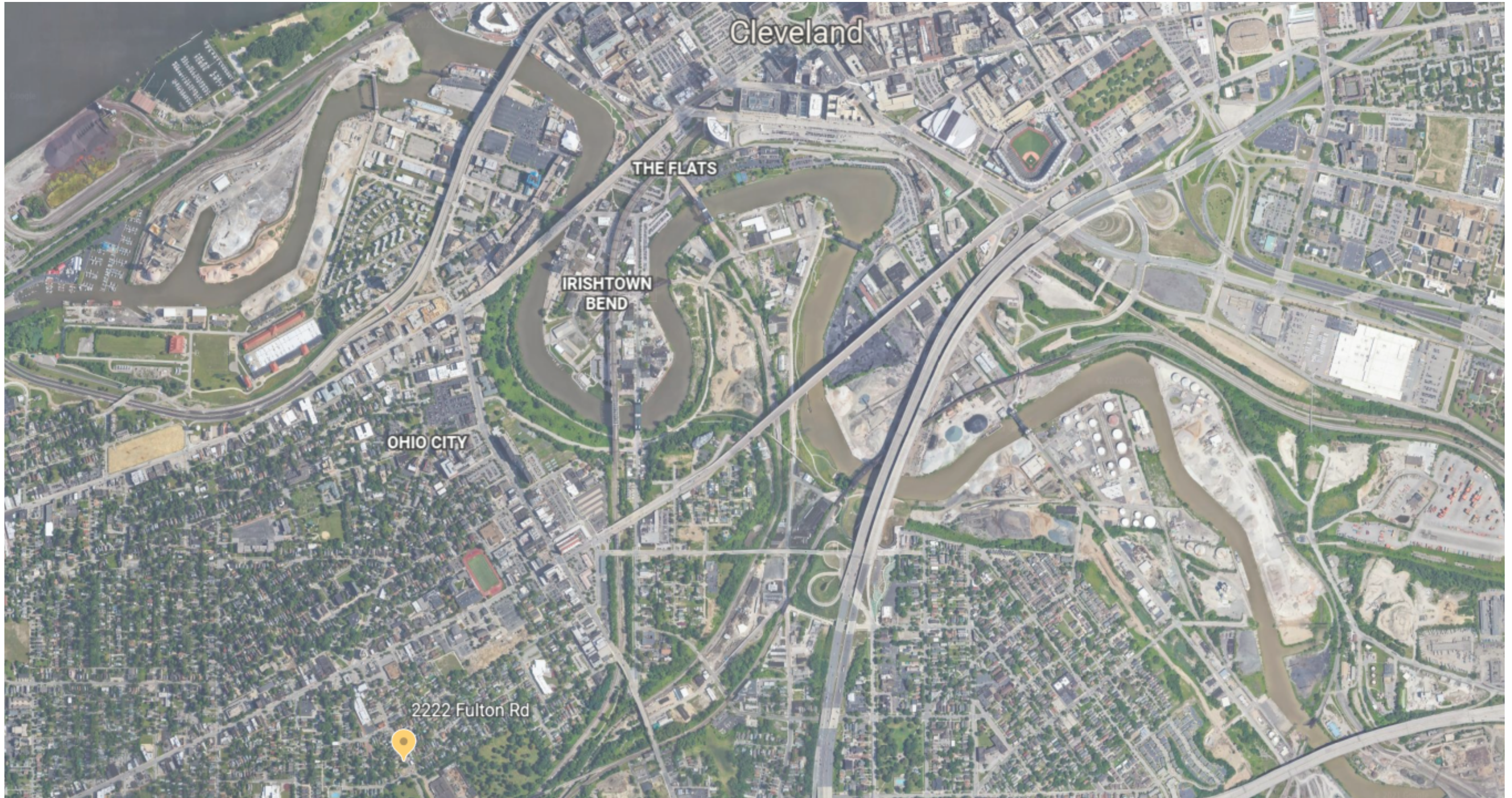
PARCEL NUMBER: 00707094

2021/08/17

AHA LLC.

**HH** HORTON HARPER  
ARCHITECTS





LOCATION MAP

Not to Scale ^N





CONTEXT PHOTO

View Looking North Alongside Fulton Road





CONTEXT PHOTO

View Looking South Alongside Fulton Road

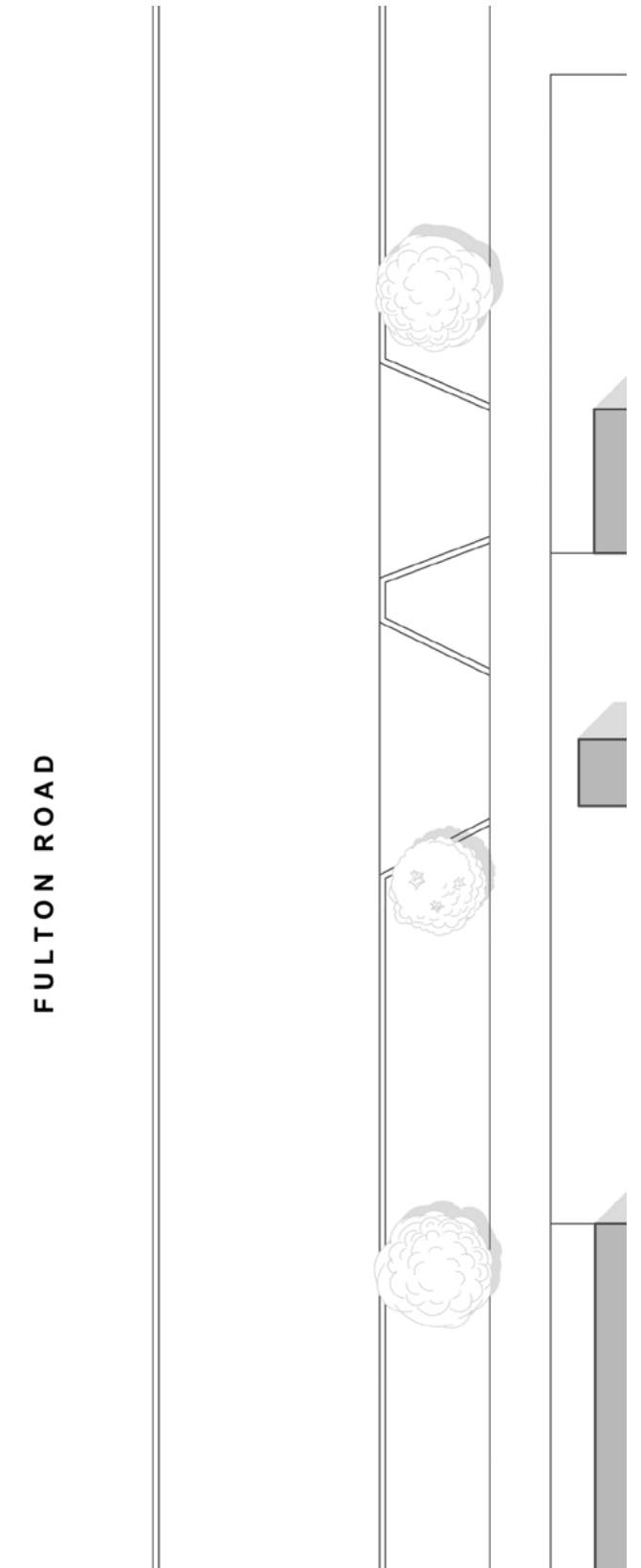
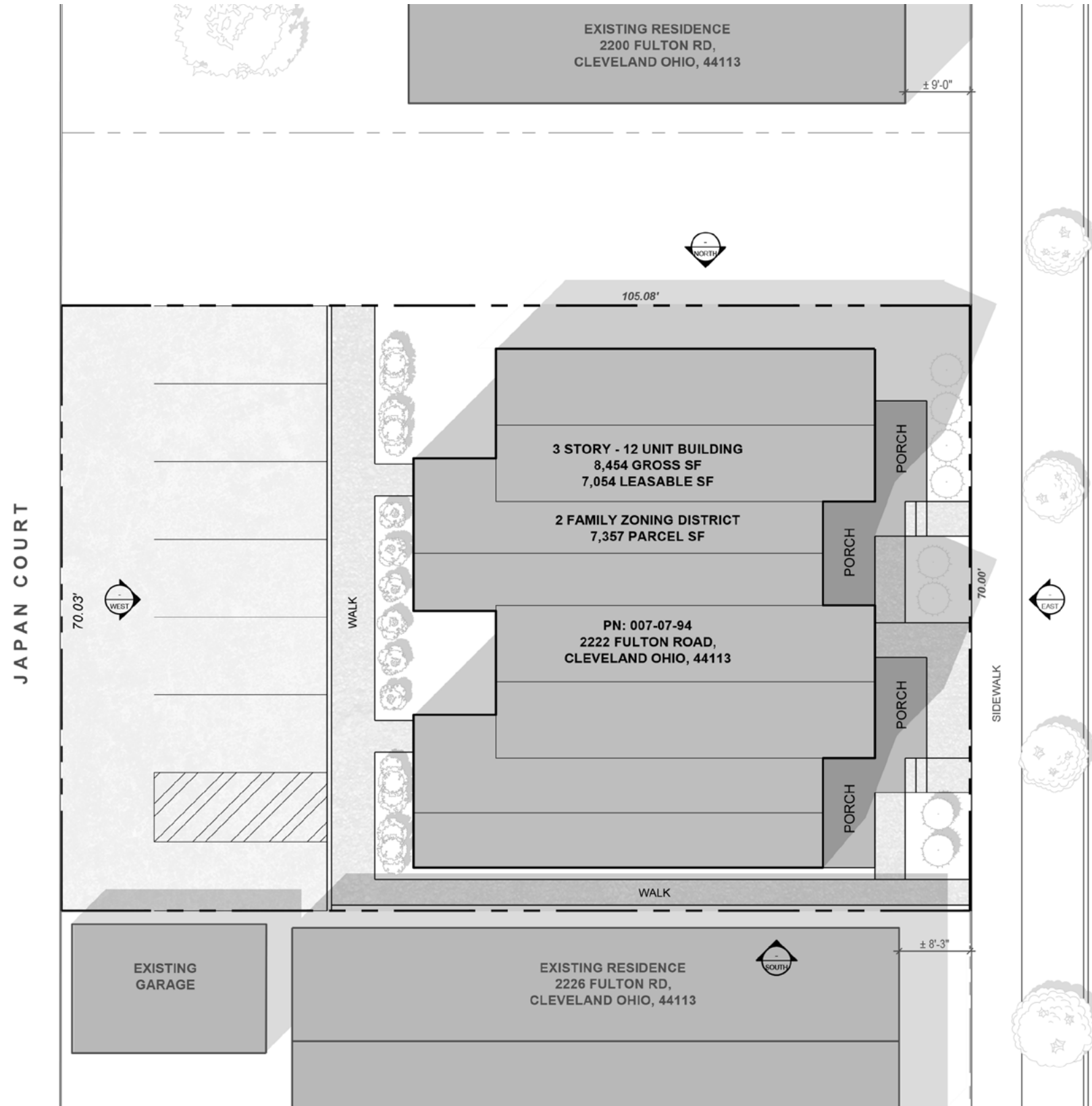
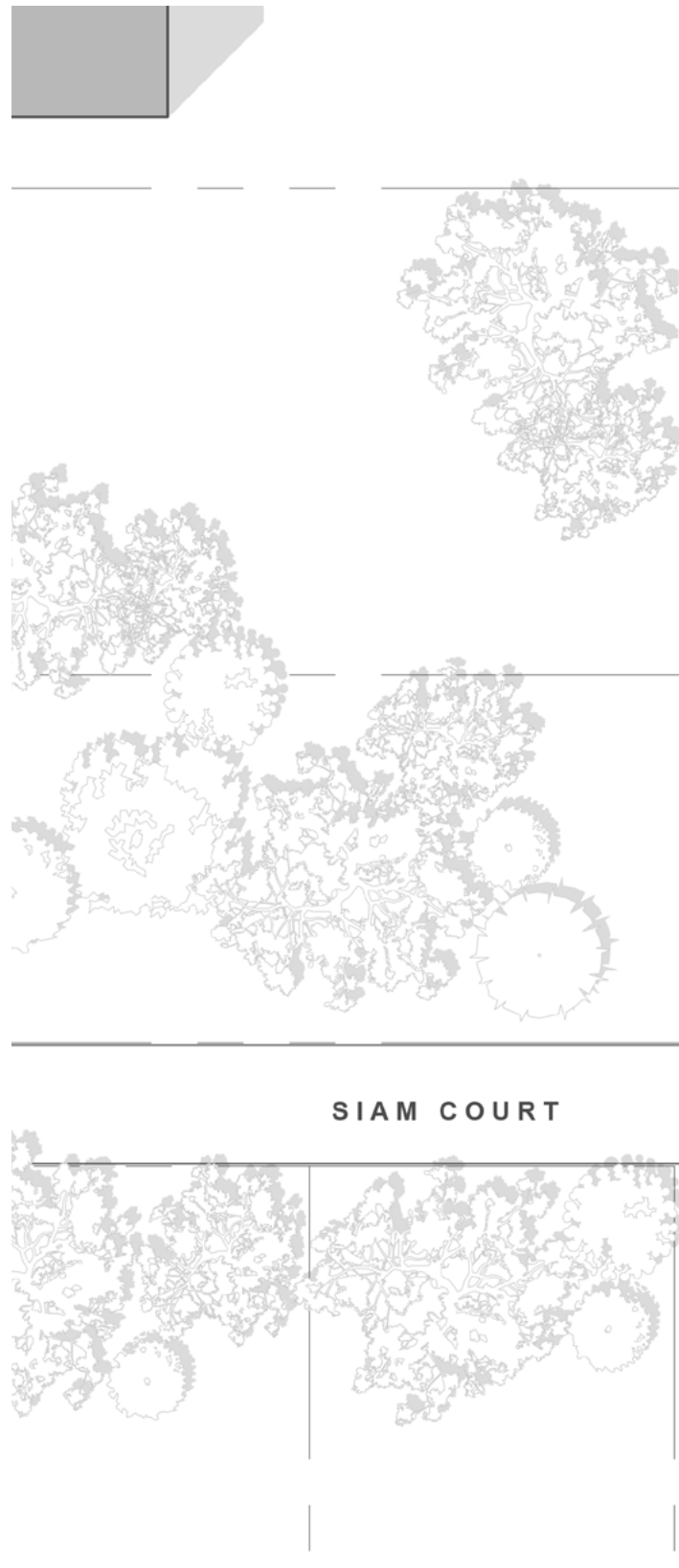




CONTEXT PHOTO

View Looking South Alongside Fulton Road





- NOTES:
1. REFER TO GROUND FLOOR PLAN FOR SETBACKS
  2. AVERAGE FRONT SETBACK OF ADJACENT HOUSES TO THE NORTH - 8'-6"
  3. AVERAGE FRONT SETBACK OF ADJACENT HOUSES TO THE SOUTH - 9'-0"

**SITE PLAN**  
Scale: 1" = 15'-0" ^N



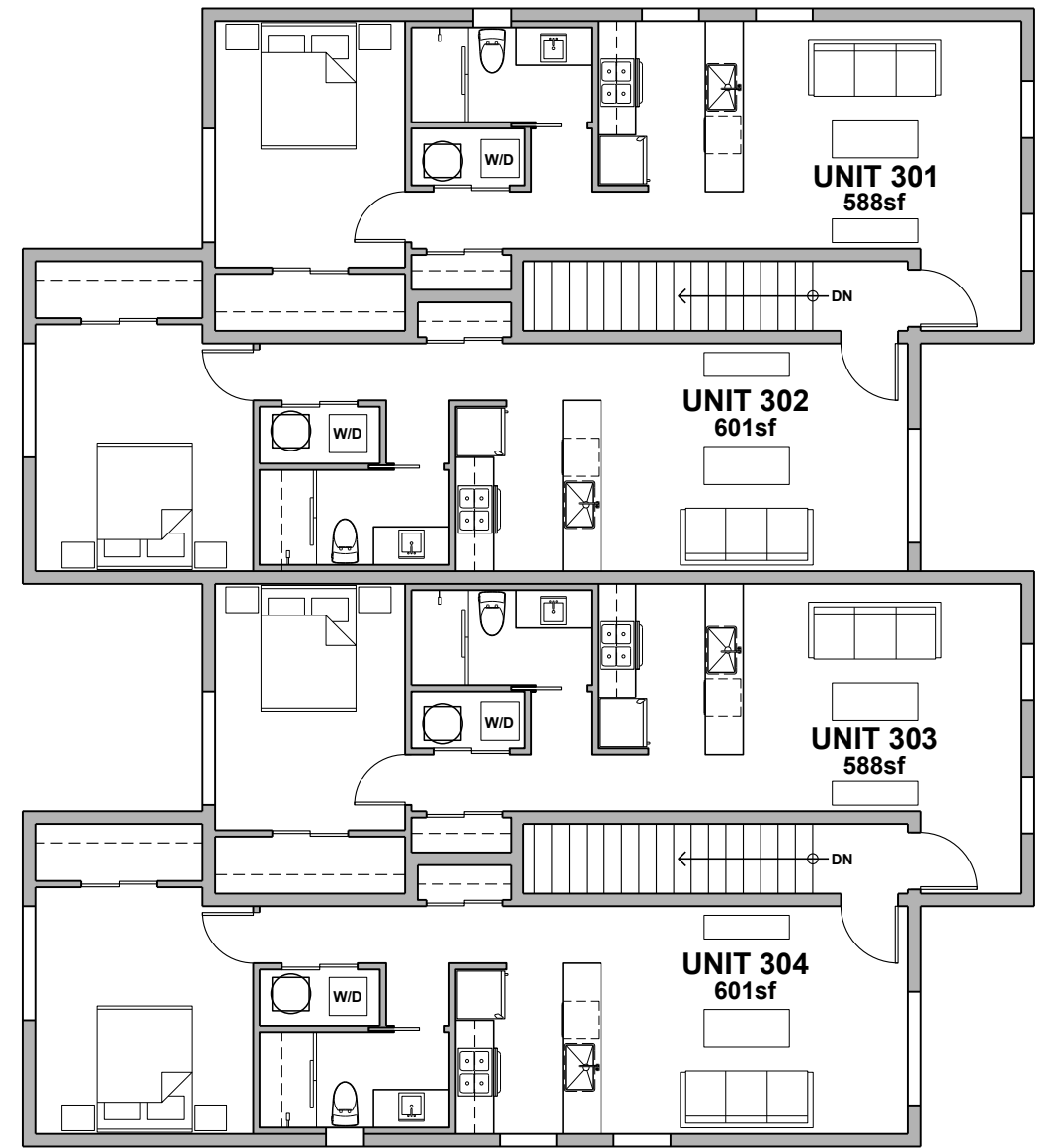
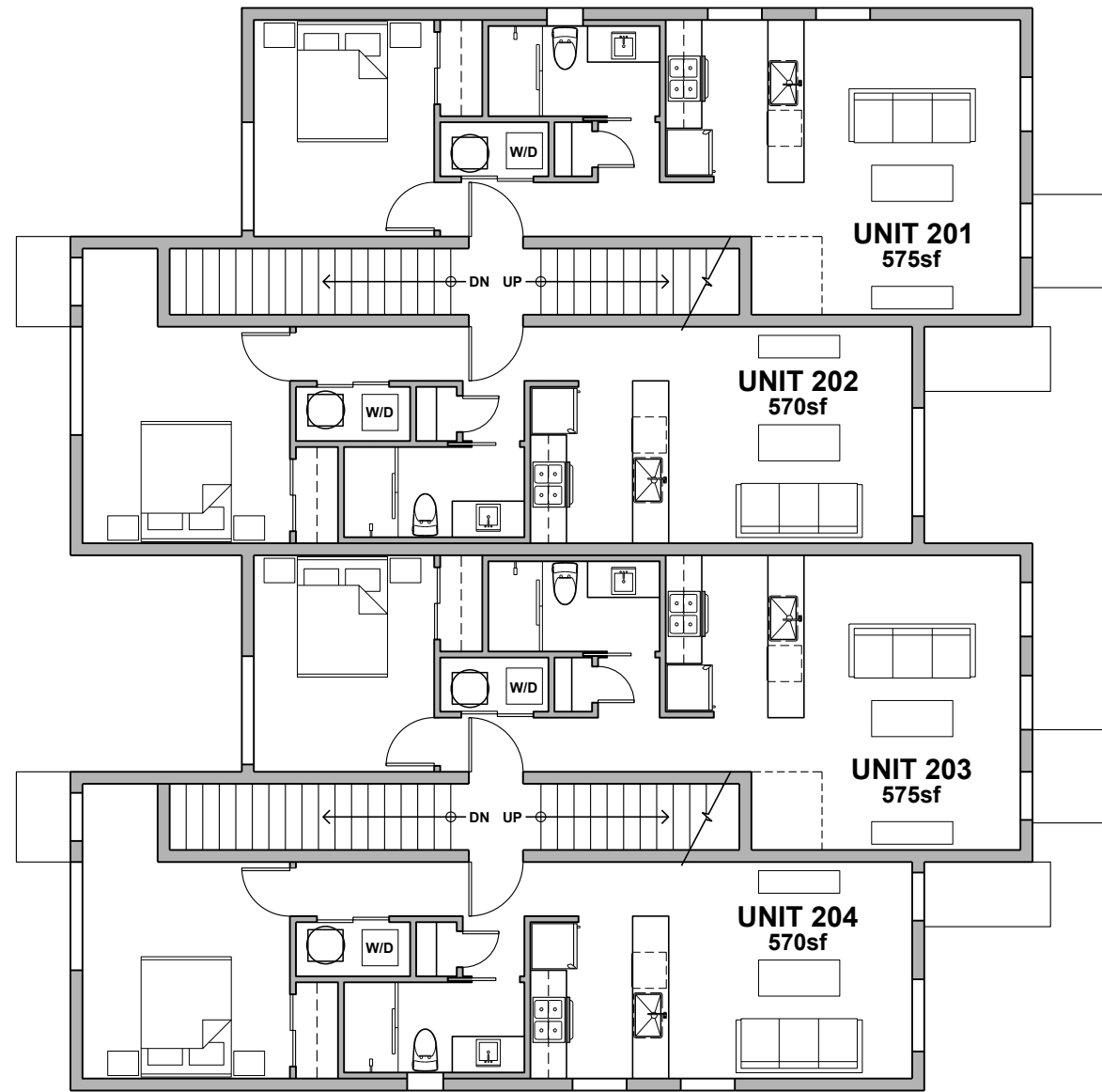
JAPAN COURT



FULTON ROAD

GROUND FLOOR PLAN

Scale: 1" = 10'-0"



SECOND & THIRD FLOOR PLANS

Scale: 1" = 10'-0"





CONTEXT ELEVATION

East Elevation

Scale: 1" = 15'-0"



EAST ELEVATION

Scale: 3/16" = 1'-0"





**SOUTH ELEVATION**

Scale: 3/16" = 1'-0"



WEST ELEVATION

Scale: 3/16" = 1'-0"



- ⊕ RIDGE HEIGHT  
+38'-7 3/4"
- ⊕ RIDGE HEIGHT  
+36'-1 3/4"
- ⊕ ZONING HEIGHT  
+34'-2 3/4"
- ⊕ EAVE HEIGHT  
+29'-9 3/4"
- ⊕ B/O ROOF TRUSS  
+29'-4 1/4"
- HALF ROUND GUTTER WITH  
CYLINDRICAL DOWNSPOUT
- BLACK FRAMED WINDOWS, WITH  
BLACK AZEK SURROUND
- ⊕ T/O 3RD FLOOR SHEATHING  
+21'-0 3/4"
- BLACK FRAMED WINDOWS, WITH  
BLACK AZEK SURROUND
- 8" EXPOSURE HORIZONTALLY  
ORIENTED SHIP LAPPED CEMENT  
BOARD SIDING
- ⊕ T/O 2ND FLOOR SHEATHING  
+10'-11 1/2"
- PREFINISHED METAL CLAD  
ENTRY CANOPY
- 5" EXPOSURE VERTICALLY  
ORIENTED SHIP LAPPED CEMENT  
BOARD SIDING
- SMOOTH FINISH POURED IN  
PLACE CONCRETE  
FOUNDATION WALL
- ⊕ T/O 1ST FLOOR SLAB  
+0'-10 1/2"
- ⊕ GRADE  
0'-0"



NORTH ELEVATION

Scale: 3/16" = 1'-0"



5" Exposure Lapped Cement Board



Smooth Finish Concrete



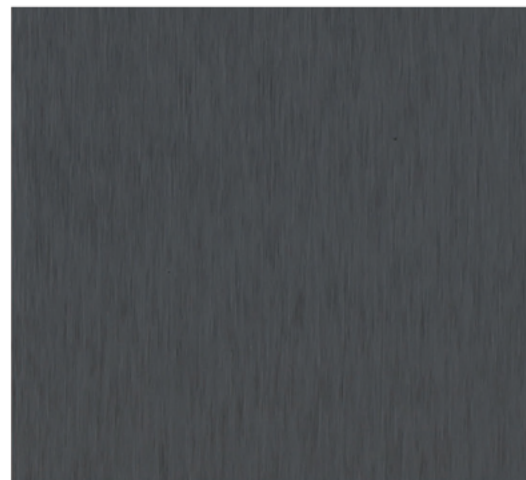
Metal Panels



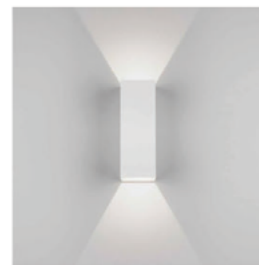
Facade Uplighting



Black Fiberglass Windows



Prefinished Aluminum



Wall Mounted Sconce



Black Anodized Aluminum Handrails

## MATERIAL PALETTE



# Near West Design Review Case

---

September 3, 2021



NW2021-031 – Clark Recreation Center Renovation: Seeking Final Approval

**Project Address: 5706 Clark Avenue.**

Project Representative: Gavin Farrell, City Architecture



THE CITY OF CLEVELAND  
CLARK RECREATION CENTER  
DEPARTMENT OF PUBLIC WORKS  
MAYOR'S OFFICE OF CAPITAL PROJECTS

FRANK G. JACKSON, MAYOR  
CITY OF CLEVELAND

KEVIN J. KELLEY, PRESIDENT  
CLEVELAND CITY COUNCIL

MATT ZONE  
CLEVELAND CITY COUNCILMAN

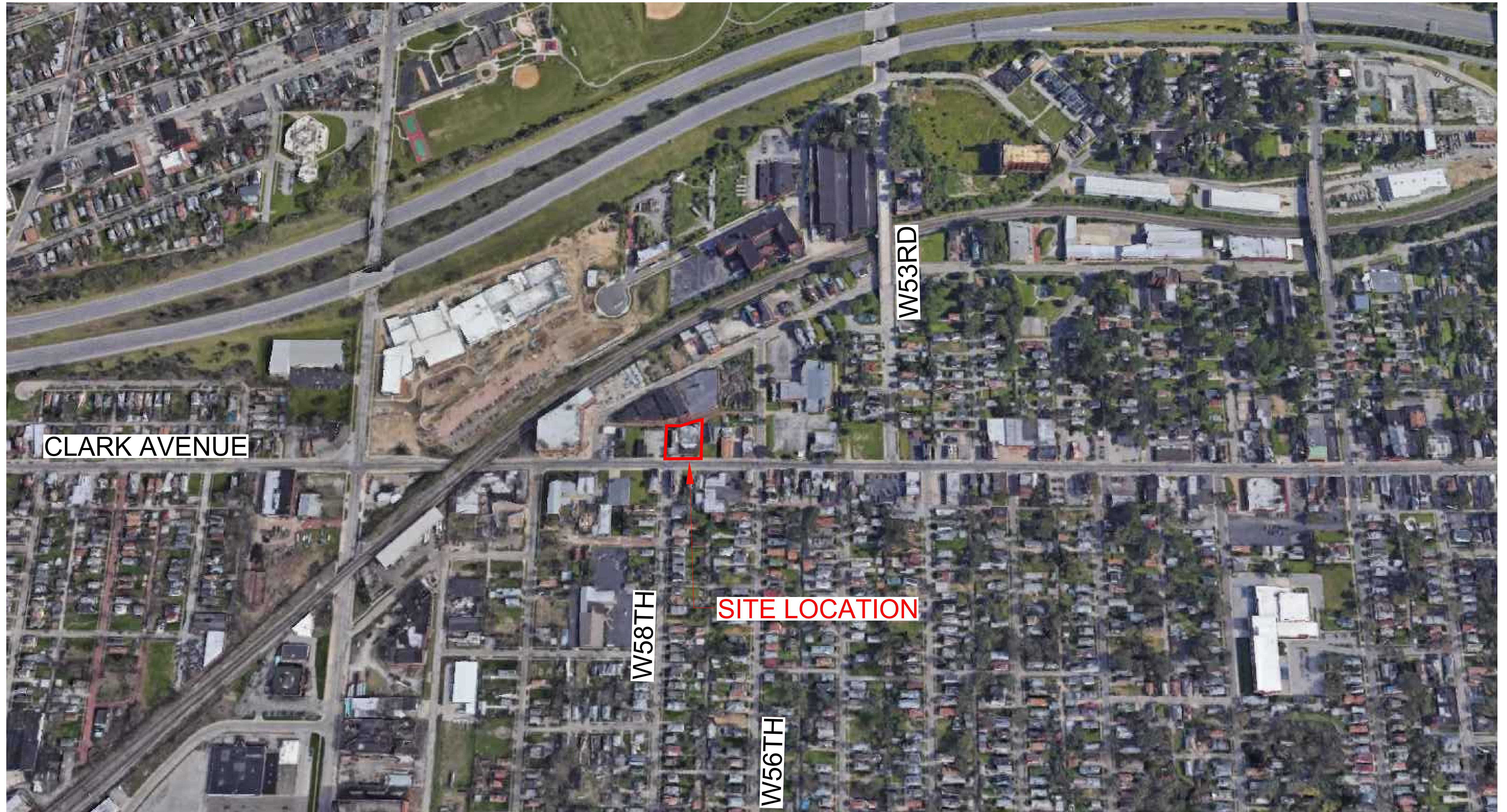
MICHAEL E. COX, DIRECTOR  
DEPARTMENT OF PUBLIC WORKS

MATTHEW L. SPRONZ, DIRECTOR  
MAYOR'S OFFICE OF CAPITAL PROJECTS

CARTER A. EDMAN, MANAGER  
DIVISION OF ARCHITECTURE AND SITE DEVELOPMENT















W58TH

W56TH

CLARK AVENUE

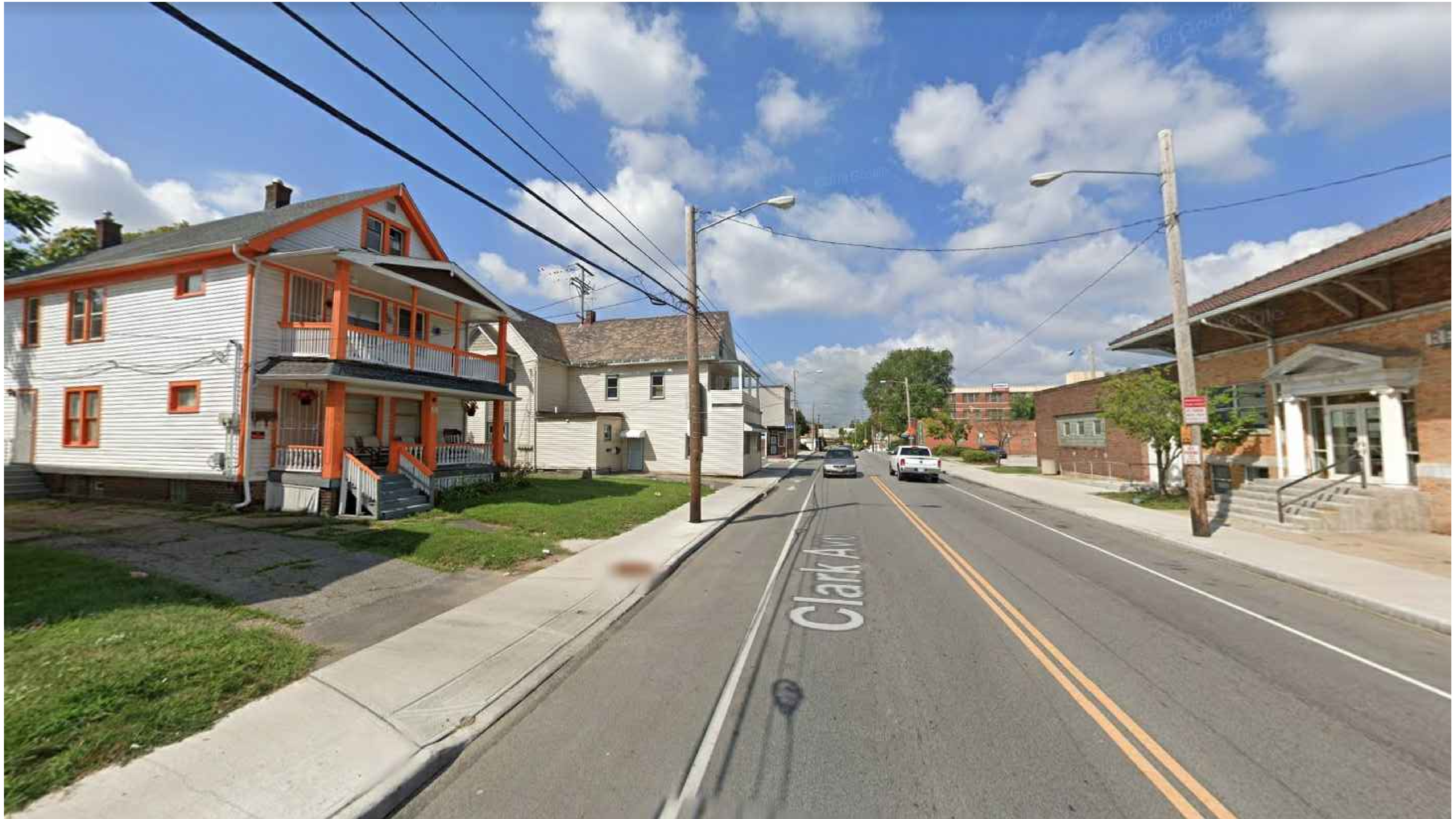
















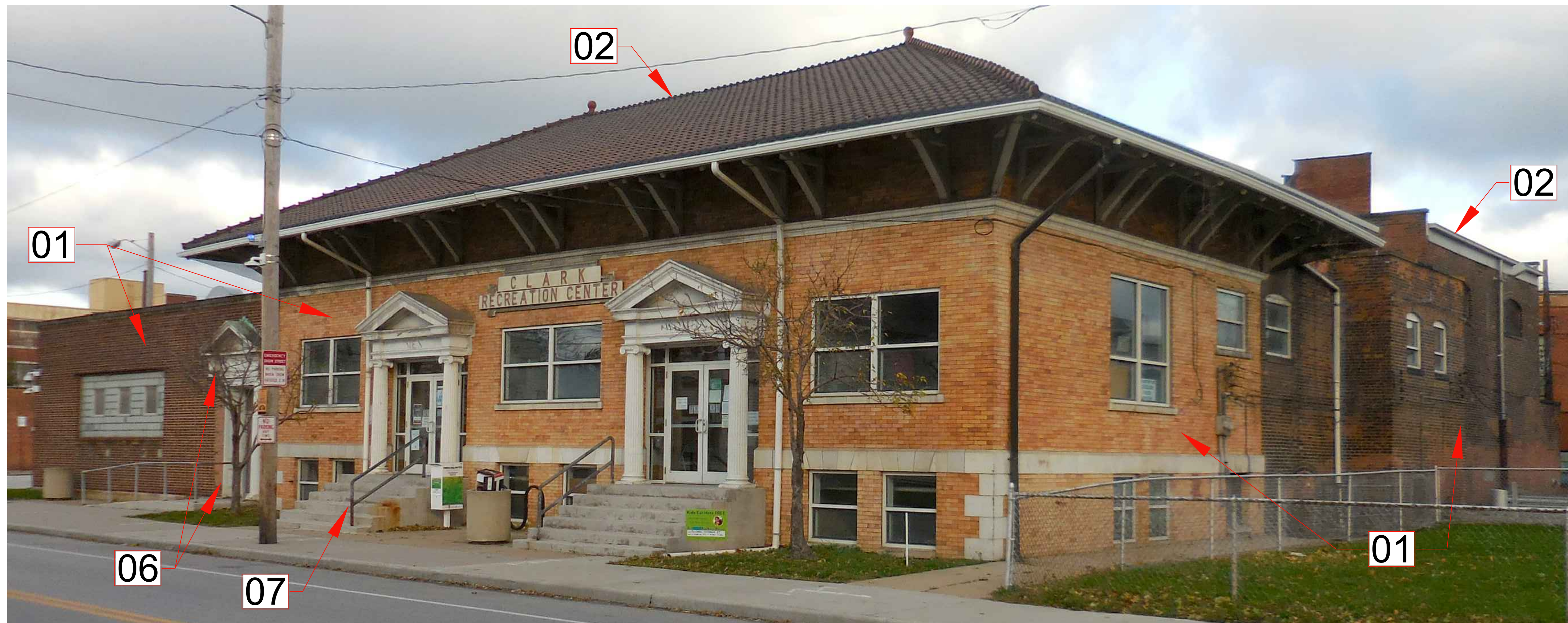












## RENOVATION SUMMARY:

01 MISCELLANEOUS TUCK POINTING/MASONRY REPAIR.

02 REPLACE ROOFING

03 PAINT MISC. WOOD BRACKETS, REPLACE DOWNSPOUTS.

04 EXISTING WINDOWS TO REMAIN.

05 LOCATION OF NEW ADDITION, NEW OPENINGS TO POOL.

06 LOCATION OF NEW VESTIBULE. REPAIR EXISTING COLUMNS AND PEDIMENT.

07 REPLACE STEPS WITH NEW PORCH.

08 PARKING AREA TO REMAIN.



# SITE PLAN SURVEY

OF  
**CLARK AVENUE RECREATION CENTER**  
 5706 CLARK AVENUE  
 P.P.N. 006-16-008  
 P.P.N. 006-16-007  
 P.P.N. 006-16-006  
 CITY OF CLEVELAND, OHIO  
 FOR  
**CITY OF CLEVELAND**

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being all of Sublot Nos. 113, 114, 115, 116, and 117 in the J.M. Hoyt's Subdivision of part of the Original Brooklyn Township Lot No. 48, as shown by the plat recorded in Volume 3, Page 15 of Cuyahoga County Map Records.

**2 WORKING DAYS BEFORE YOU DIG**  
 CALL TOLL FREE 800-362-2764 or 811  
 OHIO UTILITIES PROTECTION SERVICE

## UTILITY PROVIDERS

O.U.P.S. Reference No. A011300656  
 Date: 04-22-2020

## SEWER REFERENCE

Sewer Connection Data:  
 City of Cleveland Sewer Plans  
 Clark Avenue Sewer Plans - File No. 729  
 Connection Book 9, Page 296

Slant #98 - 255.25' West of M.H. 3  
 Slant #100 - 273.75' West of M.H. 3  
 Slant #103 - 295.75' West of M.H. 3  
 Slant #106 - 317.25' West of M.H. 3  
 Slant #108 - 340.41' West of M.H. 3  
 Slant #110 - 358.16' West of M.H. 3

Clark Avenue Sewer Plans - File No. 378  
 Written Connection Records Not Available at the time of Survey

Slant #178 & 180 were scaled in from WPC GIS Records.

## UTILITY NOTE

Utility Provider source information from plans provided by the client, the title company and the utility provider and on ground utility markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. The centerline of known utility lines shown hereon do not represent the true width of the utility line.

## SURVEYOR CERTIFICATION

CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:

1. Finished Floor elevation & House sizes with project Architect.
2. Location and Elevations of existing utility connections. All new utility connections must be installed to City of Cleveland Standards.
3. New sidewalks to be 4" thick concrete except at drive apron which is to be 6" thick concrete. Any new sidewalk, aprons, or street repair must be installed to meet City of Cleveland Standards.
4. Existing sewer connections can only be used if they are in good working condition. The city shall decide on the condition of existing connections.
5. The contractor must obtain a sewer permit from the City of Cleveland, division of Water Pollution Control, before performing the sewer work.
6. Confirm with the City of Cleveland Water Department whether the existing water connection is reusable or will need to be replaced.

Utility Provider source information from plans provided by the client, the title company and the utility provider and on ground utility markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. The centerline of known utility lines shown hereon do not represent the true width of the utility line.

Dimensions shown on this plan are expressed in feet and decimal parts thereof, all of which I declare to be correct to the best of my knowledge and belief. Bearings are to an assumed meridian and are used to denote angles only.

Additional F.F. Elev. June 2, 2020  
 May 19, 2020  
 Peter J. Gornhoff P.S. No. 8646 Date



## PARCEL AREAS

P.P.N. 006-16-008  
 0.3525 Acres 15,354 Sq.Ft.  
 P.P.N. 006-16-007  
 0.1151 Acres 5,015 Sq.Ft.  
 P.P.N. 006-16-006  
 0.1151 Acres 5,015 Sq.Ft.  
 Total  
 0.5827 Acres 25,384 Sq.Ft.

## LEGEND

|                             |                     |
|-----------------------------|---------------------|
| Monument Box Found          | Spot Elevation Tag  |
| Iron Pin Found              | Hydrant             |
| 5/8" x 30" Iron Pin Set     | Stand Pipe          |
| Drill Hole Set / Found      | Water Service Valve |
| P.K. Nail Set / Found       | Water Line Valve    |
| Gas Meter                   | Water Manhole       |
| Gas Valve / Shut Off        | Sanitary Manhole    |
| Utility Pole                | Unknown Manhole     |
| Light Pole                  | Storm Manhole       |
| Air Conditioning Unit       | Catch Basin         |
| Telephone Box / Manhole     | Yard Basin          |
| Cable Box / Manhole         | Curb Inlet          |
| Traffic Control Box         | Trench Drain        |
| Tree                        | Traffic Flow/Access |
| Parcel / Sublot Line        | Handicap Parking    |
| Original Lot / Section Line | Bollard             |
| Centerline                  | Centerline          |
| Subject Property Line       | Monitoring Well     |
| Right-of-way Line           | Property Line       |
| Easement Line               |                     |
| Waterline                   |                     |
| Gas Line                    |                     |
| Overhead Utility Line       |                     |
| Electric Line               |                     |
| Sanitary Sewer              |                     |
| Storm Sewer                 |                     |
| Telephone Line              |                     |
| Chain Link Fence            |                     |
| Vinyl Fence                 |                     |
| Wood Fence                  |                     |
| Guardrail                   |                     |

|          |                             |               |                                   |
|----------|-----------------------------|---------------|-----------------------------------|
| Adj.     | Adjacent                    | N.            | North                             |
| Asph.    | Asphalt Pavement            | N/A           | Not Available                     |
| B.F.     | Basement Floor              | O.D.O.T       | Ohio Department of Transportation |
| Bldg.    | Building                    | O.U.P.S.      | Ohio Utilities Protection Service |
| B/W      | Bottom of Wall              | Ord.          | Ordinance                         |
| C.C.M.R. | Cuyahoga County Map Records | O.L.          | Original Lot                      |
| CL.F.    | Chain Link Fence            | Obs.          | Observed                          |
| Calc./C. | Calculated                  | P.C.          | Point of Curvature                |
| CB       | Catch Basin                 | P.F.N.        | Permanent Parcel                  |
| CH       | Chord                       | P/L           | Property Line                     |
| CMP      | Corrugated Metal Pipe       | Prop.         | Proposed                          |
| Conc.    | Concrete                    | PVC           | Polyvinyl Chloride Pipe           |
| Conn.    | Connection                  | R/W           | Right-of-way                      |
| CPF      | Corrugated Plastic Pipe     | RCF           | Reinforced Concrete               |
| D.H.     | Drill Hole                  | Rec./R.       | Record                            |
| D.I.W.M. | Ductile Iron Water Main     | Res.          | Residence                         |
| E.       | East                        | S.            | South                             |
| El.      | Elevation                   | S/L           | Sublot                            |
| Encl.    | Encroachment                | San.          | Sanitary                          |
| Ent.     | Entrance                    | Sp.           | Parking Spaces                    |
| F.F.     | Finished Floor              | Sq.Ft.        | Square Feet                       |
| Gar.     | Garage                      | Stm.          | Station                           |
| Gut.     | Gutter                      | TBM           | Temporary                         |
| H.N.     | House Number                | T/Tele        | Telephone                         |
| Inst.    | Instrument                  | Top of Footer |                                   |
| Inv.     | Invert Elevation            | To Be Removed |                                   |
| L.F.     | Linear Feet                 | T/W           | Top of Wall                       |
| L/S      | Landscape                   | Typ.          | Typical                           |
| Meas./M. | Measured                    | VCP           | Verified Clay Pipe                |
| MH       | Manhole                     | V/Vol.        | Volume                            |
|          |                             | W.            | West                              |

## PLEASE NOTE

This Site Plan Survey was prepared without the benefit of a current title commitment. Therefore, the Riverstone Company cannot determine if any easements, restrictions and reservations affect the subject property. If the Riverstone Company is provided with the title commitment, a revised survey map will be provided at Riverstone's hourly fee schedule.

WEST 65TH STREET 80'

TRAIN AVENUE 50' (FORMERLY TRAIN STREET) (A PUBLIC RIGHT-OF-WAY)

TRAIN AVENUE 50' (FORMERLY TRAIN STREET) (A PUBLIC RIGHT-OF-WAY)

WEST 56TH STREET 50' (FORMERLY HAMBURG STREET) (A PUBLIC RIGHT-OF-WAY)

CLARK AVENUE 50' (A PUBLIC RIGHT-OF-WAY)

T.B.M. #1  
 Top Nut of Hydrant  
 Elevation - 695.12

## VERTICAL CONTROL MONUMENT AND T.B.M.

(VRS Virtual Reference Station 01-15-2020)

The horizontal component of the VRS network is based on the NAD83 (CORS96) reference frame; the vertical component of the VRS network is based on NAVD88 as determined by the NGS (National Geodetic Survey).

T.B.M. No. 1 Elevation: 695.12 (NAVD 1988)  
 Top nut of hydrant at the intersection of the southerly right of way of Clark Avenue and the westerly right of way of West 58th Street, fronting the subject property.

Definitions NAVD- North American Vertical Datum

## REFERENCE SURVEYS

J.M. Hoyt's Subdivision, Volume 3, Page 15 of Cuyahoga County Map Records. (Rec.)

Clark Avenue Centerline Schematic Plan, by C.W. Courtney Company, Donald Sheehy P.S. 7849, dated August 2016. (CW)

City of Cleveland Survey Records. (CSR)

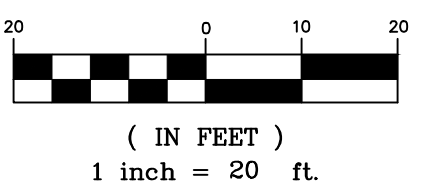
## DEEDS OF RECORD

P.P.N. 006-16-008  
 Land described to City of Cleveland deed of record not available at time of survey.

P.P.N. 006-16-007  
 Land described to City of Cleveland by deed dated August 17, 1999 and recorded in AFN. 199908170485 of Cuyahoga County Deed Records.

P.P.N. 006-16-006  
 Land described to Georgia Michalske by deed dated August 8, 2018 and recorded in AFN. 201808080192 of Cuyahoga County Deed Records.

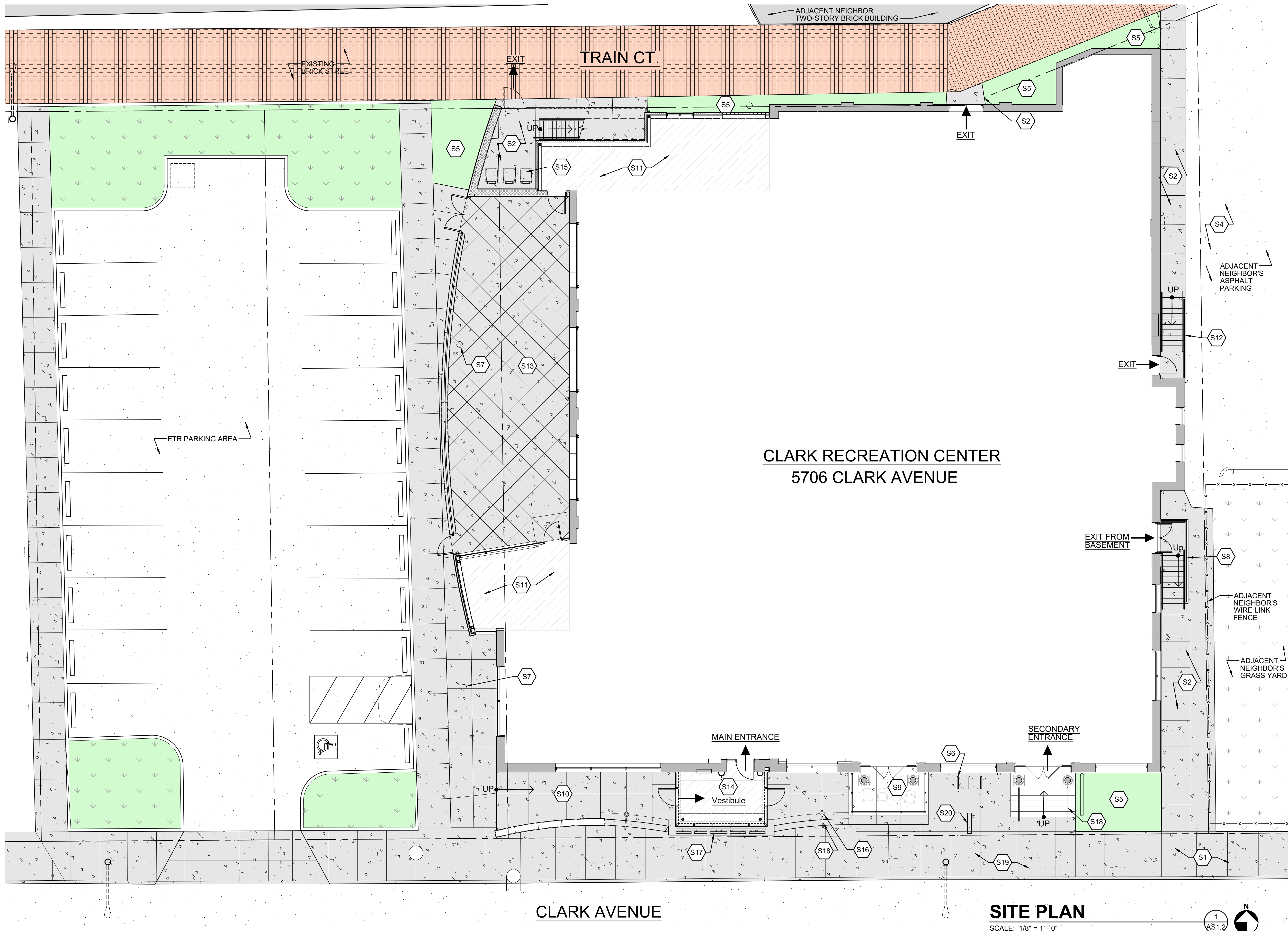
## GRAPHIC SCALE



**RIVERSTONE**

LAND SURVEYING - ENGINEERING - DESIGN  
 3800 LAKESIDE AVENUE - SUITE 100  
 CLEVELAND - OHIO - 44114  
 PHONE: (216) 491-2000 FAX: (216) 491-9640  
 WWW.RIVERSTONEENGINEERING.COM





**SITE PLAN LEGEND & NOTES:**

NOTE: SEE CIVIL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

|  |                     |
|--|---------------------|
|  | PROPERTY LINE       |
|  | BRICK PAVED STREET  |
|  | LANDSCAPED AREA     |
|  | ASPHALT PAVING      |
|  | NEW CONCRETE PAVING |

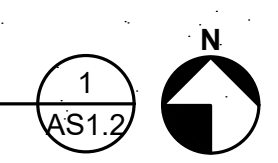
**SITE PLAN NOTES:**

|     |                                                                                                                                                 |
|-----|-------------------------------------------------------------------------------------------------------------------------------------------------|
| S1  | EXISTING CONCRETE PAVING                                                                                                                        |
| S2  | NEW CONCRETE PAVING, SEE CIVIL                                                                                                                  |
| S3  | EXISTING MANHOLE TO BE RELOCATED, SEE CIVIL DWGS.                                                                                               |
| S4  | EXISTING ASPHALT PAVING.                                                                                                                        |
| S5  | LANDSCAPED BED, SEE LANDSCAPE DRAWINGS.                                                                                                         |
| S6  | NEW BIKE RACKS (3)                                                                                                                              |
| S7  | EXISTING UTILITY POLE TO BE REMOVED AND ADJUSTED FOR NEW ADDITION CONSTRUCTION. COORD. WITH UTILITY PROVIDER, SEE CIVIL DWGS.                   |
| S8  | EXISTING STAIR TO BASEMENT LEVEL TO BE REPLACED WITH NEW CONCRETE STAIR AND DRAIN WITH GUARDRAIL RETAINING WALL, HANDRAIL AND DRAIN, SEE 3/A.10 |
| S9  | NEW RAISED SEATING PATIO. MASONRY RETAINING WALL WITH PRECAST COPING. PREFIN. METAL GUARDRAIL, SEE ELEVATIONS.                                  |
| S10 | NEW SLOPED CONCRETE WALK UP TO ENTRANCE W/ LOW MASONRY WALL, HANDRAILS, (2) LIGHT POSTS.                                                        |
| S11 | NEW POOL & GYM SERVICE ADDITION. NEW TRENCH FOOTINGS AND SLAB-ON GRADE. LT GAGE METAL WALL & ROOF FRAMING.                                      |
| S12 | NEW CONCRETE EGRESS STEPS W/ GUARDRAIL, SEE 2/A.10                                                                                              |
| S13 | FENCED IN POOL PATIO AREA W/ GATES. SEE ELEVATIONS FOR & DETAILS.                                                                               |
| S14 | NEW GLASS STOREFRONT SYSTEM VESTIBULE, BUTT JOINT GLAZING ON EXTERIOR, SEE A4.9.                                                                |
| S15 | NEW TRASH ENCLOSURE, SEE ENLARGED PLAN.                                                                                                         |
| S16 | NEW LIGHT POST, SEE ELECTRICAL SITE PLAN.                                                                                                       |
| S17 | NEW SIGN, SEE AS1.2                                                                                                                             |
| S18 | NEW HANDRAIL, SEE SITE DETAILS.                                                                                                                 |
| S19 | REPLACE CONCRETE & PAVING AS REQUIRED FOR NEW UTILITY PLACEMENT, SEE CIVIL DRAWINGS                                                             |
| S20 | CITY OF CLEVELAND REC CENTER STANDARD MONUMENT SIGN.                                                                                            |

CLARK AVENUE

CLARK RECREATION CENTER  
5706 CLARK AVENUE

**SITE PLAN**  
SCALE: 1/8" = 1' - 0"







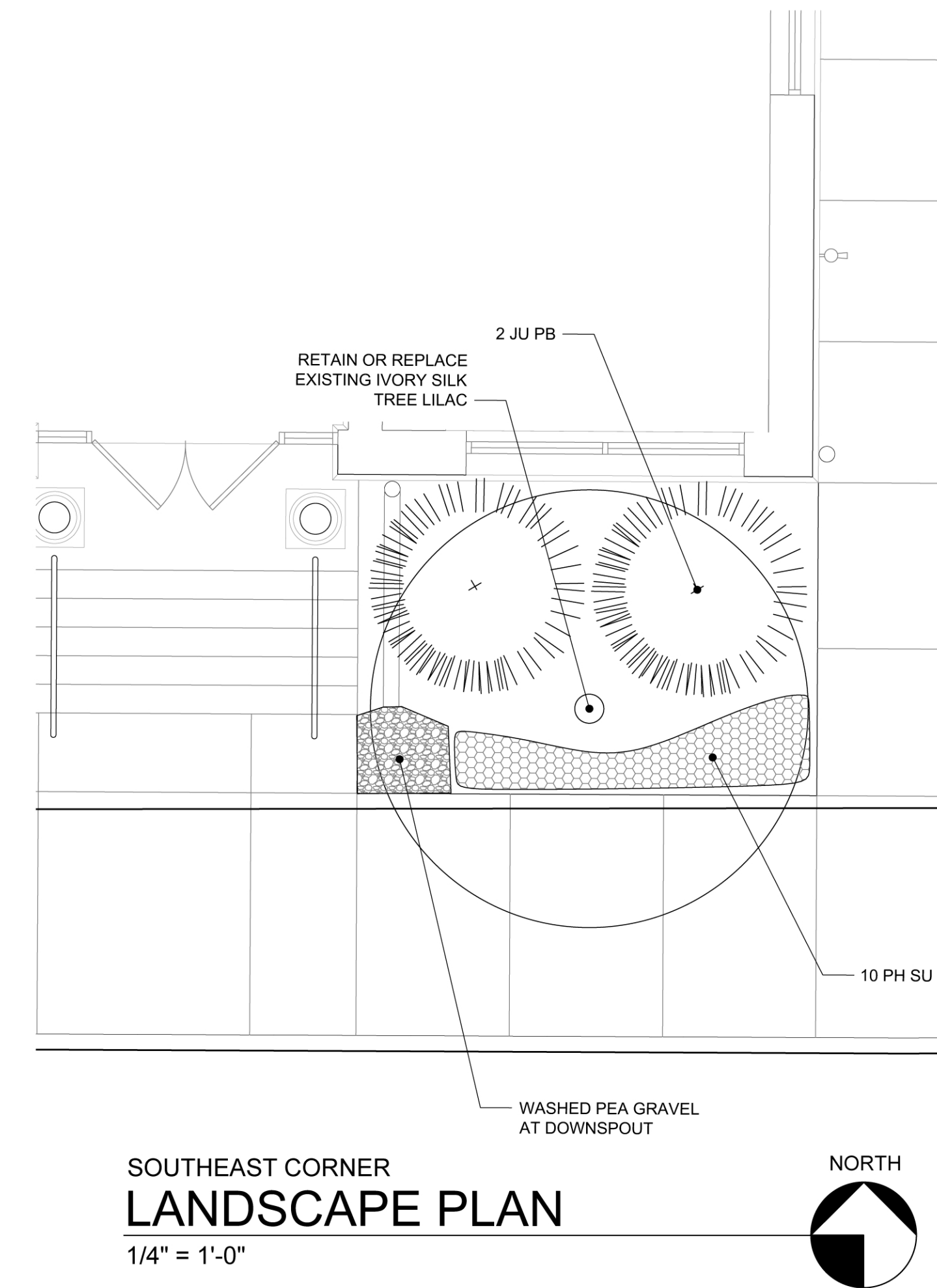
SY RE  
SYRINGA RETICULATA 'IVORY SILK'  
IVORY SILK TREE LILAC



JU PB  
JUNIPERUS CONFERTA 'BLUE PACIFIC'  
BLUE PACIFIC JUNIPER



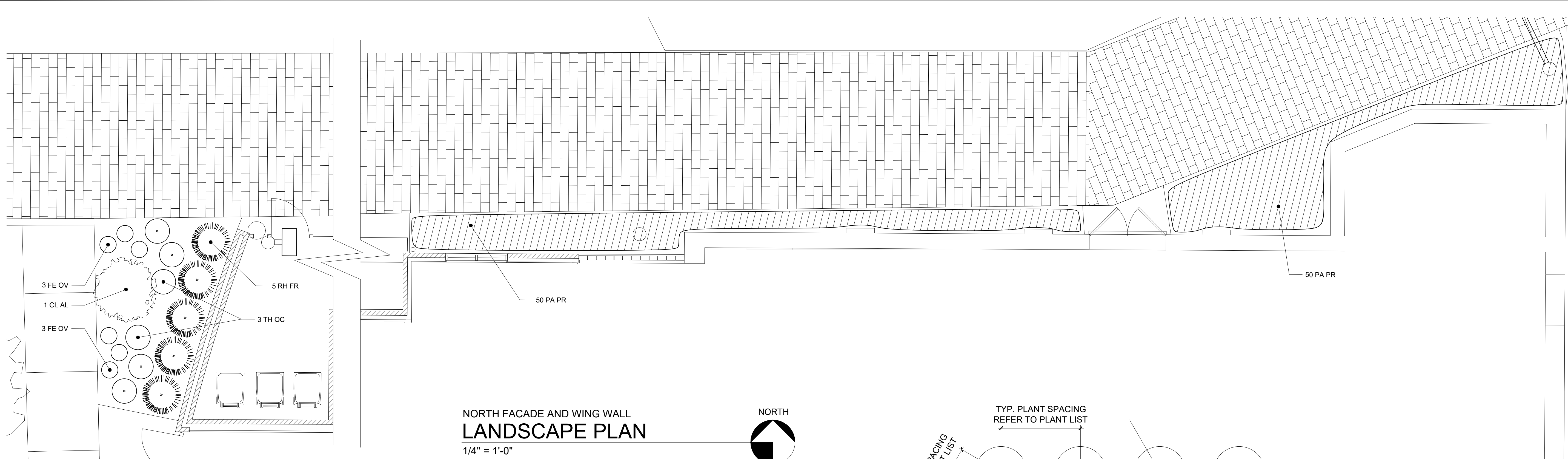
PH SU  
PHLOX SUBULATA 'EMERALD BLUE'  
EMERALD BLUE CREEPING PHLOX



**Clark Recreation Center**  
5706 Clark Ave, Cleveland, OH 44102







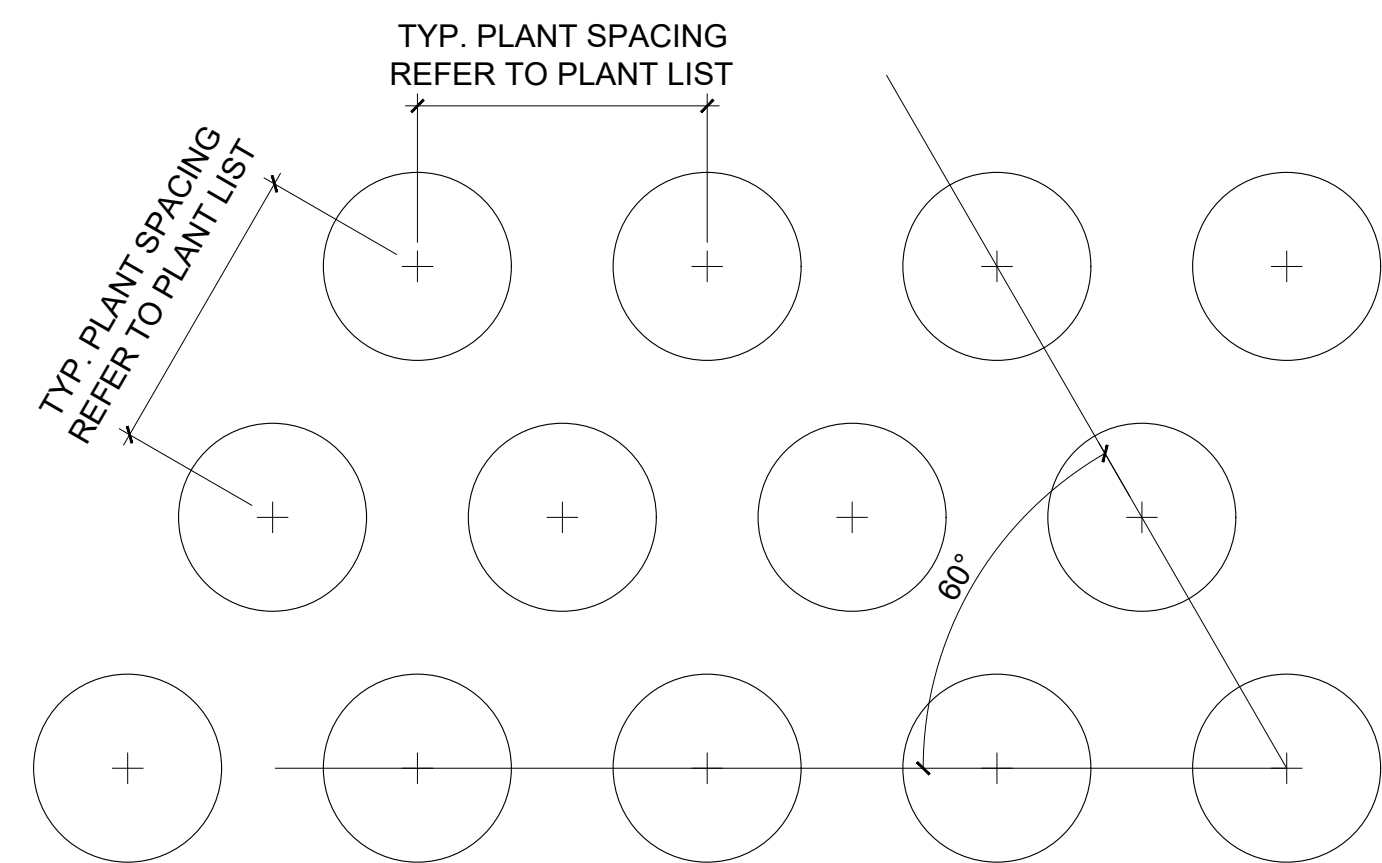
NORTH FACADE AND WING WALL  
**LANDSCAPE PLAN**  
 1/4" = 1'-0"  
 NORTH

**LANDSCAPE NOTES**

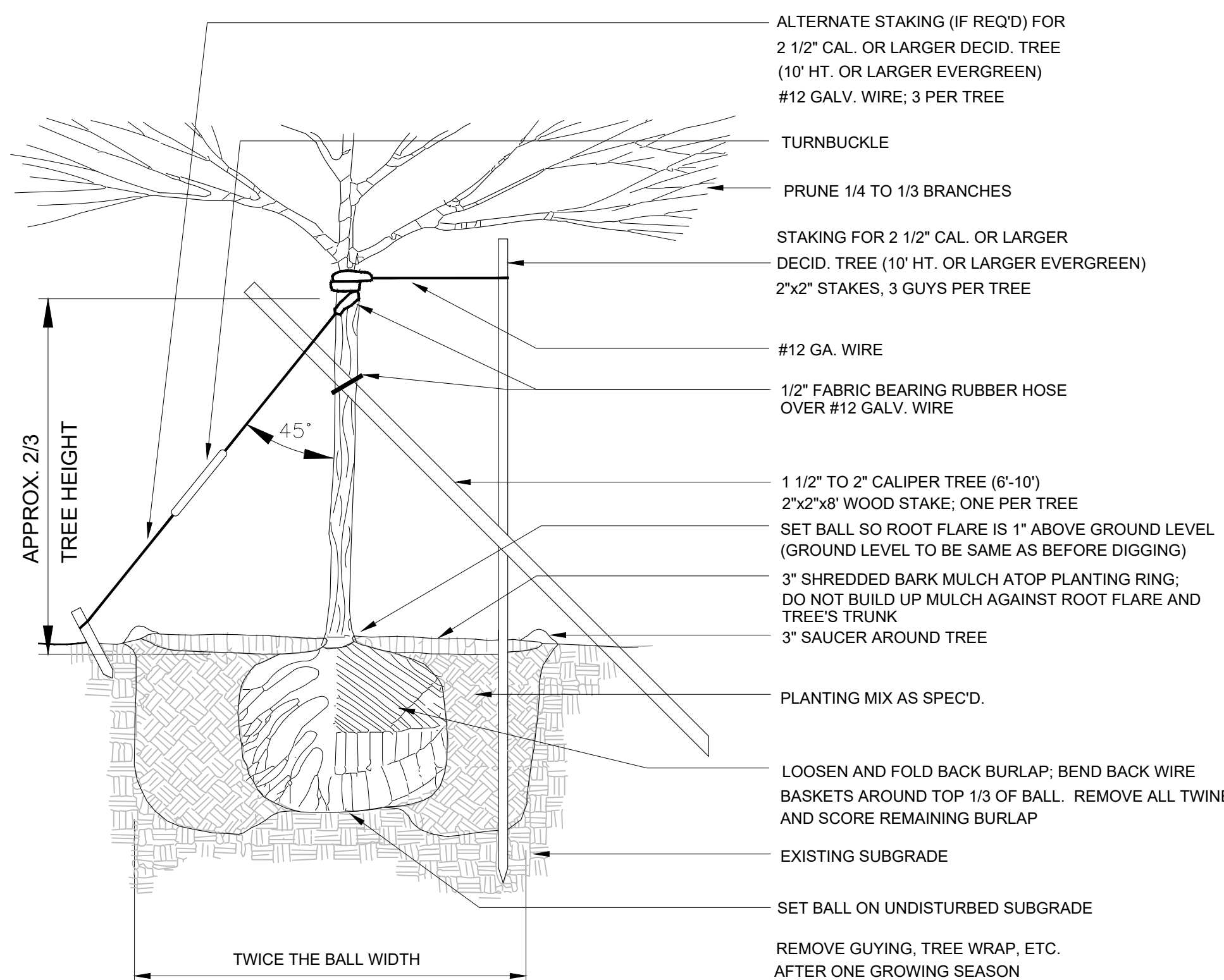
- ALL WORK TO BE IN ACCORDANCE WITH THE ACCEPTED PRACTICES OF THE AMERICAN ASSOCIATION OF LANDSCAPE CONTRACTORS. PRIOR TO INSTALLATION, INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUBGRADE, ELEVATIONS, UTILITY LOCATIONS, AND TOPSOIL. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED.
- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO ONSET OF WORK AND COORDINATE ACCORDINGLY WITH APPROPRIATE UTILITIES DEPARTMENTS. DO NOT INSTALL TREES WITHIN 4' OF BURIED UTILITY LINES. RELOCATE PLANT MATERIAL SLIGHTLY IF NECESSARY. IN THE CASE OF A CONFLICT, NOTIFY LANDSCAPE ARCHITECT.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT AVAILABLE, CONTACT THE LANDSCAPE ARCHITECT FOR ACCEPTABLE ALTERNATIVE.
- ALL PLANT MATERIAL MUST BE FROM NURSERY SOURCE WITH A HARDINESS ZONE SIMILAR TO THAT OF THE PROJECT SITE. PLANTS SHALL BE TRUE TO GENUS AND SPECIES AS INDICATED ON THE PLANS, COMPLYING WITH ANSI Z60.1 FOR THE TYPES AND FORM OF PLANS REQUIRED.
- ALL PLANTING BEDS TO RECEIVE 6" DEPTH PLANTING MIX AFTER FINAL GRADE IS ESTABLISHED. ALL SEEDED AREAS TO RECEIVE CLEAN FINE GRADED TOPSOIL, FREE OF ALL ROCKS AND DELETERIOUS DEBRIS. SHRUB AND PERENNIAL PLANTING PITS SHALL RECEIVE PLANTING MIX PER DETAILS, THIS SHEET.
- PROVIDE SHREDDED HARDWOOD MULCH 3" DEEP AT ALL PLANTING BEDS, TAKING CARE TO KEEP MULCH AWAY FROM CROWNS AND ROOT FLARES OF ALL PLANTS. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR TO APPLY STARTER FERTILIZER PER SPECIFICATIONS OR APPROVED SIMILAR FOR ALL LAWN AND PLANTING BEDS.
- FINAL GRADES SHALL BE SMOOTH AND EVEN. PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE INTENDED DRAINAGE PATTERN OF THE FINAL GRADING PLAN. THIS MAY INCLUDE NOT PLACING PLANT MATERIALS IN SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN. GRADES SHALL SLOPE A MINIMUM OF 2% AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED.
- ALL MATERIALS TESTING SHALL BE THE SOLE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO PROPERLY WATER PLANT MATERIALS IMMEDIATELY UPON PLANTING.
- PLANT LIST IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND PROVIDING PLANT MATERIAL AS SHOWN ON PLANS.

**PLANT LIST**

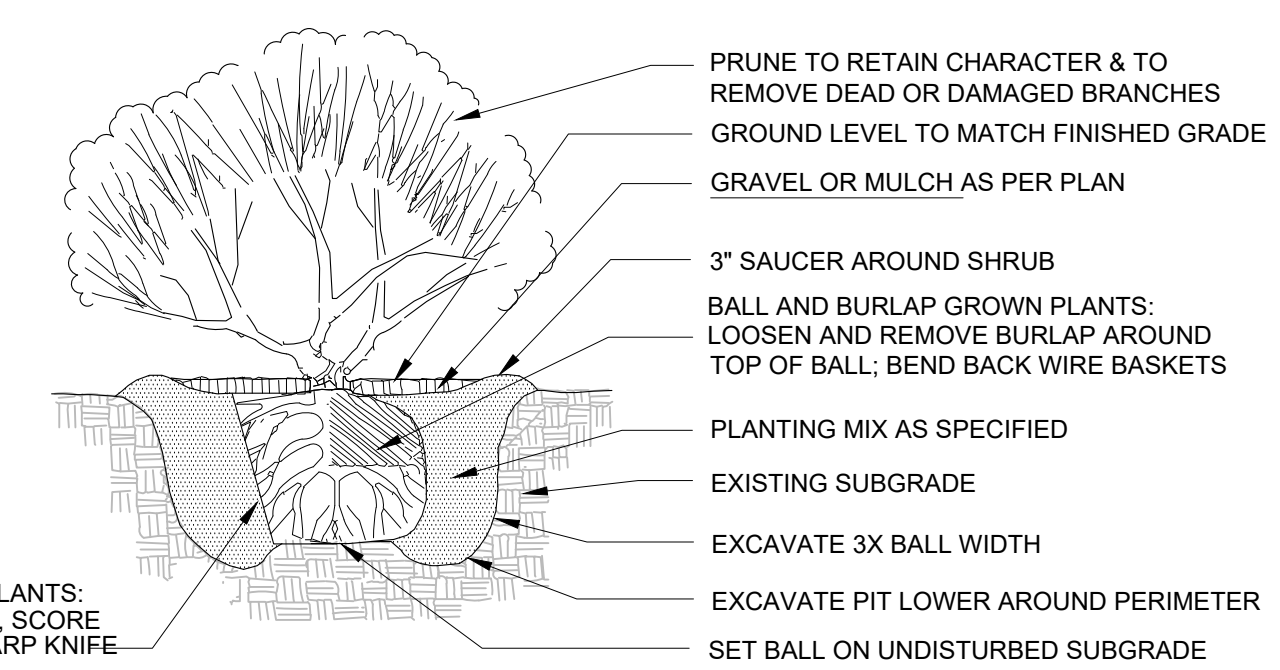
| KEY   | BOTANICAL NAME                    | COMMON NAME                 | SIZE        | COND.   | NOTES/ SPACING  | QTY |
|-------|-----------------------------------|-----------------------------|-------------|---------|-----------------|-----|
| CL AL | CLETHRA ALNIFOLIA 'RUBY SPICE'    | RUBY SPICE SUMMERSWEET      | No. 5 CONT. | 24" HT. |                 | 1   |
| FE OV | FESTUCA OVINA 'ELIJAH BLUE'       | ELIJAH BLUE FESCUE          | 8" SQUAT    | CONT.   | CLUMP           | 6   |
| JU PB | JUNIPERUS CONFERTA 'BLUE PACIFIC' | BLUE PACIFIC JUNIPER        | No. 3 CONT. | 15" HT. |                 | 2   |
| PA RR | PACHYSANDRA PROCUMBENS            | ALLEGHENY SPURGE            | QUART       | CONT.   | CLUMP, 18" O.C. | 100 |
| PH SU | PHLOX SUBULATA 'EMERALD BLUE'     | EMERALD BLUE CREEPING PHLOX | 8" SQUAT    | CONT.   | CLUMP, 18" O.C. | 10  |
| RH FR | RHAMNUS FRANGULA 'FINE LINE'      | FINE LINE BUCKTHORN         | No. 3 CONT. | 30" HT. |                 | 5   |
| SY RE | SYRINGA RETICULATA 'IVORY SILK'   | IVORY SILK TREE LILAC       | 1 1/2" CAL. | B&B     |                 | 1   |
| TH OC | THUJA OCCIDENTALIS 'CONGABE'      | FIRE CHIEF GLOBE ARBORVITAE | 24" HT.     | B&B     |                 | 3   |



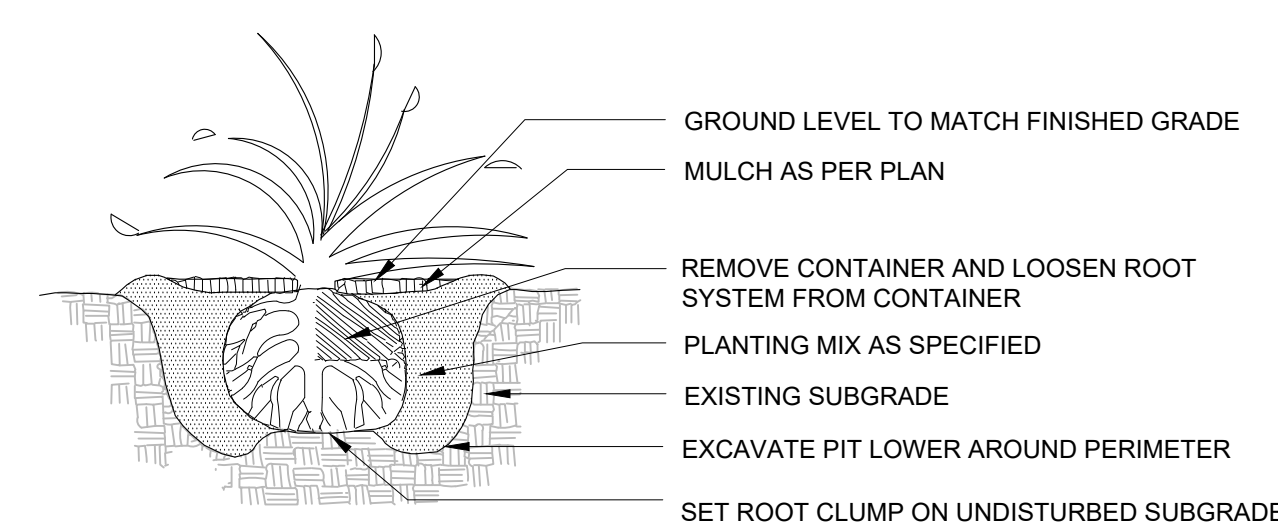
**MASS PLANTING TYPICAL LAYOUT**  
 NTS



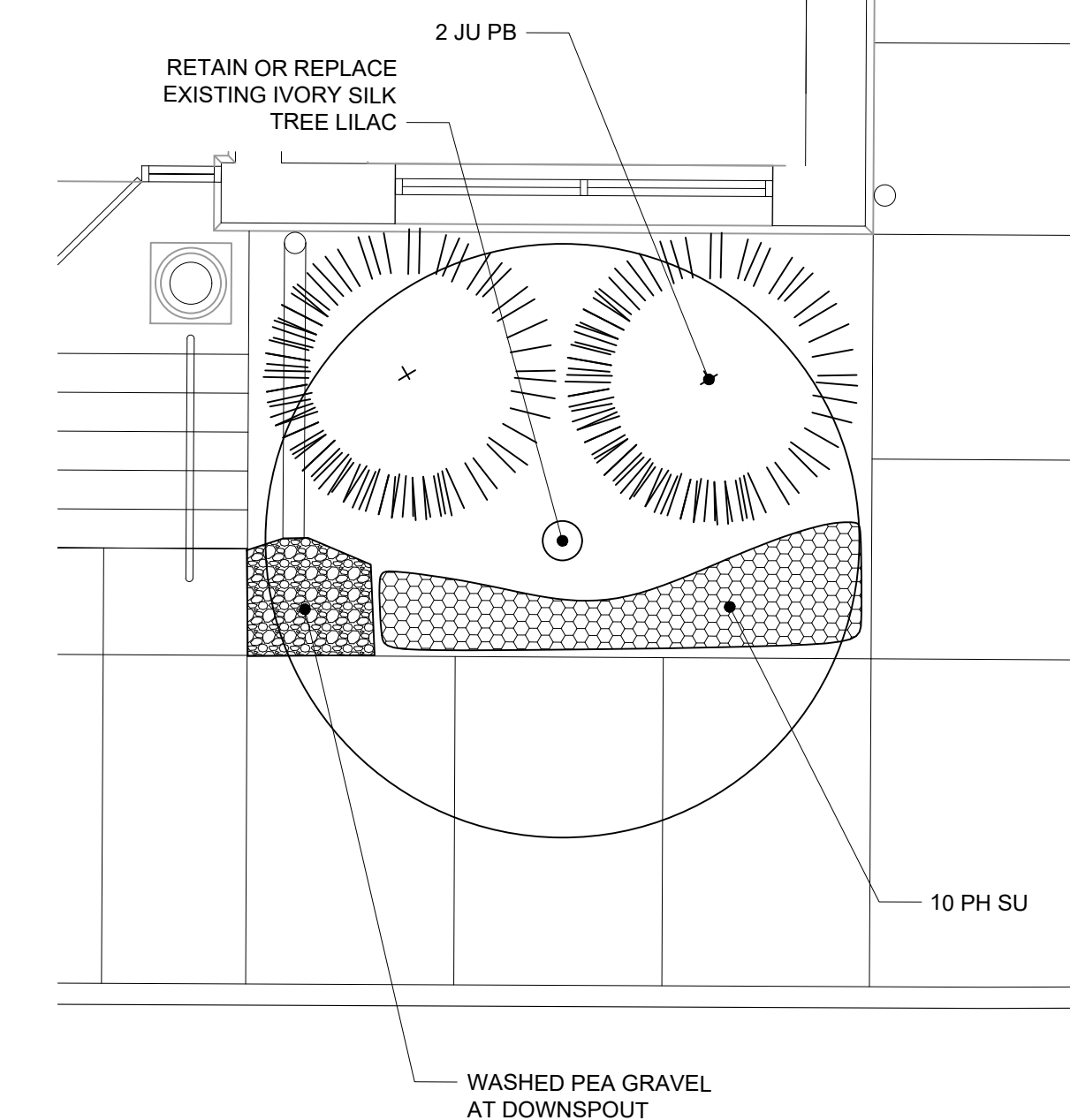
**TREE PLANTING DETAIL**  
 NTS



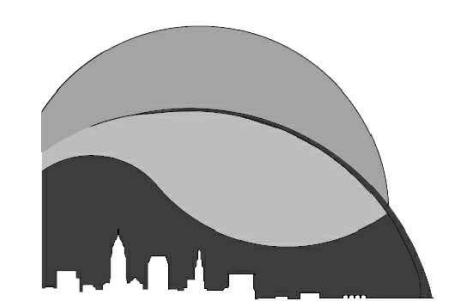
**SHRUB PLANTING DETAIL**  
 NTS



**PERENNIAL PLANTING DETAIL**  
 NTS



SOUTHEAST CORNER  
**LANDSCAPE PLAN**  
 1/4" = 1'-0"  
 NORTH



BOULEVARD STUDIOS LLC

City of Cleveland  
 Mayor's Office of Capital Projects  
**Division of Architecture  
 and Site Development**  
 Cleveland City Hall, 601 Lakeside Avenue, Room 517A  
 Cleveland, OH 44114-1015  
 Phone : (216) 664-2374 Fax: (216) 664-4220

City Architecture  
 3200 Euclid Avenue  
 Cleveland, Ohio 44115  
 phone: 216.881.2444  
 www.cityarch.com

PROJECT NAME:

**THE CITY OF CLEVELAND  
 CLARK RECREATION CENTER  
 IMPROVEMENTS**  
 5706 CLARK AVENUE  
 CLEVELAND, OHIO 44102

| ISSUED / REVISED | NO.      | DATE | DESCRIPTION              |
|------------------|----------|------|--------------------------|
|                  | 07/10/20 |      | SCHEMATIC DESIGN REVISED |
|                  | 02/05/21 |      | DESIGN DEVELOPMENT PKG.  |
|                  | 04/20/21 |      | 30% CD                   |
|                  | 05/25/21 |      | 60% CD                   |
|                  | 07/09/21 |      | 90% CD                   |
|                  | 08/10/21 |      | 100% BID/PERMIT          |

TITLE:  
**LANDSCAPE PLAN**

DESIGNED BY: CAM DATE: 07/09/2021  
 CHECKED BY: GRF DATE: 07/09/2021  
 PROJECT NUMBER: 20011  
 SCALE: SEE PLAN  
 SHEET NO:

L1.1



12  
3.6



Weight: 172 lbs  
EPA at Mid Pole: 13.5 ft²

### Landscape forms 'Alcot' light post

## Site Equipment and Signage



|                                                                                     | Style     | Depth | Length | Height | Product Weight |
|-------------------------------------------------------------------------------------|-----------|-------|--------|--------|----------------|
|  | bike-rack | 33"   | 28"    | 26"    | 50 lb          |

landscapeforms®

# Metro 40

— SANDBLASTED CITY LOGO (SEE LOGO DETAIL)  
 — BACKGROUND COLOR— SEE PARK SIGN NOTES  
 — FONT FOR ESTABLISHED DATE SHALL BE HELVETICA BOLD COLOR—ONE SHOT BULLETIN BLACK  
 — FONT FOR PARK NAME SHALL BE GOUDY 'OLD STYLE' COLOR—ONE SHOT BULLETIN BLACK

SKIRT, BORDER & FLASHING COLOR—ONE SHOT BULLETIN PROCESS BLUE

FINISHED GRADE (MULCH BORDER)

**ELEVATION - SIGN DETAIL**  
NO SCALE

NOTE: CONTACT LANDSCAPE ARCHITECT FOR EXACT YEAR, NAME AND SPELLING OF PROJECT PARK/FACILITY.

**Neighborhood Resource & Recreation Center SIGNS**

|                  |                                   |
|------------------|-----------------------------------|
| Date             | 03/19/2019                        |
| Ref. Drawing No. |                                   |
| Sketch No.       | SK-1A                             |
| File No.         | 2019 REC Center SIGN REPLACEMENTS |

City of Cleveland  
 Mayor's Office of Capital Projects  
 Division of Architecture and Site Development





- SANDBLASTED CITY LOGO (SEE LOGO DETAIL)
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FINISHED GRADE (MULCH BORDER)

**ELEVATION - SIGN DETAIL**  
NO SCALE

NOTE: CONTACT LANDSCAPE ARCHITECT FOR EXACT YEAR, NAME AND SPELLING OF PROJECT PARK/FACILITY.

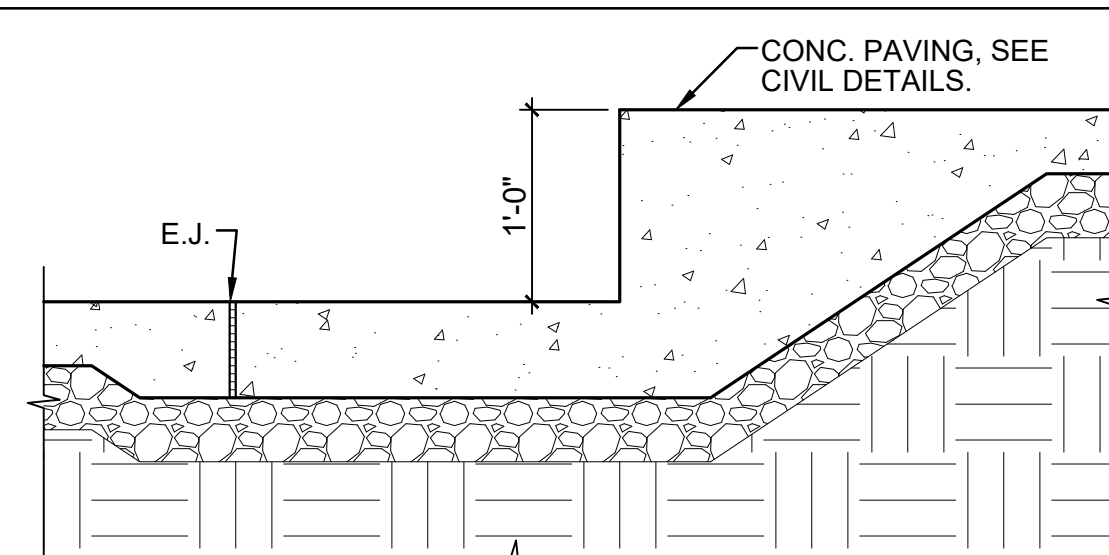
**Neighborhood Resource & Recreation Center SIGNS**

City of Cleveland  
Mayor's Office of Capital Projects  
Division of Architecture  
and Site Development

**SIGN ELEVATION**

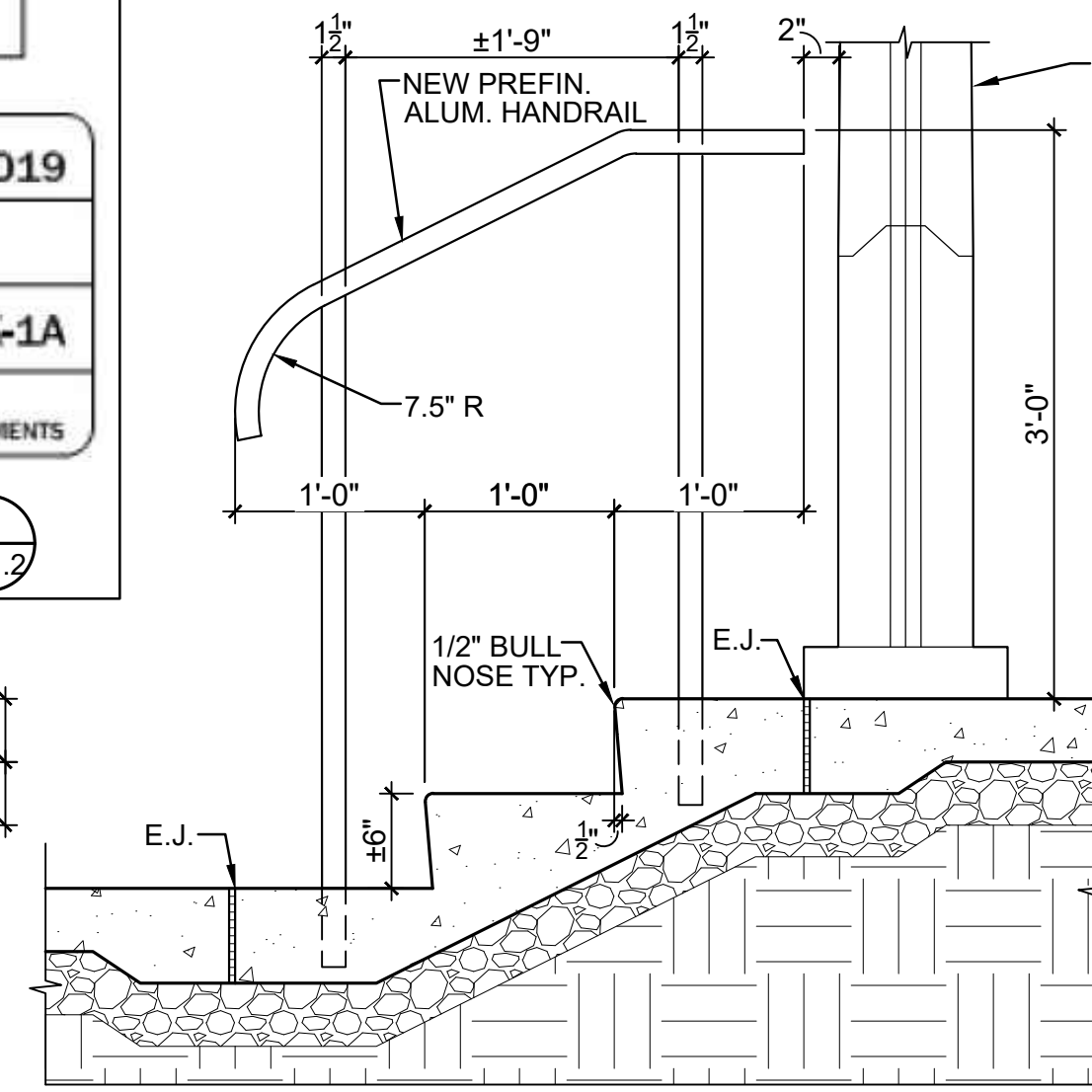
SCALE: NTS

|                  |                                   |
|------------------|-----------------------------------|
| Date             | 03/19/2019                        |
| Ref. Drawing No. |                                   |
| Sketch No.       | SK-1A                             |
| File No.         | 2019 REC Center SIGN REPLACEMENTS |



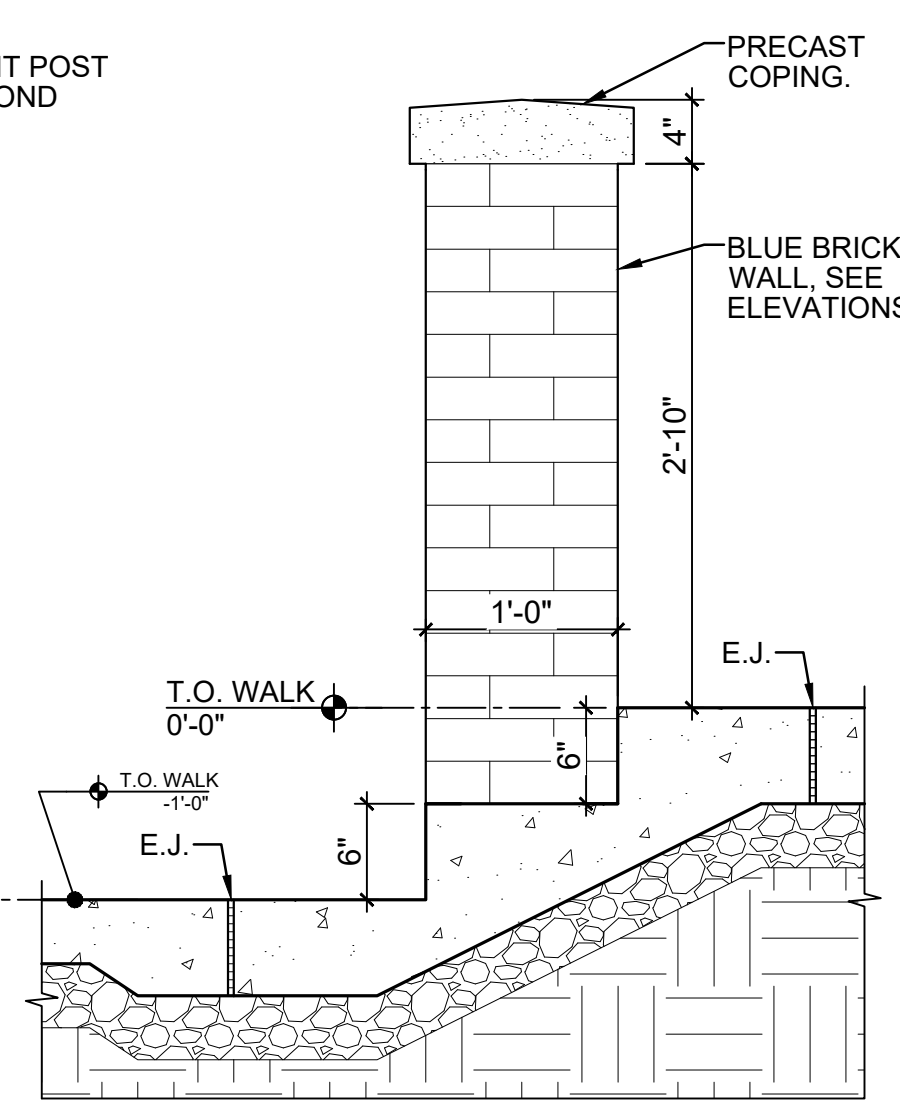
**FRONT STEP DETAIL**

SCALE: 1" = 1'-0"



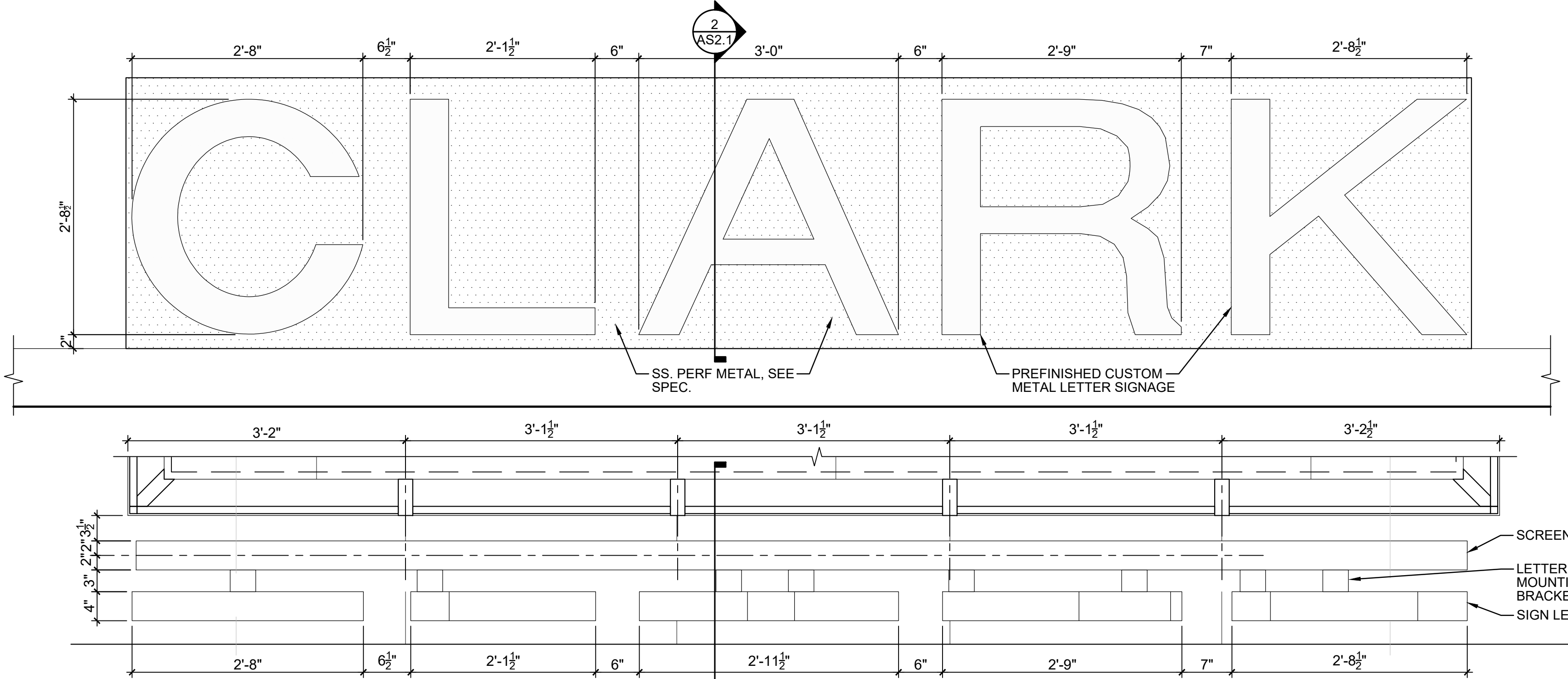
**METAL RAILING DETAIL**

SCALE: 1" = 1'-0"



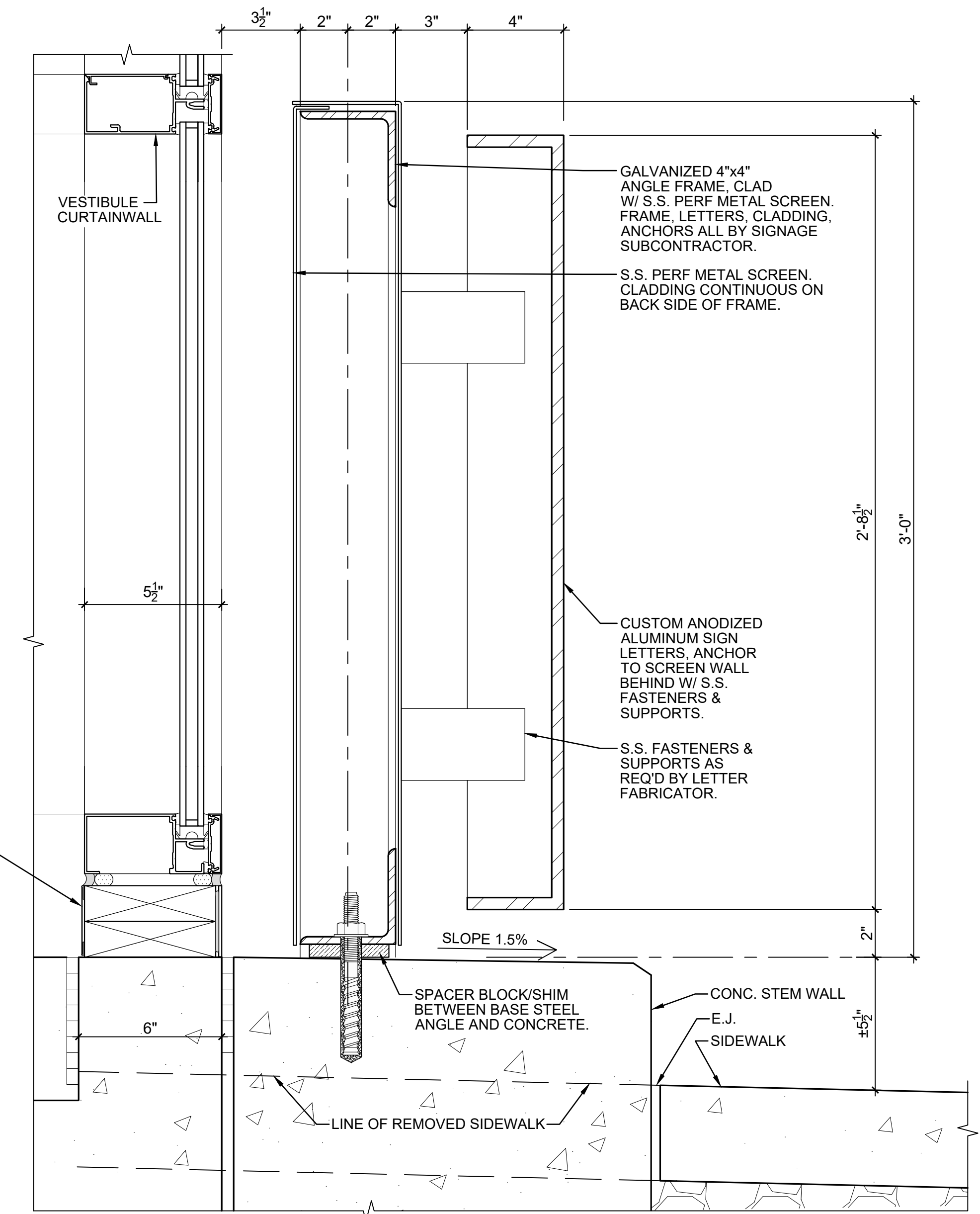
**ENTRANCE STEPS**

SCALE: 1" = 1'-0"



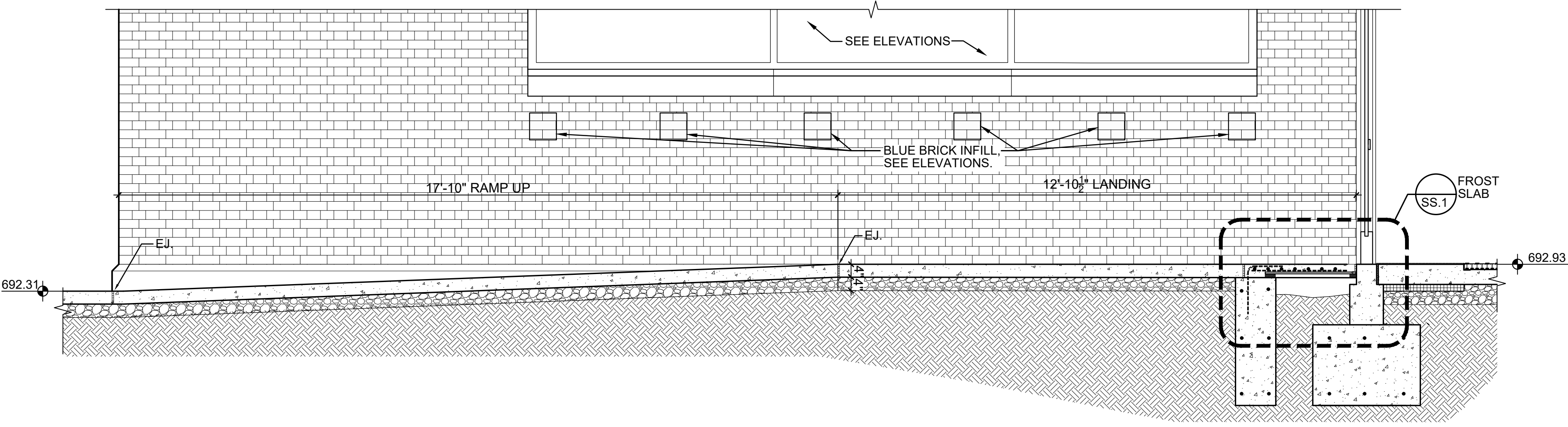
**SIGN PLAN AND ELEVATION DETAIL**

SCALE: 1" = 1'-0"



**SECTION**

SCALE: 1-1/2" = 1'-0"



**RAMP DETAIL**

SCALE: 1/2" = 1'-0"

City of Cleveland  
Mayor's Office of Capital Projects  
**Division of Architecture  
and Site Development**  
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PROJECT NAME:

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|                  | 07/09/21 |      | 90% CD                   |
|                  | 08/10/21 |      | 100% BID/PERMIT          |

**ARCHITECTURAL SITE  
DETAILS**

|                       |       |
|-----------------------|-------|
| DESIGNED BY: MC       | DATE: |
| CHECKED BY: GRF       | DATE: |
| PROJECT NUMBER: 20011 |       |
| SCALE: 1/8" = 1'-0"   |       |
| SHEET NO: AS2.1       |       |





**GENERAL NOTES:**

1. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AS THEY APPLY TO THE ACCEPTABLE COMPLETION OF THE WORK.
2. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS
3. FURNITURE SHOWN FOR REFERENCE ONLY, FURNITURE BY OWNER.

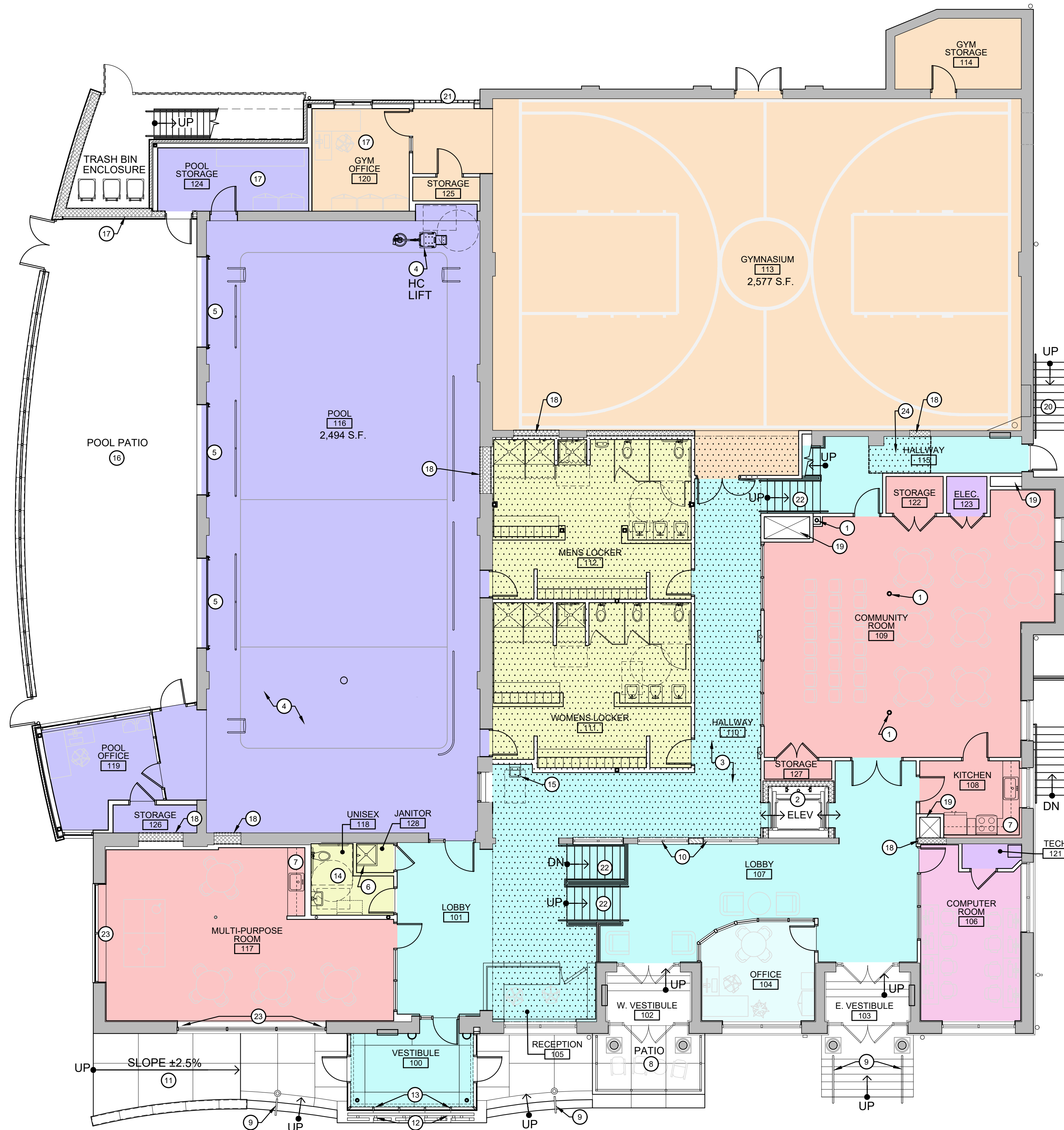
**SYMBOL LEGEND:**

- CODED NOTE, SEE CODED NOTE LEGEND THIS SHEET.
- DOOR TAG, SEE DOOR SCHEDULE.
- DOOR TAG, SEE DOOR SCHEDULE.
- EXISTING WALL TO REMAIN.
- NEW METAL STUD & GYP. BOARD WALL.
- NEW MASONRY WALL.

**CODED NOTE LEGEND:**

- NEW COLUMN TO SHORE EXISTING STRUCTURE, SEE DEMO AND STRUCTURAL PLANS.
- NEW ELEVATOR SYSTEM, SEE SPEC. AND STRUCTURAL DWG'S.
- INFILLED AREA: INFILL SUB-SLAB AREA PER STRUCTURAL DRAWINGS.
- EXISTING POOL EQUIPMENT TO BE RELOCATED. CUT PIPES, SALVAGE, PREP FOR RE-INSTALL AT NEW LOCATION, SEE PLUMBING DWG'S. SEE SPEC.
- NEW LOUVER IN EXISTING MASONRY OPENING, SEE MECH. DWG'S & ELEVATION.
- NEW JANITOR FLOOR SINK, SEE PLUMBING DWG'S.
- NEW MILLWORK SHELVING/STORAGE AT ART ROOM, SEE A6 INTERIOR ELEVATIONS
- ART ROOM SINK, SEE PLUMBING DWG'S.
- NEW POWER FOR KILN, SEE ELECTRICAL DWG'S
- INFILL WALL BEHIND EXISTING WINDOW TO BE CLOSED OFF AT NEW FLOOR LINE.
- INFILL NEW OPENING W/ GLASS BLOCK
- VENDING MACHINES BY OWNER, SEE ELECTRICAL DRAWINGS.
- EXERCISE EQUIPMENT SUPPLIED AND INSTALLED BY OWNER.





**GENERAL NOTES:**

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2. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS
3. FURNITURE SHOWN FOR REFERENCE ONLY, FURNITURE BY OWNER.

**SYMBOL LEGEND:**

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- EXISTING WALL TO REMAIN.
- NEW METAL STUD & GYP. BOARD WALL.
- NEW MASONRY WALL.

**CODED NOTE LEGEND:**

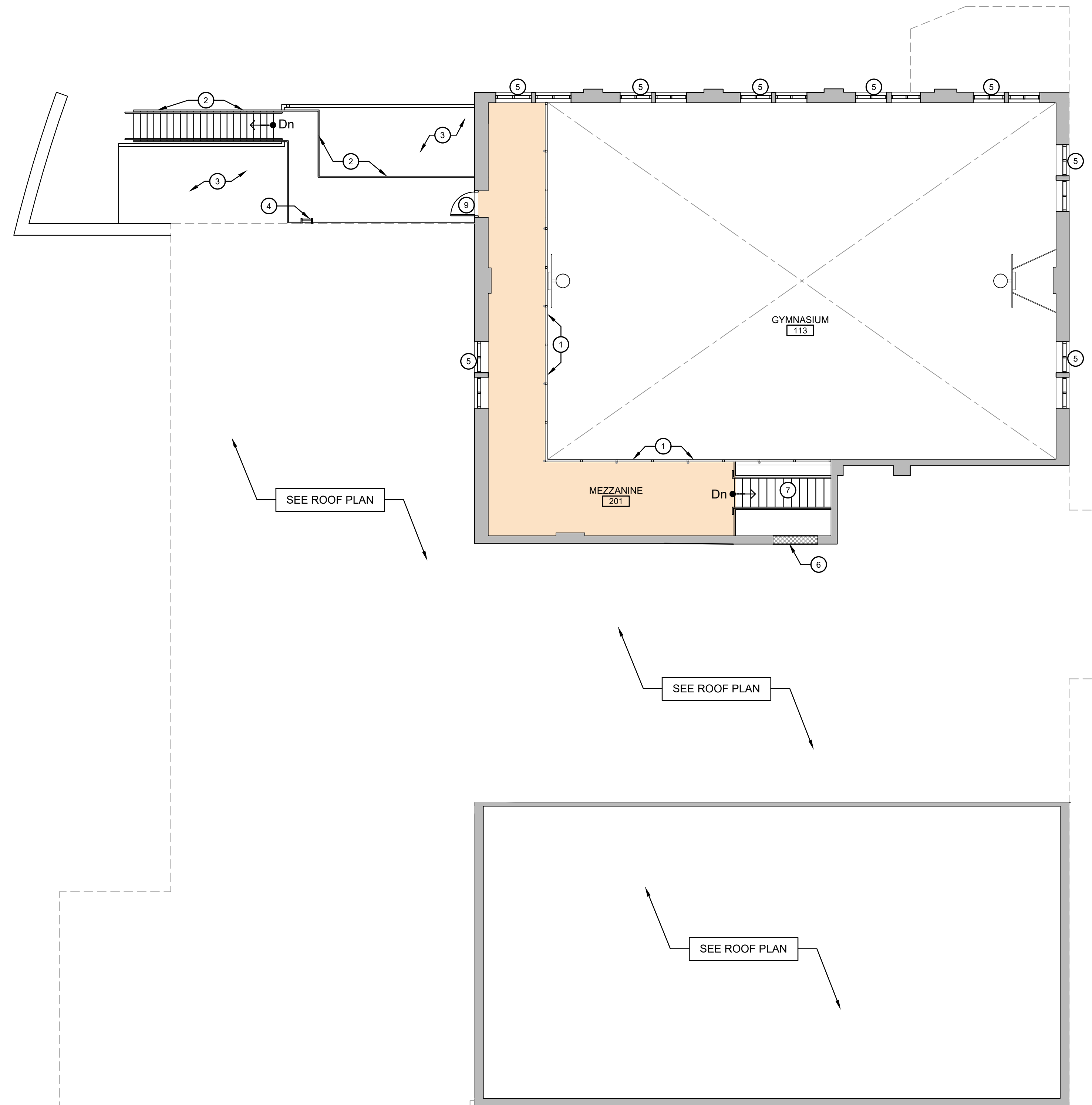
- 1 NEW COLUMN TO SHORE EXISTING STRUCTURE, SEE DEMO PLAN & STRUCTURAL DWG'S.
- 2 NEW ELEVATOR SYSTEM W/ CMU SHAFT, SEE SPEC.
- 3 NEW FLOOR OVERBUILD W/ CRAWLSPACE BELOW. LT GAGE MTL FRAMING W/ METAL DECK & CONCRETE TOPPING.
- 4 POOL AREA RENOVATIONS. EXISTING POOL TILE TO REMAIN. PAINT WALLS, COAT WALKWAY AREAS WITH NEW EPOXY COATING. INSTALL NEW HANDICAPPED POOL LIFT (TBD). PAINT CEILING, TRUSSES, SEE INTERIOR ELEVATIONS.
- 5 OVERHEAD GLASS AND ALUMINUM DOOR, SEE DETAILS ON A5.1
- 6 NEW JANITOR FLOOR SINK, SEE PLUMBING.
- 7 NEW MILLWORK, SEE INT. ELEVATIONS.
- 8 NEW PATIO. MASONRY RETAINING WALL WITH PRECAST COPING, PREFIN. METAL GUARDRAIL, SEE ELEVATIONS.
- 9 NEW HANDRAILS, SEE DETAILS.
- 10 NEW RAILING, SEE DETAILS.
- 11 NEW CONCRETE RAMP UP. RELOCATE 2 EXISTING MANHOLES, SEE SURVEY & CIVIL DRAWINGS.
- 12 CONCRETE SEATING BENCH AND NEW 'CLARK' SIGNAGE, SEE ELEVATION.
- 13 NEW GLASS STOREFRONT SYSTEM VESTIBULE, BUTT JOINT GLAZING ON EXTERIOR, SEE A4.9.
- 14 NEW ACCESSIBLE UNISEX FAMILY BATHROOM. INCLUDE BABY CHANGE STATION, SEE INTERIOR ELEVATIONS.
- 15 NEW WATER FOUNTAIN, SEE PLUMBING DWG'S.
- 16 FENCED IN POOL PATIO AREA W/ GATES, SEE ELEVATIONS.
- 17 NEW POOL & GYM SERVICE ADDITION. NEW TRENCH FOOTINGS AND SLAB-ON GRADE, LT GAGE METAL WALLS, SEE STRUCT. DWG'S & WALL SECTIONS.
- 18 NEW LOADBEARING MASONRY INFILL, SEE STRUCTURAL DWG'S
- 19 NEW MECHANICAL SHAFT LOCATION.
- 20 NEW CONCRETE EGRESS STEPS W/ GUARDRAIL.
- 21 GLASS BLOCK WINDOW
- 22 NEW STAIRS, PREFIN MTL HANDRAIL.
- 23 NEW ALUMINUM & GLASS WINDOW SYSTEM.
- 24 NEW FLOOR INFILL AT REMOVED STAIRS, SEE STRUCTURAL DWG'S.

**GROUND FLOOR**

SCALE: 1/8" = 1' - 0"







**GENERAL NOTES:**

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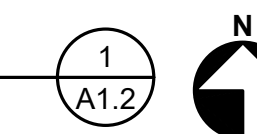
**SYMBOL LEGEND:**

- CODED NOTE, SEE CODED NOTE LEGEND THIS SHEET.
- DOOR TAG, SEE DOOR SCHEDULE.
- DOOR TAG, SEE DOOR SCHEDULE.
- EXISTING WALL TO REMAIN.
- NEW METAL STUD & GYP. BOARD WALL.
- NEW MASONRY WALL.

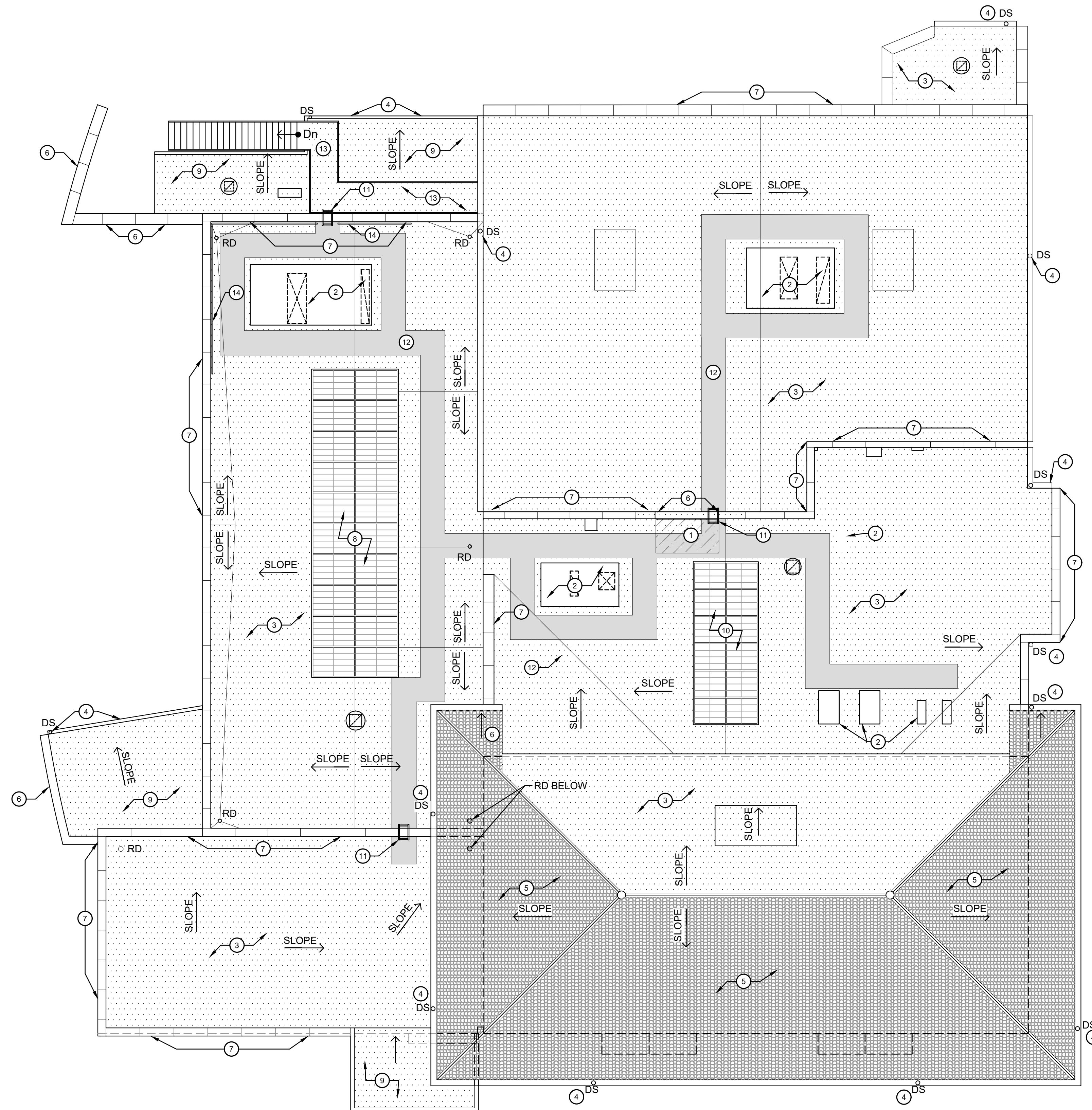
**CODED NOTE LEGEND:**

- NEW METAL GUARDRAIL SYSTEM AT MEZZANINE
- NEW EGRESS STAIRS, W/ GUARDRAIL, HANDRAIL.
- MEMBRANE ROOF ON ADDITION BELOW.
- ROOF ACCESS LADDER, SEE DETAILS
- NEW WINDOWS AT EXISTING OPENINGS, SEE ELEVATIONS.
- INFILL EXISTING MASONRY OPENING.
- NEW STEPS DOWN, PROVIDE HANDRAILS, GUARDS.
- NOT USED.
- NEW HM. DOOR AND FRAME.

**MEZZANINE**  
SCALE: 1/8" = 1' - 0"







**GENERAL NOTES:**

1. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AS THEY APPLY TO THE ACCEPTABLE COMPLETION OF THE WORK.
2. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS
3. FURNITURE SHOWN FOR REFERENCE ONLY, FURNITURE BY OWNER.

**SYMBOL LEGEND:**

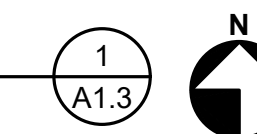
- CODED NOTE, SEE CODED NOTE LEGEND THIS SHEET.
- DOOR TAG, SEE DOOR SCHEDULE.
- DOOR TAG, SEE DOOR SCHEDULE.
- EXISTING WALL TO REMAIN.
- NEW METAL STUD & GYP. BOARD WALL.
- NEW MASONRY WALL.

**CODED NOTE LEGEND:**

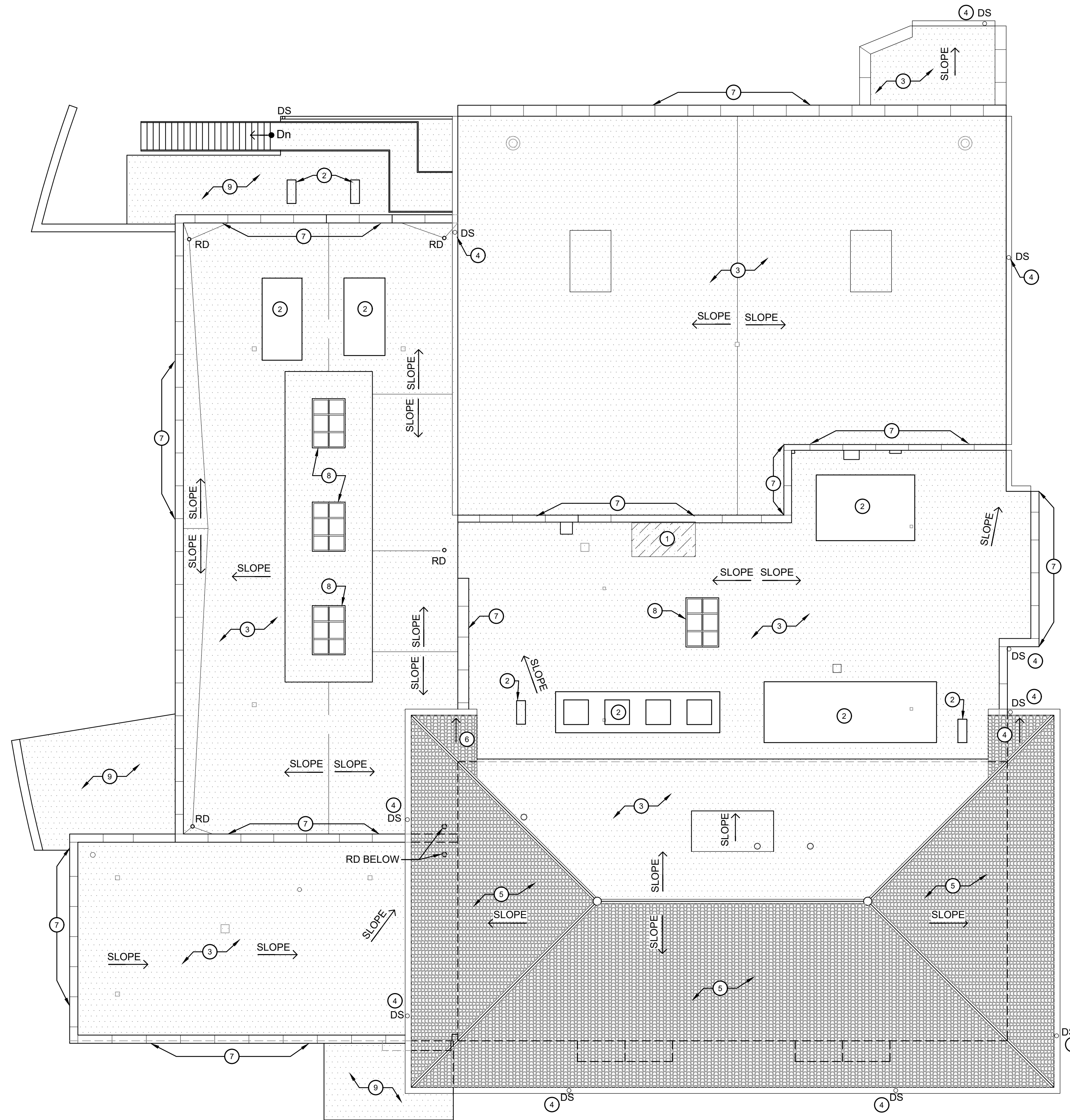
- 1 REMOVE EXISTING MASONRY FLUE ENTIRELY, FROM BELOW NEW FLOOR LEVEL UP THROUGH ROOF, INFILL ROOF STRUCTURE.
- 2 NEW MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS. PROVIDE NEW STRUCTURAL STEEL SUPPORT/ROOF REINFORCEMENT.
- 3 ALL EXISTING FLAT ROOF AREAS TO BE STRIPPED DOWN TO DECK, PREPPED FOR ROOF SYSTEM REPLACEMENT. REPLACE DRAINS, INTERIOR STORMS, TIE TO EXISTING.
- 4 NEW DOWNSPOUTS AND GUTTERS
- 5 EXISTING TERRA COTTA ROOF TILE TO BE REPLACED. EXISTING DECORATIVE ELEMENTS AT PEAK TO BE REPLICATED & REPLACED IN KIND.
- 6 NEW PRECAST COPING.
- 7 RE-SEAL EXISTING COPING JOINTS, TYPICAL.
- 8 REPLACE EXISTING SKYLIGHT W/ NEW KALWALL SKYLIGHT SYSTEM.
- 9 NEW MEMBRANE ROOF SYSTEM OVER ADDITION.
- 10 NEW KALWALL UNIT SKYLIGHT
- 11 NEW GALV. ROOF ACCESS LADDER ATTACH TO MASONRY, SEE A5 DETAILS
- 12 NEW MAINTENANCE WALKWAY PAD.
- 13 NON-PENETRATING ROOFTOP WALKWAY SUPPORT SYSTEM W/ HANDRAILS, B.O.D. METALS INC. MULTI-DIRECTIONAL WALKWAY SYSTEM, SEE 5/A5.5
- 14 NEW ANODIZED ALUMINUM SAFETY GUARDRAIL, SECURE TO PARAPET.

**ROOF PLAN**

SCALE: 1/8" = 1' - 0"





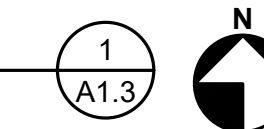


**CODED NOTE LEGEND:** ④

- ① REMOVE EXISTING MASONRY FLUE ENTIRELY, FROM BELOW NEW FLOOR LEVEL UP THROUGH ROOF, INFILL ROOF STRUCTURE.
- ② NEW MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS. PROVIDE NEW STRUCTURAL STEEL SUPPORT/ROOF REINFORCEMENT.
- ③ ALL EXISTING FLAT ROOF AREAS TO BE STRIPPED DOWN TO DECK, PREPPED FOR ROOF SYSTEM REPLACEMENT. REPLACE DRAINS, INTERIOR STORMS, TIE TO EXISTING.
- ④ DOWNSPOUTS AND GUTTERS TO BE REPLACED WITH NEW.
- ⑤ EXISTING TERRA COTTA ROOF TILE TO BE REPLACED. EXISTING DECORATIVE ELEMENTS AT PEAK TO BE REPLICATED & REPLACED IN KIND.
- ⑥ NEW UNIT SKYLIGHT SYSTEM.
- ⑦ RE-SEAL EXISTING COPING JOINTS, TYPICAL.
- ⑧ REPLACE EXISTING SKYLIGHT W/ NEW TRANSLUCENT PANEL SKYLIGHT SYSTEM.
- ⑨ NEW MEMBRANE ROOF SYSTEM OVER ADDITION.

**ROOF PLAN**

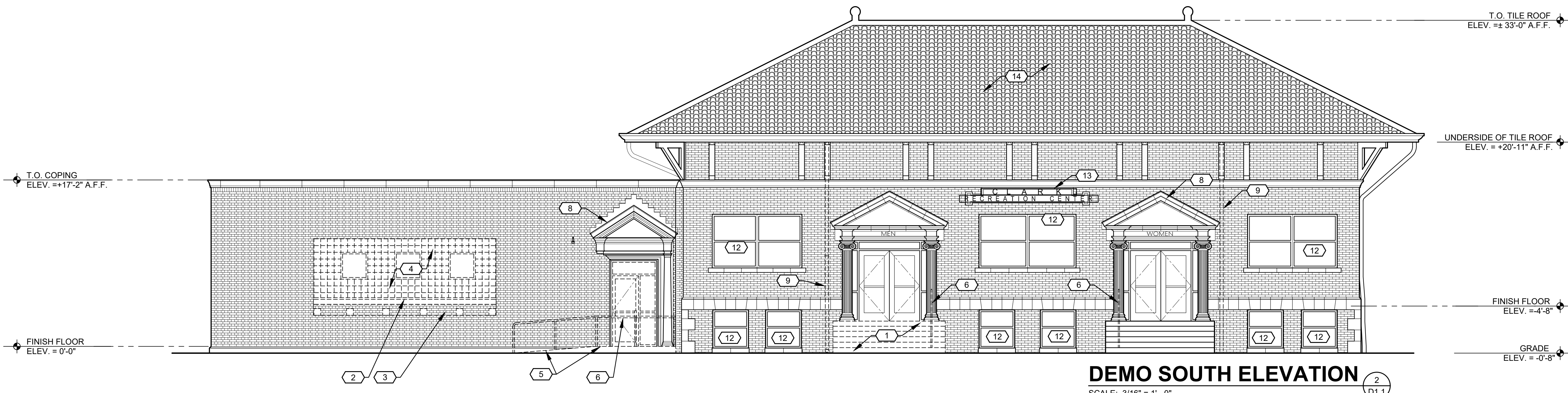
SCALE: 1/8" = 1'-0"



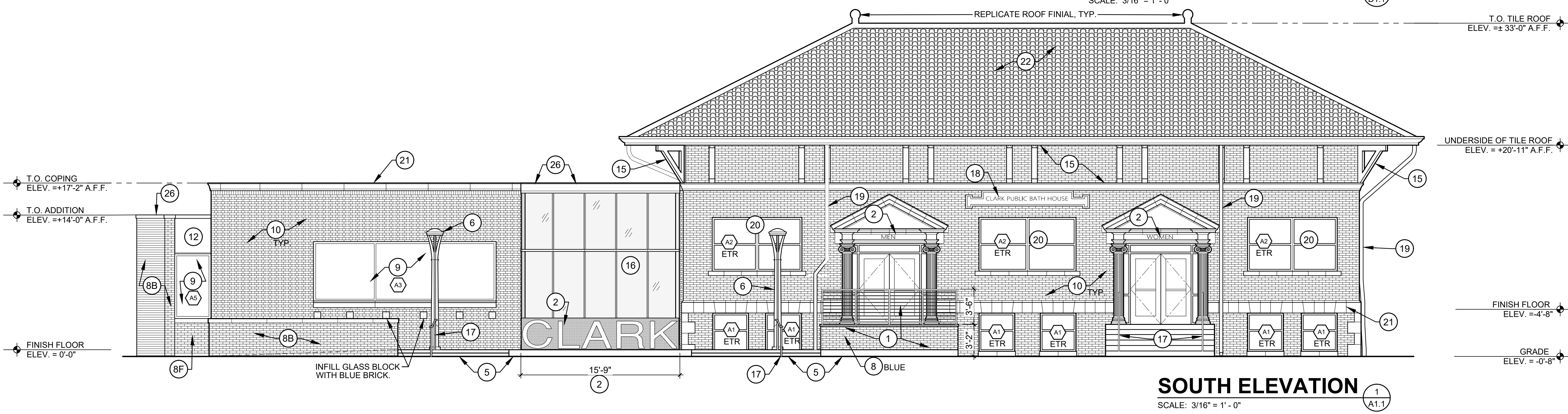




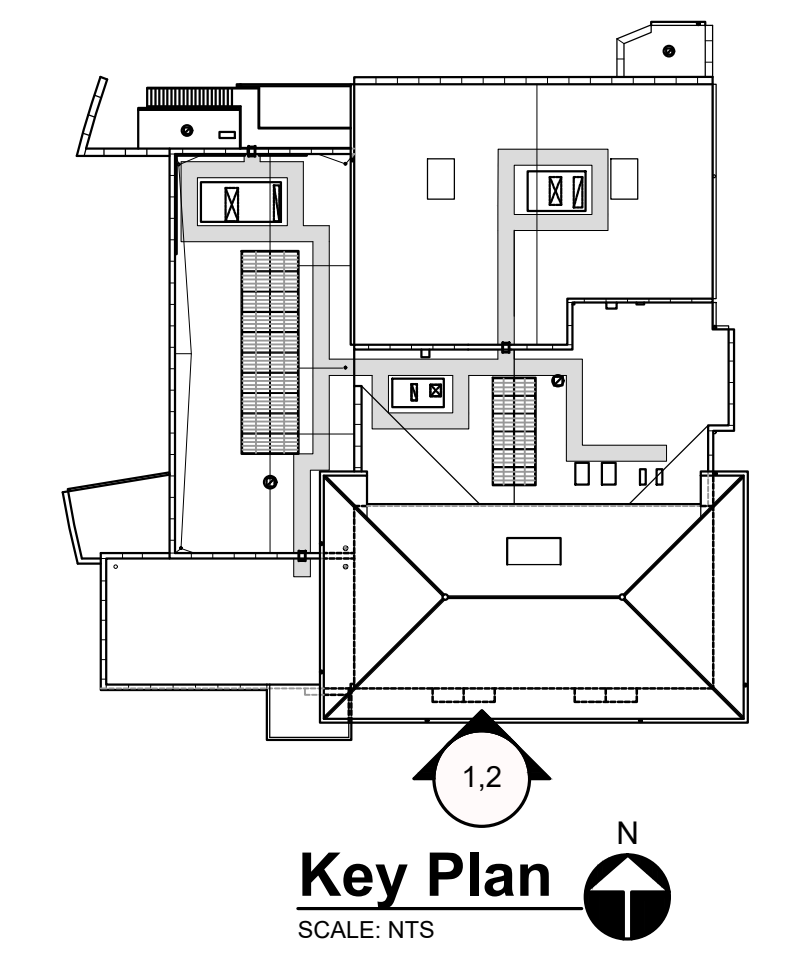




**DEMO SOUTH ELEVATION**  
SCALE: 3/16" = 1' - 0"



**SOUTH ELEVATION**  
SCALE: 3/16" = 1' - 0"



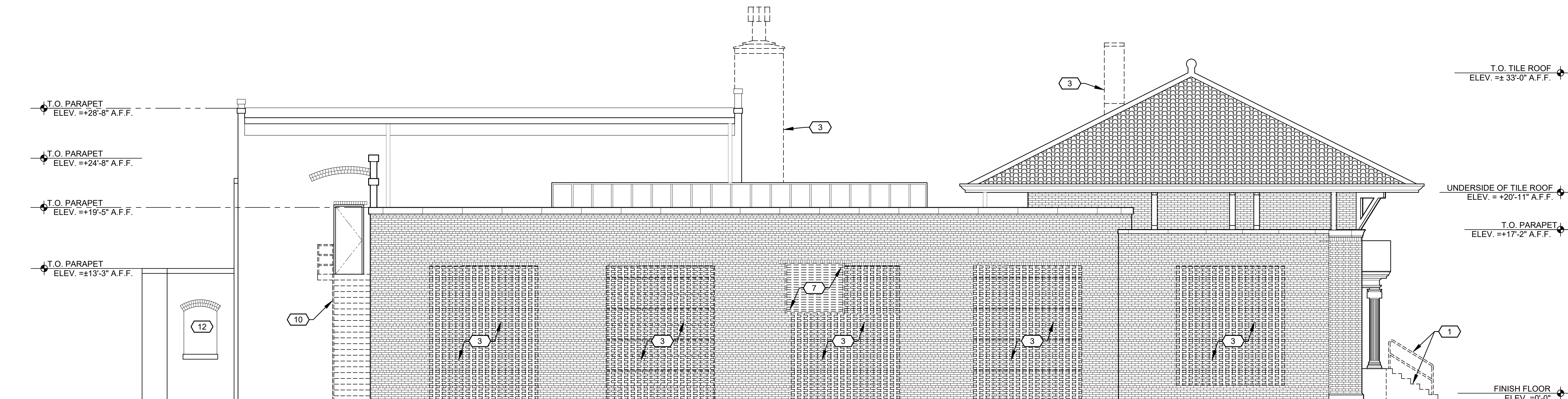
**ELEVATION NOTES:**

| ITEM: | DESCRIPTION:                                         | SPECIFICATION:                                                                                                                              | ITEM: | DESCRIPTION:                                     | SPECIFICATION:                                                                                                                | ITEM: | DESCRIPTION:                                                                                  | SPECIFICATION:                                                                                                                     | ITEM: | DESCRIPTION:                              | SPECIFICATION:                                                                                                                                                                                                                                                                                                                                                                                                                   |
|-------|------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|-------|--------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|-------|-----------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|-------|-------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1     | NEW BRICK PATIO WALL WITH METAL FENCE GUARD RAILING. | SEE AS1 PLANS AND DETAILS.                                                                                                                  | 8B    | BRICK VENEER - BLUE                              | 4" NOMINAL BRICK VENEER. COLORS: BLUE: GLEN-GERY "BERMUDA BLUE". BUFF: BELDEN BUFF OR SIMILAR APPROVED.                       | 14    | TRANSLUCENT SKYLIGHT SYSTEM.                                                                  | CURB-MOUNTED KALWALL SELF-SUPPORTING RIDGE ROOF WITH GABLE ENDS SKYLIGHT SYSTEM. 2-3/4" THICK PANELS. SEE ROOF PLAN FOR CURB SIZE. | 21    | EXISTING STONE COPING                     | STONE TREATMENT: TUCKPOINT. REPLACE ALL SKYWARD FACING JOINTS WITH COLOR MATCHING SEALANT.                                                                                                                                                                                                                                                                                                                                       |
| 2     | MONUMENT SIGN.                                       | "CLARK": 2'-10" HIGH CUSTOM LETTERS. SEE SHEET AS2.1.<br>"FOR PLAY" "TO SERVE": 6" HIGH CUSTOM LETTERS SET ON PERF. METAL SCREEN. SEE SPEC. | 8F    | BRICK VENEER - BUFF                              |                                                                                                                               | 15    | PROVIDE NEW BIRD CONTROL SYSTEM UNDER EAVE.                                                   | SEE DETAIL ON SHEET 5/A5.1. PAINT EXISTING WOOD BRACKETS, EAVES & SOFFIT.                                                          | 22    | NEW ROOF TILES TO MATCH HISTORIC PROFILE. | BASIS-OF-DESIGN PRODUCT: BRAVA ROOF TILE. SPANISH TILE. HIGH PROFILE SHAPE-SPANISH. 16 1/2" LONG X 13" WIDE. MATTIE, SMOOTH, COLOR TBD.                                                                                                                                                                                                                                                                                          |
| 3     | NEW CURTAIN WALL GLAZED ENTRY VESTIBULE.             | EFCC CURTAIN WALL SYSTEM, ANODIZED FINISH. SEE A4.3 DETAILS.                                                                                | 9     | STOREFRONT WINDOW SYSTEM.                        | EFCC YKK B.O.D. EFCC SERIES "403T" OR YKK "YES46 TJ". COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD PALETTE. | 16    | EXISTING PEDIMENT                                                                             | RESTORE EXISTING WOOD PEDIMENT AND COLUMN W/ NEW WOOD MATERIAL. PAINT.                                                             | 23    | NEW MECHANICAL LOUVER.                    | PROVIDE NEW MECHANICAL LOUVER IN EXISTING MASONRY OPENING. REMOVE EXISTING LOUVER & FRAMING MATERIALS. PROVIDE MASONRY REPAIR FOR CLEAN MASONRY OPENING. PROVIDE NEW ROWLOCK SILL TO RAISE SILL TO MIN. 6" ABOVE ADJACENT GRADE. APPROXIMATE R.O. SIZE: 26" H X 40" W. SEAL PERIMETER. B.O.D. LOUVER: GREENHOCK ED-4401, WITH INSECT SCREEN & BAKED ENAMEL FINISH. PROVIDE PREFINISHED METAL FLASHING PANEL TO FILL ARCHED HEAD. |
| 4     | OVERHEAD DOOR                                        | OVERHEAD DOOR CORP. ALUMINUM OVERHEAD DOOR, MODEL 521. ANODIZED ALUMINUM FINISH. POLYURETHANE FOAM INSULATED RAILS, STAINLESS STEEL TREADS. | 10    | MASONRY TUCK POINTING/BRICK REPLACEMENT REPAIRS. | SEE STRUCTURAL DRAWINGS FOR IDENTIFIED REPAIR LOCATIONS.                                                                      | 17    | NEW METAL HANDRAIL.                                                                           | NEW METAL HANDRAIL. SEE DETAIL 4/A52.1                                                                                             | 24    | EXTERIOR LIGHT FIXTURE                    | SEE ELECTRICAL DRAWINGS.                                                                                                                                                                                                                                                                                                                                                                                                         |
| 5     | CONCRETE STEPS/BENCH.                                | SEE AS SITE DRAWINGS AND DETAILS.                                                                                                           | 11    | NEW METAL EGRESS STAIR WITH HANDRAIL, GUARDRAIL. | SEE DETAIL 1/A1.10.                                                                                                           | 18    | SIGNAGE TREATMENT: REMOVE EXISTING SIGNAGE COVER, ASSESS EXPOSED HISTORIC SIGNAGE FOR REPAIR. | SIGNAGE TREATMENT: REMOVE EXISTING SIGNAGE COVER. ASSESS EXPOSED HISTORIC SIGNAGE FOR REPAIR.                                      | 25    | NEW ROOF ACCESS LADDER                    | GALVANIZED STEEL FINISH, SEE A5.5 DETAILS.                                                                                                                                                                                                                                                                                                                                                                                       |
| 6     | NEW LIGHT POLE.                                      | LANDSCAPE FORMS "ALCOT" LIGHT POST. SEE ELECTRICAL DRAWINGS.                                                                                | 12    | ACM METAL CLADDING PANEL.                        | B.O.D. ALUCOBAND PLUS PANEL COLOR SELECTED FROM MFCG'S STANDARD PALETTE.                                                      | 19    | NEW PREFINISHED METAL DOWNSPOUT.                                                              | COLOR TO BE SELECTED BY ARCHITECT.                                                                                                 | 26    | PREFIN METAL COPING                       | COLOR GRAY SELECTED FROM STANDARD MANUFACTURER'S COLOR PALETTE TO MATCH ADJACENT STONE.                                                                                                                                                                                                                                                                                                                                          |
| 7     | METAL FENCE, GATES.                                  | SEE AS2.2 DETAILS.                                                                                                                          | 13    | NEW TRANSLUCENT WINDOW PANEL.                    | KALWALL 2 1/2" PANEL WINDOW SYSTEM, CUSTOM SHAPE FOR EXISTING MASONRY OPENING.                                                | 20    | EXISTING WINDOW TO REMAIN.                                                                    | EXISTING WINDOW TO REMAIN. PROTECT. CLEAN.                                                                                         |       |                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                  |

**ELEVATION DEMO NOTES**

|   |                                                                                                                  |    |                                                           |
|---|------------------------------------------------------------------------------------------------------------------|----|-----------------------------------------------------------|
| 1 | EXISTING CONCRETE STAIR AND HAND RAIL TO BE REMOVED. PROVIDE TEMPORARY SHORING TO EXISTING COLUMNS AND OVERHANG. | 9  | RECONFIGURE EXISTING DOWNSPOUTS AS REQUIRED FOR NEW WORK. |
| 2 | REMOVE EXISTING PRECAST STONE SILL.                                                                              | 10 | REMOVE EXISTING METAL FIRE ESCAPE.                        |
| 3 | REMOVE PORTION OF EXISTING MASONRY WALL TO EXTENT SHOWN.                                                         | 11 | REMOVE EXISTING WINDOW INFILL.                            |
| 4 | REMOVE GLASS BLOCK WINDOW.                                                                                       | 12 | EXISTING WINDOW TO REMAIN.                                |
| 5 | REMOVE CONCRETE ENTRY RAMP AND LANDING.                                                                          | 13 | REMOVE EXIST SIGNAGE BOARD COVER                          |
| 6 | REMOVE METAL HANDRAIL.                                                                                           | 13 | REMOVE EXISTING ROOF TILE DOWN TO DECK, SEE ROOF PLAN.    |
| 7 | REMOVE FRESH AIR VENT.                                                                                           |    |                                                           |
| 8 | EXISTING PEDIMENT TO REMAIN.                                                                                     |    |                                                           |

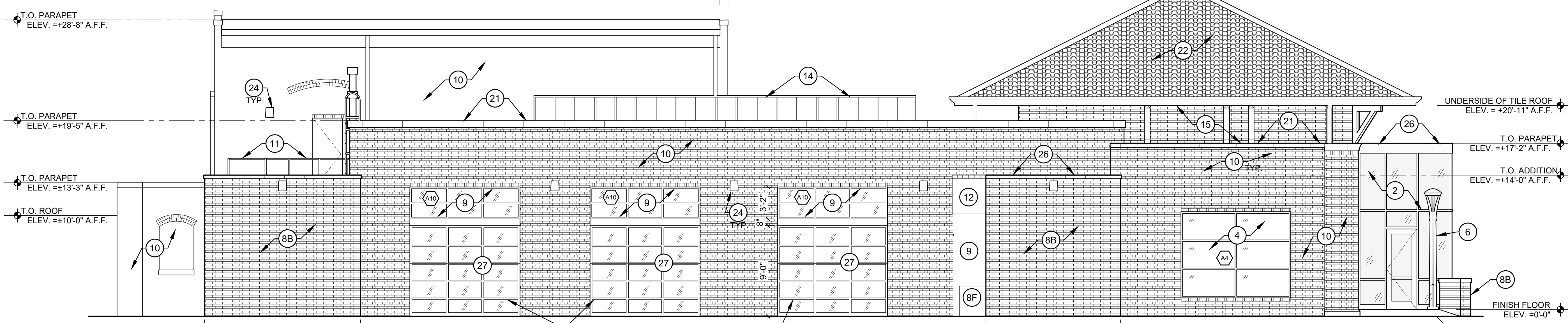




**DEMO WEST ELEVATION**

SCALE: 3/16" = 1' - 0"

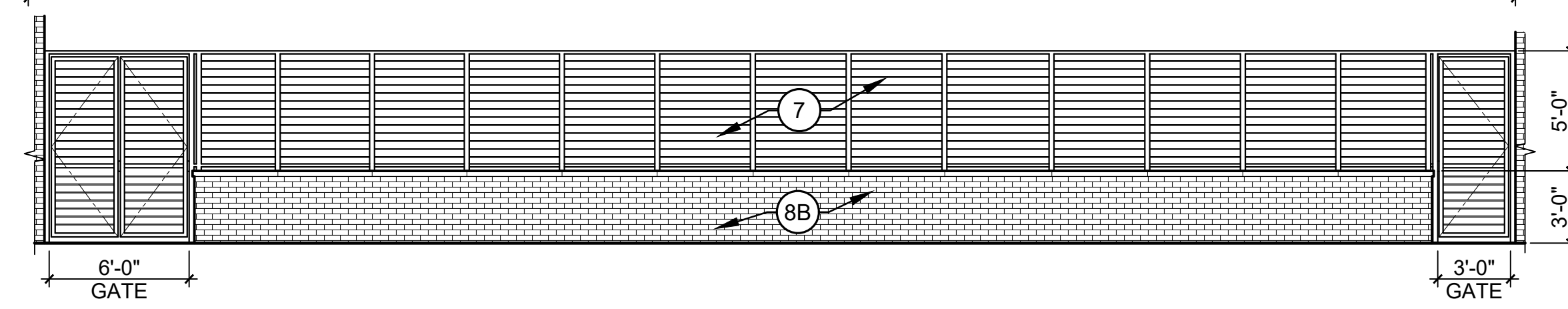
1  
D1.1



**WEST ELEVATION**

SCALE: 3/16" = 1' - 0"

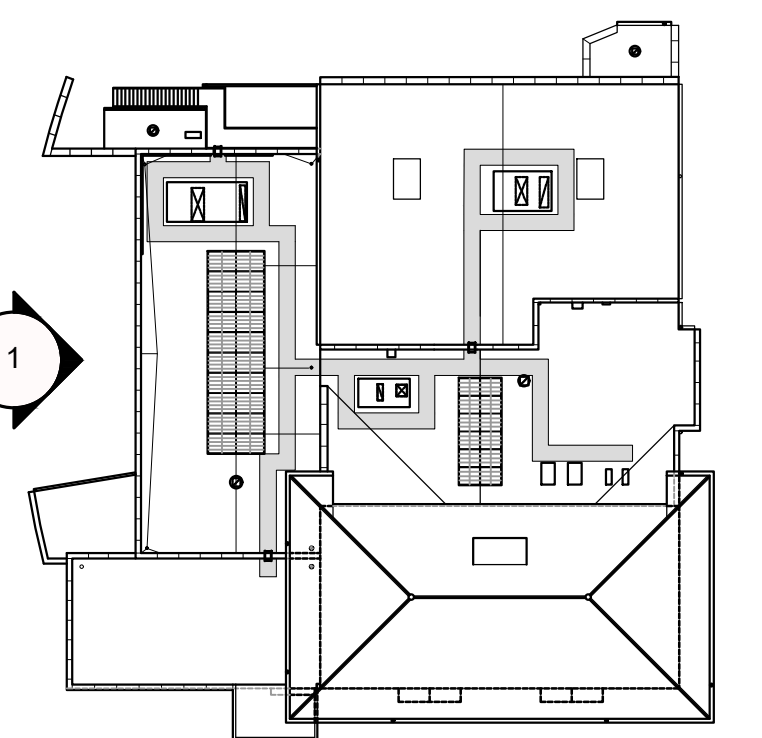
1  
A1.1



**FENCE ELEVATION**

SCALE: 3/16" = 1' - 0"

1  
A1.1



**ELEVATION DEMO NOTES**

|                                                                                                                    |                                                             |
|--------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|
| 1 EXISTING CONCRETE STAIR AND HAND RAIL TO BE REMOVED. PROVIDE TEMPORARY SHORING TO EXISTING COLUMNS AND OVERHANG. | 9 RECONFIGURE EXISTING DOWNSPOUTS AS REQUIRED FOR NEW WORK. |
| 2 REMOVE EXISTING PRECAST STONE SILL.                                                                              | 10 REMOVE EXISTING METAL FIRE ESCAPE.                       |
| 3 REMOVE PORTION OF EXISTING MASONRY WALL TO EXTENT SHOWN.                                                         | 11 REMOVE EXISTING WINDOW INFILL.                           |
| 4 REMOVE GLASS BLOCK WINDOW.                                                                                       | 12 EXISTING WINDOW TO REMAIN.                               |
| 5 REMOVE CONCRETE ENTRY RAMP AND LANDING.                                                                          | 13 REMOVE EXIST SIGNAGE BOARD COVER                         |
| 6 REMOVE METAL HANDRAIL.                                                                                           | 13 REMOVE EXISTING ROOT TILE DOWN TO DECK, SEE ROOF PLAN.   |
| 7 REMOVE FRESH AIR VENT.                                                                                           |                                                             |
| 8 EXISTING PEDIMENT TO REMAIN.                                                                                     |                                                             |





SOUTH ELEVATION



WEST ELEVATION



Metal copings  
Pac Clad Stone White



Precast Copings



Anodized Aluminum Storefront



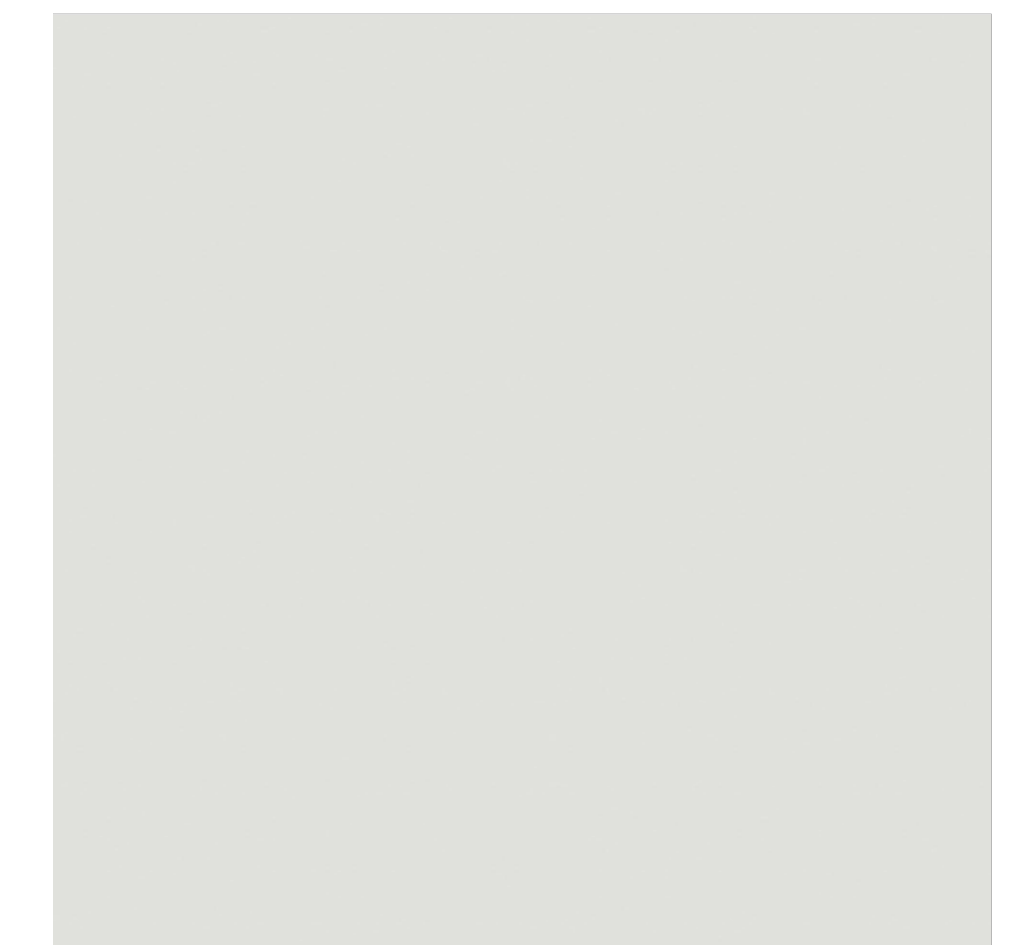
Replacement Roof Tiles  
Brava Spanish Tiles



Buff Brick  
Belden Buff



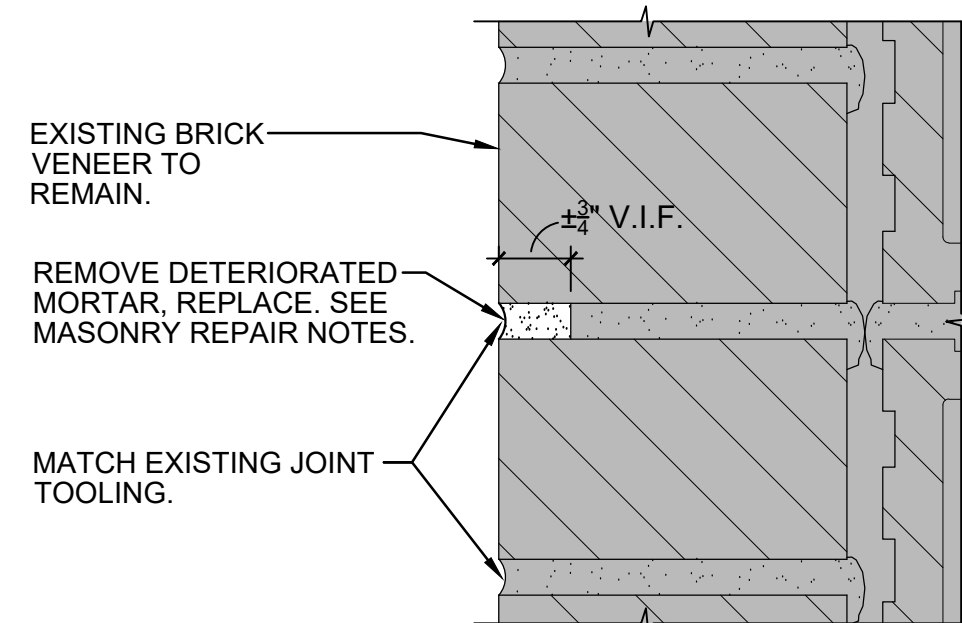
Blue Brick  
Glen-Gery Bermuda Blue



ACM Metal Panel  
Alucobond Stone White



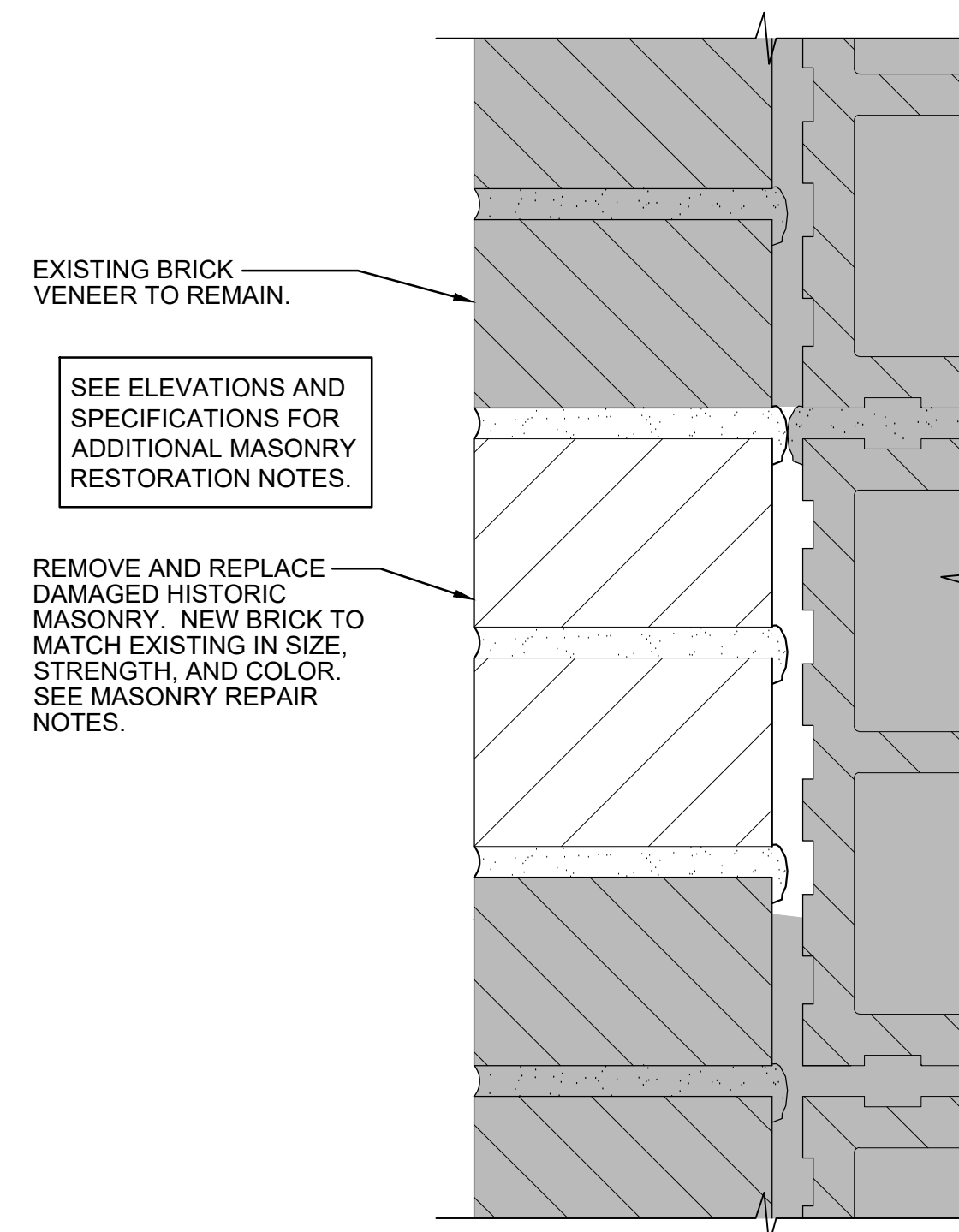
- MASONRY REPAIR NOTES:**
1. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS.
  2. SEE ELEVATIONS AND SPECIFICATIONS FOR ADDITIONAL MASONRY RESTORATION NOTES.
  3. EXTERIOR BRICK WALLS TO BE 100% CLEANED WITH LOW-PRESSURE WATER WASHING OF LESS THAN 300 PSI.
  4. REPAIR AND REPLACEMENT OF MASONRY WILL BE LIMITED TO THE AREAS NOTED ON THE DRAWINGS AND SPECIFICATIONS AND CONSISTS OF APPROXIMATELY 2% BRICK REPLACEMENT AND APPROXIMATELY 10% REPOINTED MASONRY OVERALL.
  5. REPLACEMENT BRICK WILL MATCH THE EXISTING BRICK IN COLOR, COMPRESSIVE STRENGTH, SIZE, AND TEXTURE.
  6. MASONRY CLEANING AND REPAIRS WILL BE DONE IN SUCH A MANNER AS TO NOT DAMAGE ADJACENT MASONRY OR MORTAR THAT IS SOUND AND TO MATCH THE APPEARANCE OF ADJACENT HISTORIC MATERIALS. THE EXISTING PAINTED MASONRY WILL REMAIN AS EXISTING.
  7. MORTAR THAT IS MISSING, DAMAGED, OR CRUMBLING WILL BE REMOVED TO A DEPTH OF THREE-QUARTERS OF AN INCH OR UNTIL SOUND MORTAR IS LOCATED. LOOSE MATERIAL AND DUST WILL BE REMOVED BY HAND BRUSH AND THE JOINT WILL BE REPOINTED WITH CEMENT-LIME MORTAR TO MATCH EXISTING COLOR, COMPRESSIVE STRENGTH, POROSITY, TEXTURE, AND TOOLING.
  8. CLOSE-UP PHOTOS OF TEST AREAS WILL BE SUBMITTED TO THE OHPO FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
  9. GOOD QUALITY OVERALL AND CLOSE-UP COLOR PHOTOGRAPHS OF THE MASONRY BEFORE AND AFTER REPOINTING, CLEANING, AND REPLACEMENT WILL BE SUBMITTED WITH THE PART 3 APPLICATION.



**TUCK POINT DETAIL**

SCALE: 6" = 1"

2  
A3.0



**BRICK REPLACEMENT DETAIL**

SCALE: 6" = 1'-0"

1  
A3.0

**ELEVATION NOTES:**

| ITEM: | DESCRIPTION:                                                                                  | SPECIFICATION:                                                                                                                                                                                                                                                                                                                                                                                                                  |
|-------|-----------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ①     | NEW BRICK PATIO WALL WITH METAL FENCE GUARD RAILING.                                          | SEE AS1 PLANS AND DETAILS.                                                                                                                                                                                                                                                                                                                                                                                                      |
| ②     | MONUMENT SIGN.                                                                                | "CLARK": 2'-10" HIGH CUSTOM LETTERS. SEE SHEET AS2.1.<br>"FOR PLAY" "TO SERVE": 5' HIGH CUSTOM LETTERS SET ON PERF. METAL SCREEN, SEE SPEC.                                                                                                                                                                                                                                                                                     |
| ③     | NEW CURTAIN WALL GLAZED ENTRY VESTIBULE.                                                      | EFCO CURTAIN WALL SYSTEM, ANODIZED FINISH. SEE A4.9 DETAILS.                                                                                                                                                                                                                                                                                                                                                                    |
| ④     | OVERHEAD DOOR                                                                                 | OVERHEAD DOOR CORP. ALUMINUM OVERHEAD DOOR. MODEL 521. ANODIZED ALUMINUM FINISH. POLYURETHANE FOAM INSULATED RAILS, STAINLESS STEEL TREADS.                                                                                                                                                                                                                                                                                     |
| ⑤     | CONCRETE STEPS/BENCH.                                                                         | SEE AS SITE DRAWINGS AND DETAILS.                                                                                                                                                                                                                                                                                                                                                                                               |
| ⑥     | NEW LIGHT POLE.                                                                               | LANDSCAPE FORMS "ALCOT" LIGHT POST, SEE ELECTRICAL DRAWINGS.                                                                                                                                                                                                                                                                                                                                                                    |
| ⑦     | METAL FENCE, GATES.                                                                           | SEE AS2.2 DETAILS.                                                                                                                                                                                                                                                                                                                                                                                                              |
| ⑧B    | BRICK VENEER - BLUE                                                                           | 4" NOMINAL BRICK VENEER. COLORS: BLUE: GLEN-GERY "BERMUDA BLUE". BUFF: BELDEN BUFF OR SIMILAR APPROVED.                                                                                                                                                                                                                                                                                                                         |
| ⑧F    | BRICK VENEER - BUFF                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| ⑨     | STOREFRONT WINDOW SYSTEM.                                                                     | EFCO YKK B.O.D. " EFCO SERIES "403T" OR YKK "YES45 TL". COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD PALETTE.                                                                                                                                                                                                                                                                                                 |
| ⑩     | MASONRY TUCK POINTING/BRICK REPLACEMENT REPAIRS.                                              | SEE STRUCTURAL DRAWINGS FOR IDENTIFIED REPAIR LOCATIONS.                                                                                                                                                                                                                                                                                                                                                                        |
| ⑪     | NEW METAL EGRESS STAIR WITH HANDRAIL, GUARDRAIL.                                              | SEE DETAIL 1/A1.10.                                                                                                                                                                                                                                                                                                                                                                                                             |
| ⑫     | ACM METAL CLADDING PANEL.                                                                     | B.O.D. ALUCOBAND PLUS PANEL COLOR SELECTED FROM MFCG'S STANDARD PALETTE.                                                                                                                                                                                                                                                                                                                                                        |
| ⑬     | NEW TRANSLUCENT WINDOW PANEL.                                                                 | KALWALL 2 <sup>3</sup> / <sub>8</sub> " PANEL WINDOW SYSTEM. CUSTOM SHAPE FOR EXISTING MASONRY OPENING.                                                                                                                                                                                                                                                                                                                         |
| ⑭     | TRANSLUCENT SKYLIGHT SYSTEM.                                                                  | CURB-MOUNTED KALWALL SELF-SUPPORTING RIDGE ROOF WITH GABLE ENDS SKYLIGHT SYSTEM. 2-3/4" THICK PANELS, SEE ROOF PLAN FOR CURB SIZE.                                                                                                                                                                                                                                                                                              |
| ⑮     | PROVIDE NEW BIRD CONTROL SYSTEM UNDER EAVE.                                                   | SEE DETAIL ON SHEET 5/A5.1. PAINT EXISTING WOOD BRACKETS, EAVES & SOFFIT.                                                                                                                                                                                                                                                                                                                                                       |
| ⑯     | EXISTING PEDIMENT                                                                             | RESTORE EXISTING WOOD PEDIMENT AND COLUMN W/ NEW WOOD MATERIAL, PAINT.                                                                                                                                                                                                                                                                                                                                                          |
| ⑰     | NEW METAL HANDRAIL.                                                                           | NEW METAL HANDRAIL, SEE DETAIL 4/A52.1                                                                                                                                                                                                                                                                                                                                                                                          |
| ⑱     | SIGNAGE TREATMENT: REMOVE EXISTING SIGNAGE COVER, ASSESS EXPOSED HISTORIC SIGNAGE FOR REPAIR. | SIGNAGE TREATMENT: REMOVE EXISTING SIGNAGE COVER, ASSESS EXPOSED HISTORIC SIGNAGE FOR REPAIR.                                                                                                                                                                                                                                                                                                                                   |
| ⑲     | NEW PREFINISHED METAL DOWNSPOUT.                                                              | COLOR TO BE SELECTED BY ARCHITECT.                                                                                                                                                                                                                                                                                                                                                                                              |
| ⑳     | EXISTING WINDOW TO REMAIN.                                                                    | EXISTING WINDOW TO REMAIN. PROTECT, CLEAN.                                                                                                                                                                                                                                                                                                                                                                                      |
| ㉑     | EXISTING STONE COPING                                                                         | STONE TREATMENT: TUCKPOINT, REPLACE ALL SKYWARD FACING JOINTS WITH COLOR MATCHING SEALANT.                                                                                                                                                                                                                                                                                                                                      |
| ㉒     | NEW ROOF TILES TO MATCH HISTORIC PROFILE.                                                     | BASIS-OF-DESIGN PRODUCT: BRAVA ROOF TILE, SPANISH TILE. HIGH PROFILE SHAPE-SPANISH, 16 1/2" LONG X 13" WIDE, MATTE, SMOOTH, COLOR TBD                                                                                                                                                                                                                                                                                           |
| ㉓     | NEW MECHANICAL LOUVER.                                                                        | PROVIDE NEW MECHANICAL LOUVER IN EXISTING MASONRY OPENING. REMOVE EXISTING LOUVER & FRAMING MATERIALS. PROVIDE MASONRY REPAIR FOR CLEAN MASONRY OPENING. PROVIDE NEW ROWLOCK SILL TO RAISE SILL TO MIN 6" ABOVE ADJACENT GRADE. APPROXIMATE R.O. SIZE: 26" H x 40" W. SEAL PERIMETER. B.O.D. LOUVER: GREENHECK EDJ-401, WITH INSECT SCREEN & BAKED ENAMEL FINISH. PROVIDE PREFINISHED METAL FLASHING PANEL TO FILL ARCHED HEAD. |
| ㉔     | EXTERIOR LIGHT FIXTURE                                                                        | SEE ELECTRICAL DRAWINGS.                                                                                                                                                                                                                                                                                                                                                                                                        |
| ㉕     | NEW ROOF ACCESS LADDER                                                                        | GALVANIZED STEEL FINISH, SEE A5.5 DETAILS.                                                                                                                                                                                                                                                                                                                                                                                      |
| ㉖     | PREFIN METAL COPING                                                                           | COLOR GRAY SELECTED FROM STANDARD MANUFACTURER'S COLOR PALETTE TO MATCH ADJACENT STONE.                                                                                                                                                                                                                                                                                                                                         |

City of Cleveland  
Mayor's Office of Capital Projects  
**Division of Architecture  
and Site Development**  
Cleveland City Hall, 601 Lakeside Avenue, Room 517A  
Cleveland, OH 44114-1015  
Phone : (216) 664-2374 Fax: (216) 664-4220

City Architecture  
3200 Euclid Avenue  
Cleveland, Ohio 44115  
phone: 216.881.2444  
www.cityarch.com

PROJECT NAME:

**THE CITY OF CLEVELAND  
CLARK RECREATION CENTER  
IMPROVEMENTS**  
5706 CLARK AVENUE  
CLEVELAND, OHIO 44102

| ISSUED / REVISED | NO.      | DATE | DESCRIPTION              |
|------------------|----------|------|--------------------------|
|                  | 07/10/20 |      | SCHEMATIC DESIGN REVISED |
|                  | 02/05/21 |      | DESIGN DEVELOPMENT PKG.  |
|                  | 04/20/21 |      | 30% CD                   |
|                  | 05/25/21 |      | 60% CD                   |
|                  | 07/09/21 |      | 90% CD                   |
|                  | 08/10/21 |      | 100% BID/PERMIT          |

TITLE:  
**EXTERIOR  
ELEVATIONS**

DESIGNED BY: PST DATE:  
CHECKED BY: GRF DATE:  
PROJECT NUMBER: 20011  
SCALE: 3/16" = 1' - 0"  
SHEET NO:

**A3.0**





CLARK AVENUE VIEW FROM EAST





CLARK AVENUE VIEW FROM SOUTH





POOL PATIO VIEW (looking South)





VIEW from Southwest



# Downtown | Flats Design Review Case

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September 3, 2021

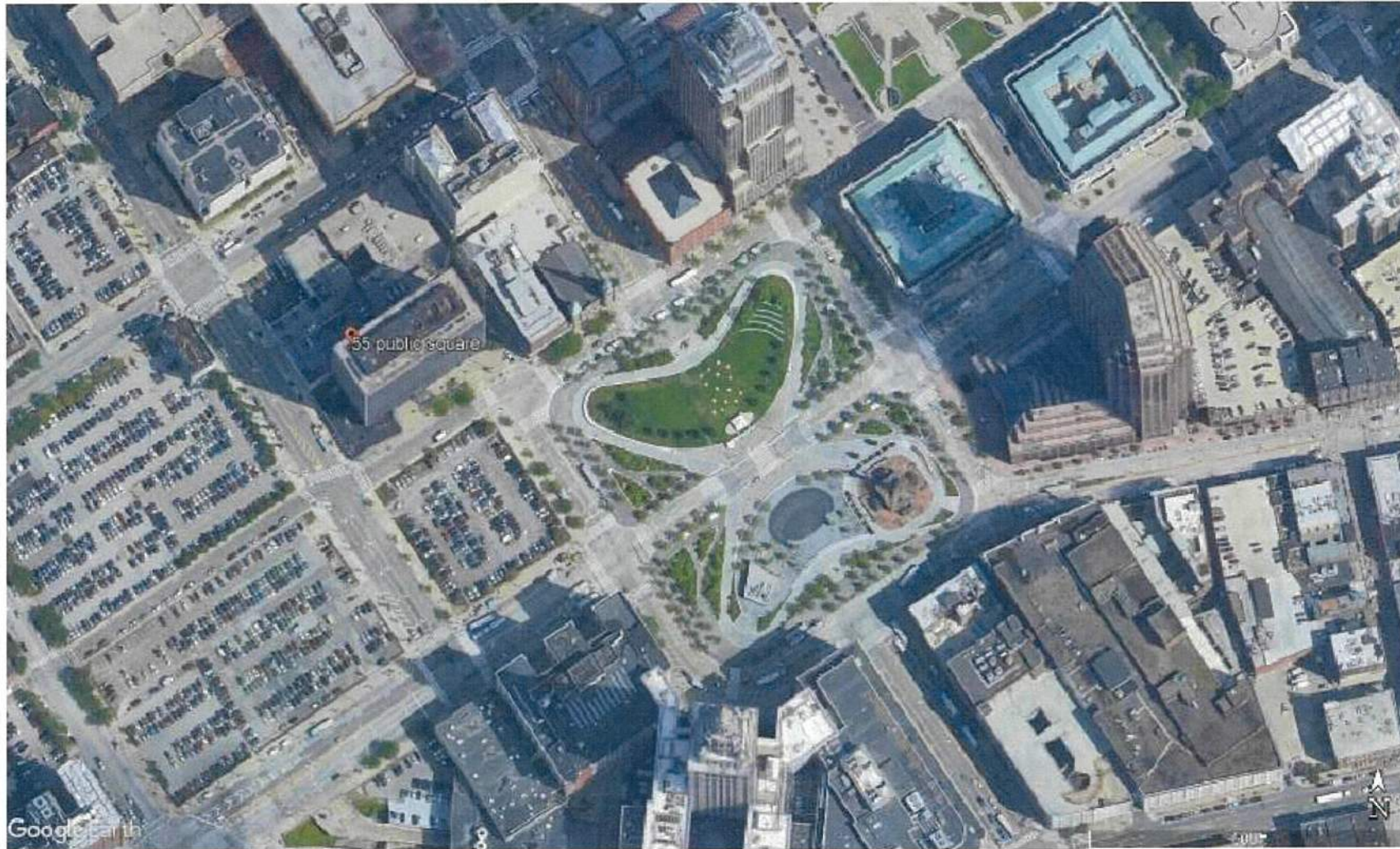
DF2021-xxx – 55 Public Square Plaza and West 3<sup>rd</sup> Street Streetscape:  
Seeking Final Approval

**Project Address: 55 Public Square**

Project Representative: Craig Brown, HWH



# City of Cleveland Planning Commission



55 Public Square  
The K&D Group  
Friday, September 3, 2021

## Agenda

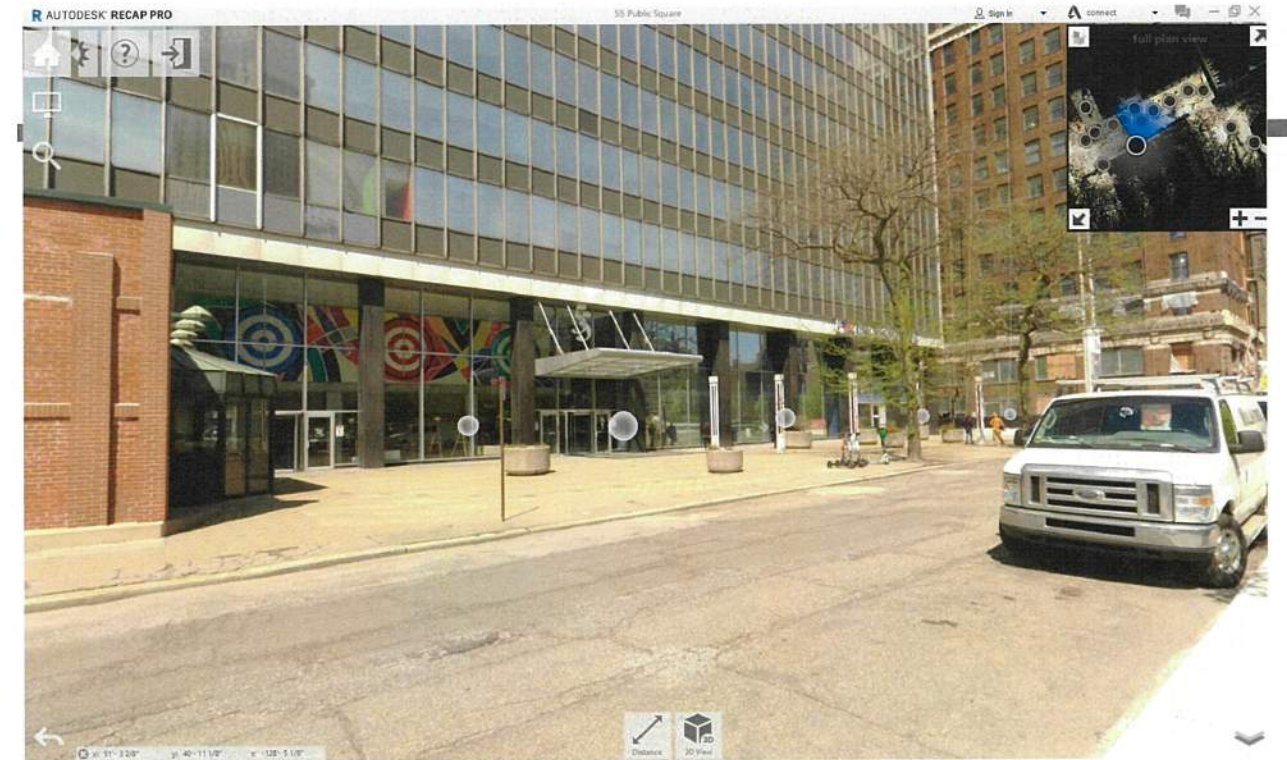
- District Map
- Existing Conditions
- Concept
- Demolition
- Site Plan
- Sustainable Planters
- Landscaping
- Paver Design
- Lighting
- Restaurant Details
- 3D Renderings





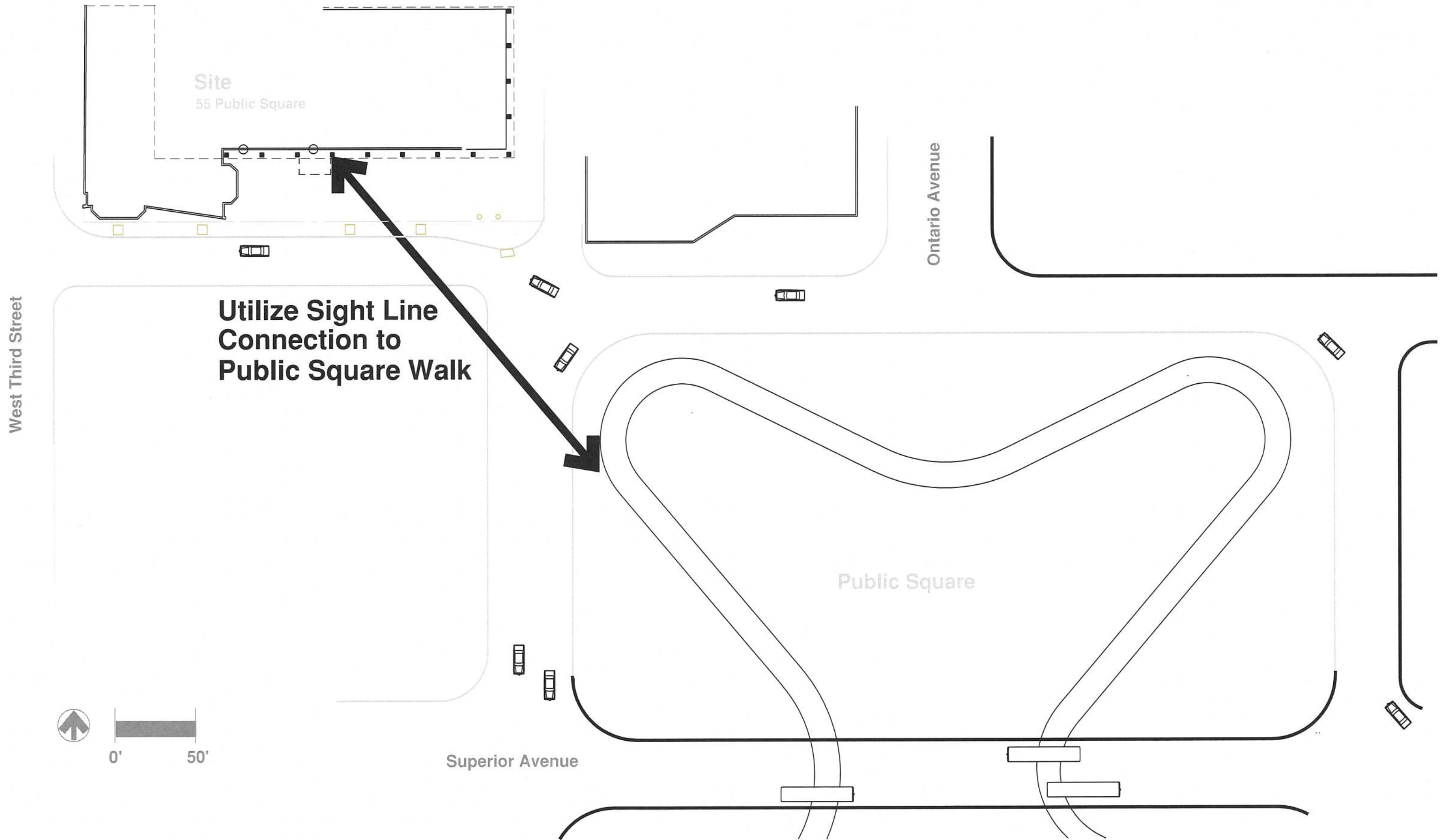
## 2. District Level Location Map





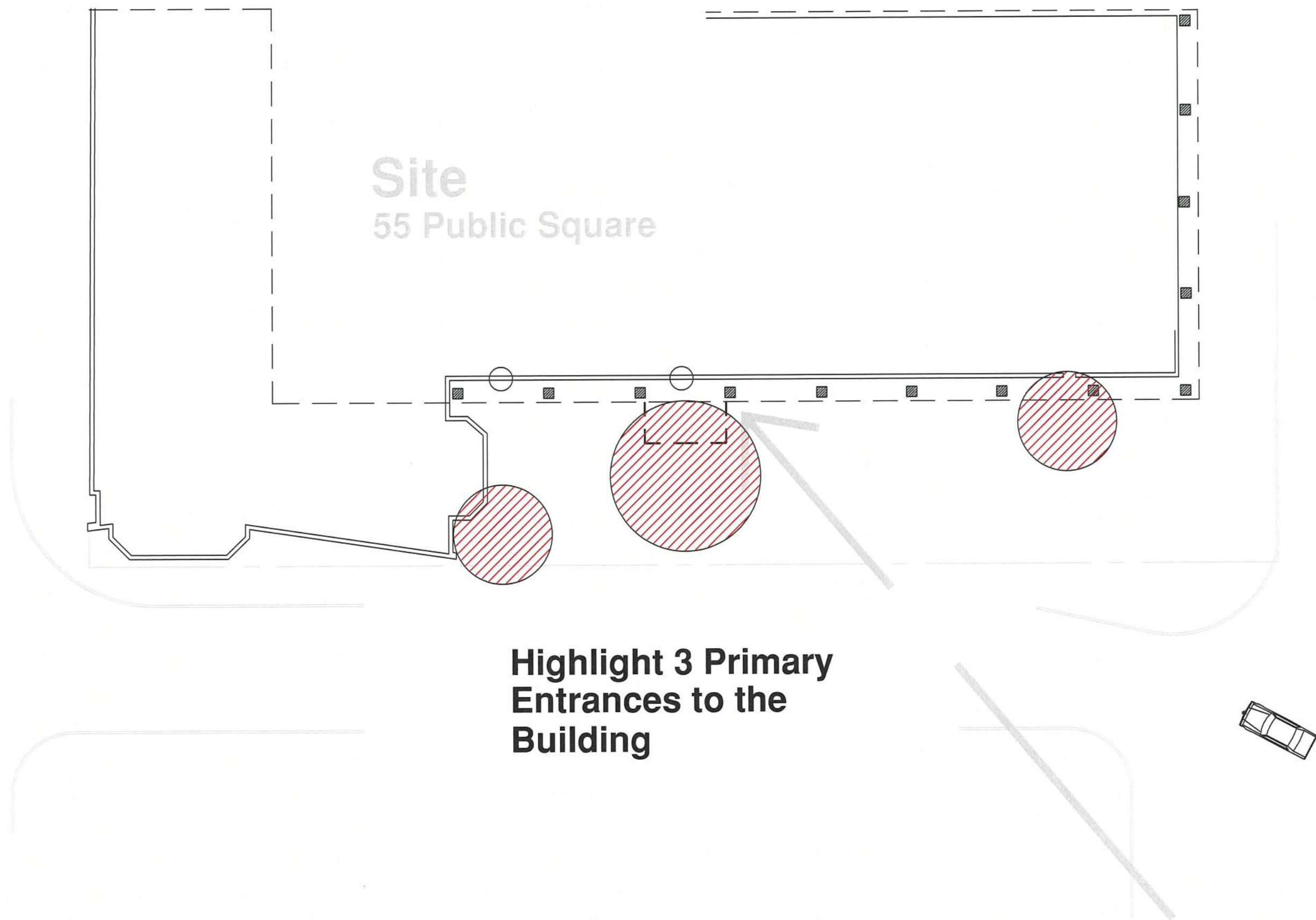
### 3. 55 Public Square Plaza - Existing Conditions





# 4. 55 Public Square Plaza - Concept



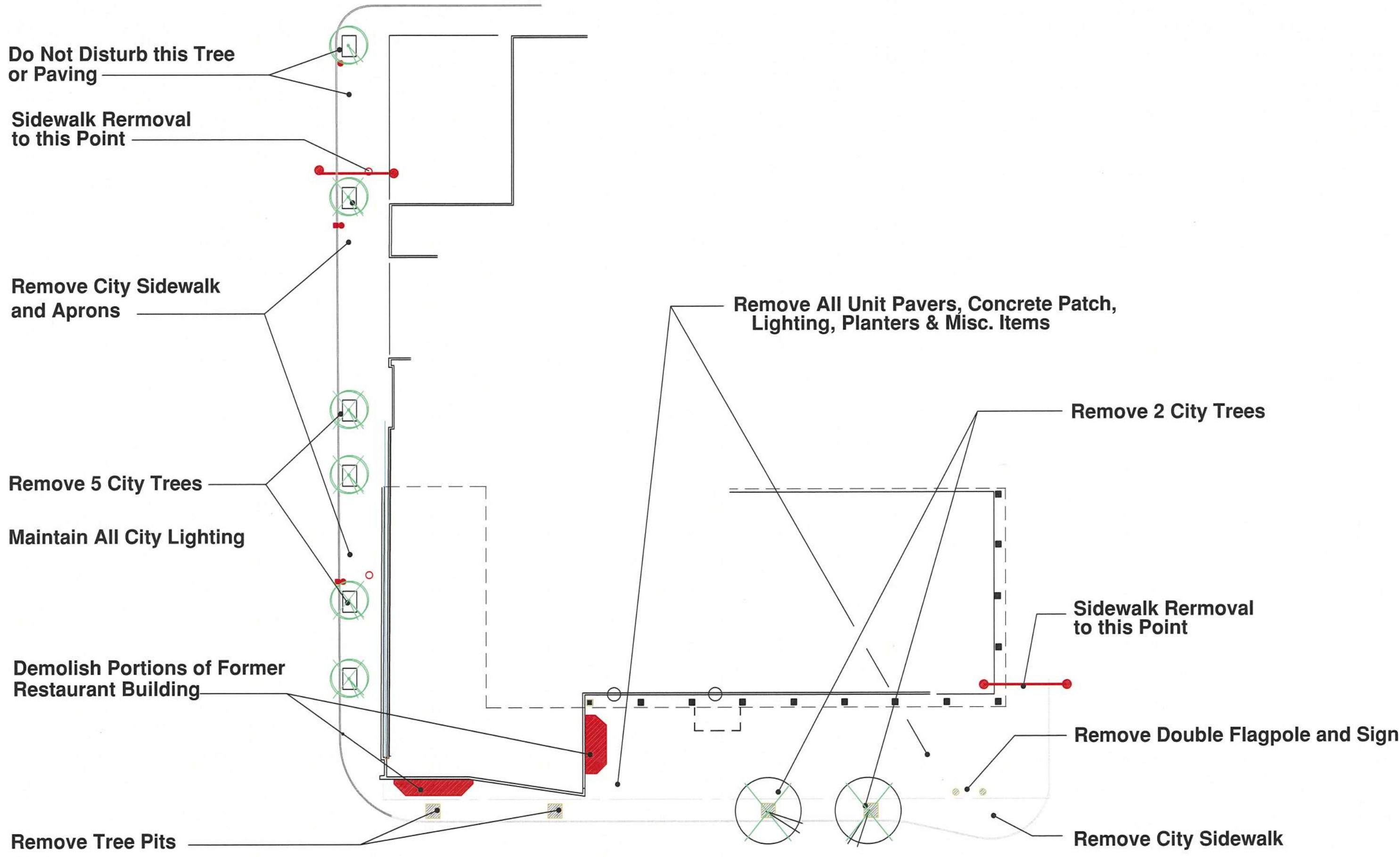


Site  
55 Public Square

**Highlight 3 Primary  
Entrances to the  
Building**

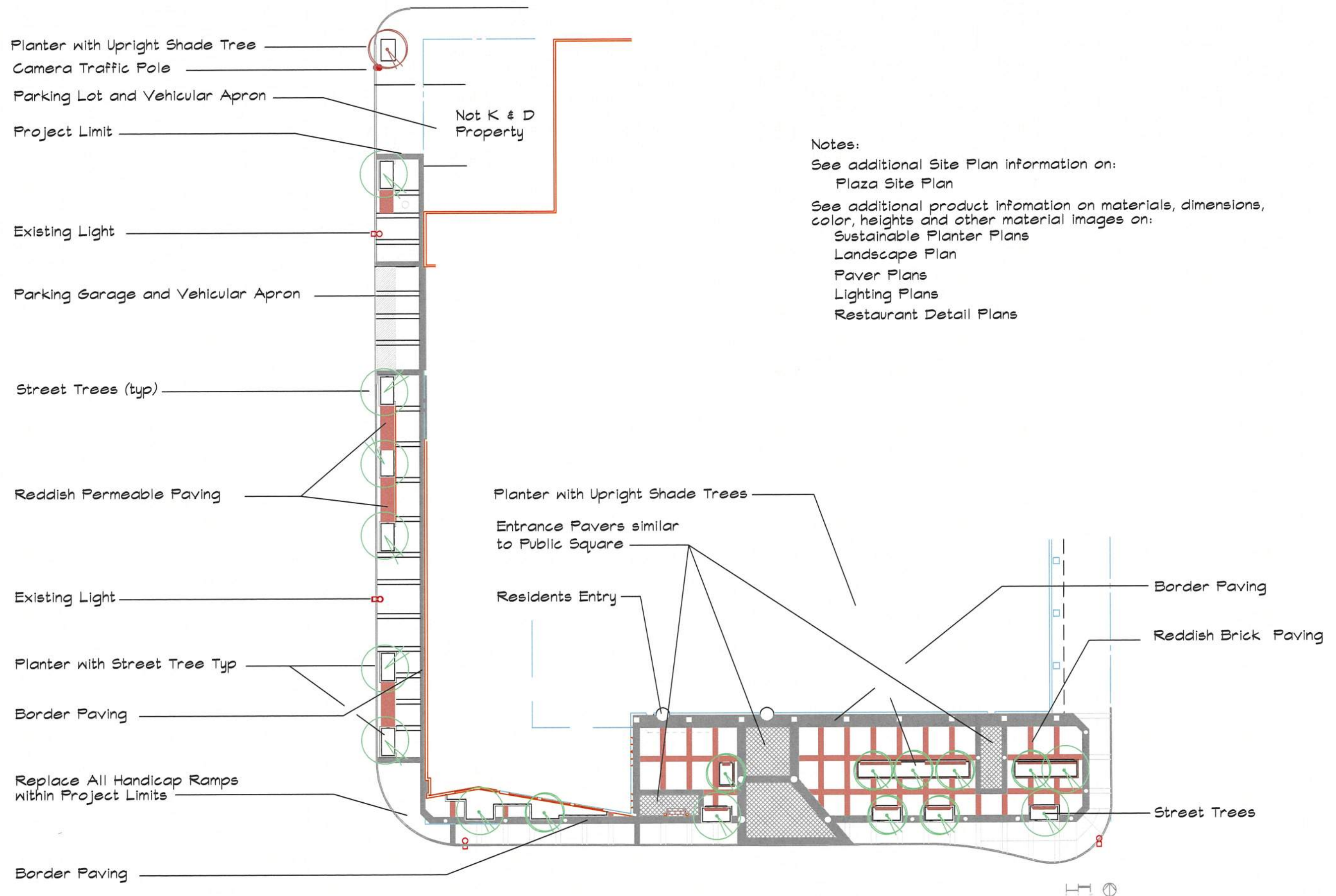
**5.** 55 Public Square Plaza - Concept





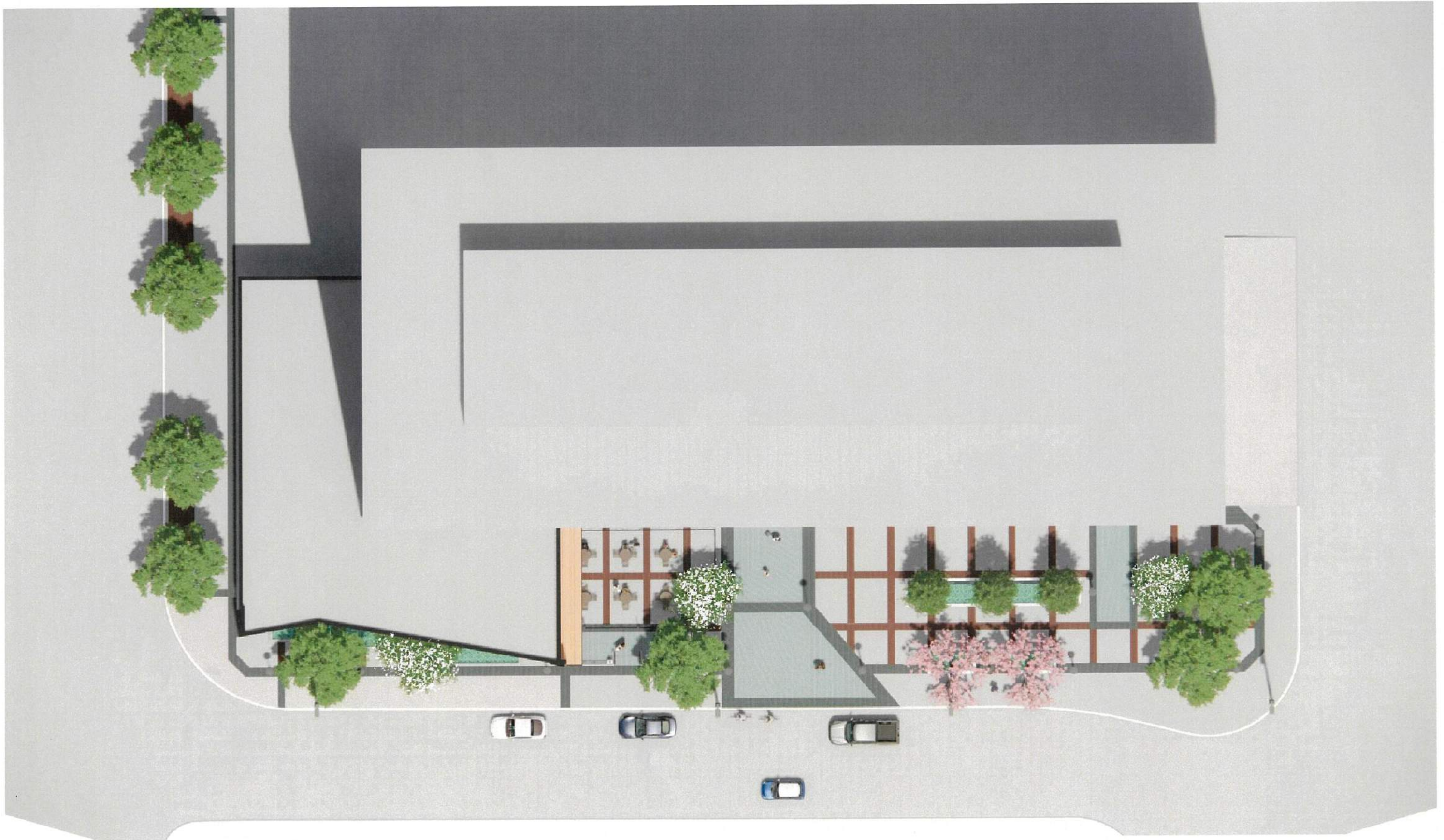
## 6. 55 Public Square Plaza - Demolition





# 7. 55 Public Square Plaza - Site Plan



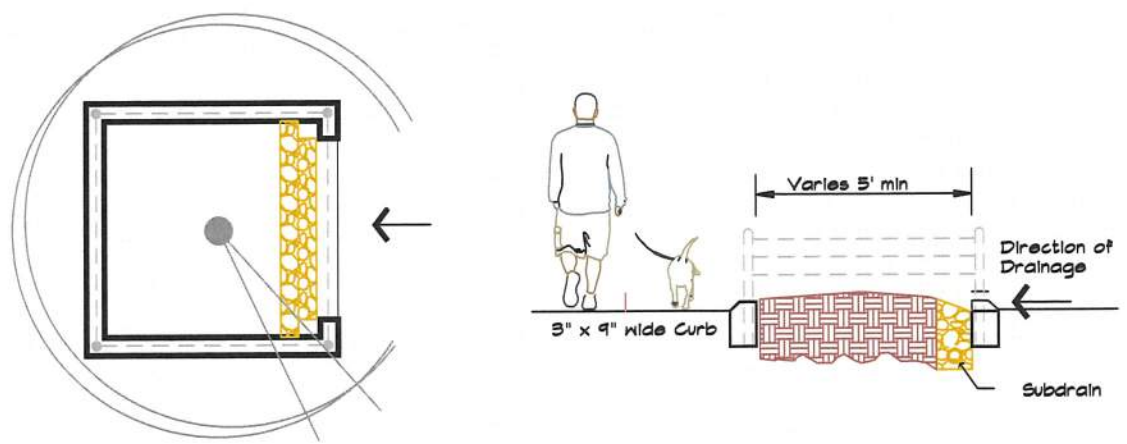


## 8. 55 Public Square Plaza - Plan View Rendering

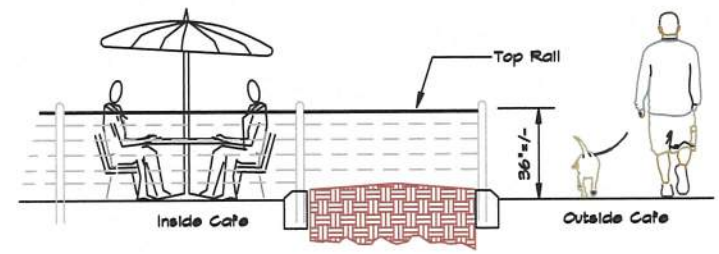




**Black Square Rail**

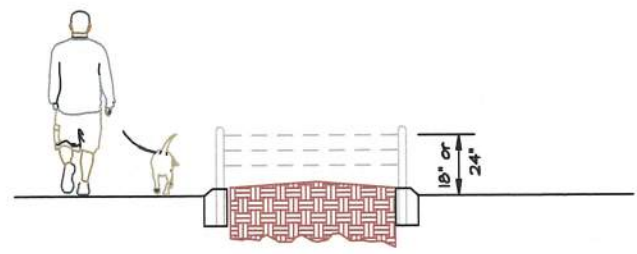


**Typical Drainage Planter**

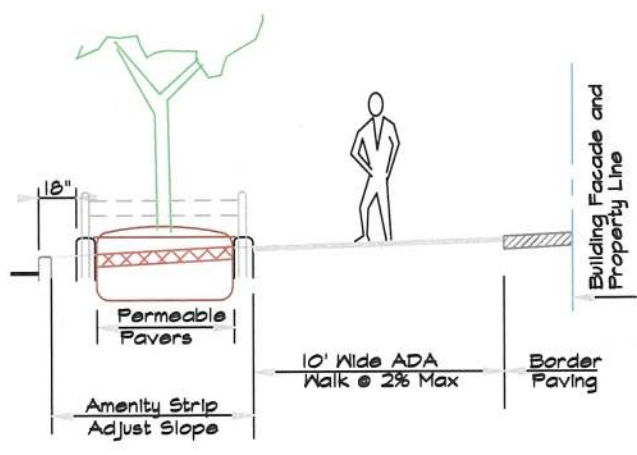
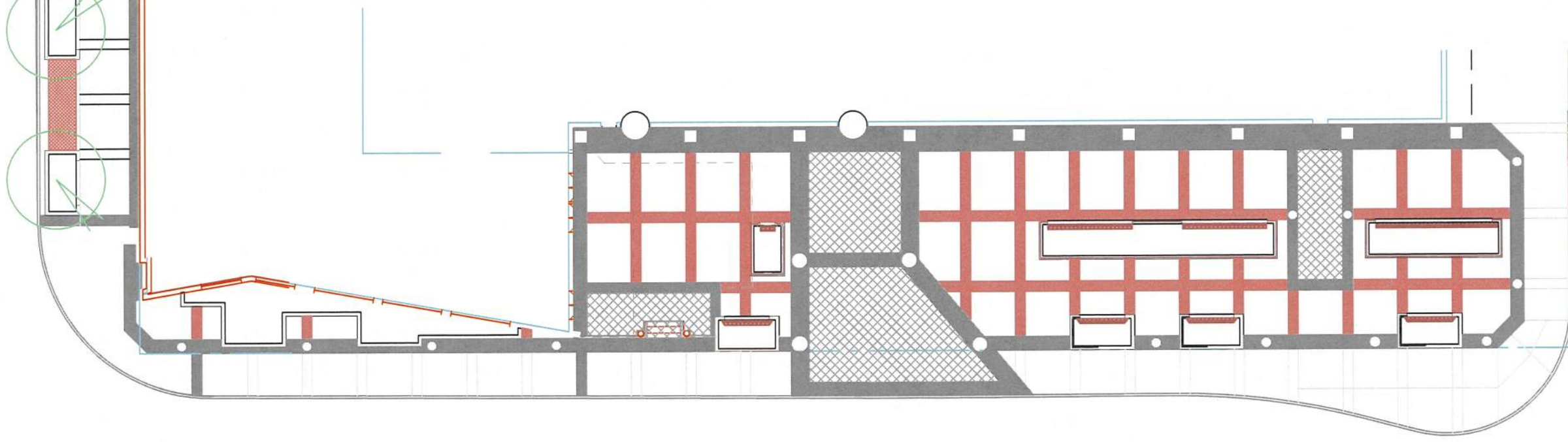


**Cable Rail Type "A"**

Used to enclose the Outdoor Cafe. Planters become part of dining area



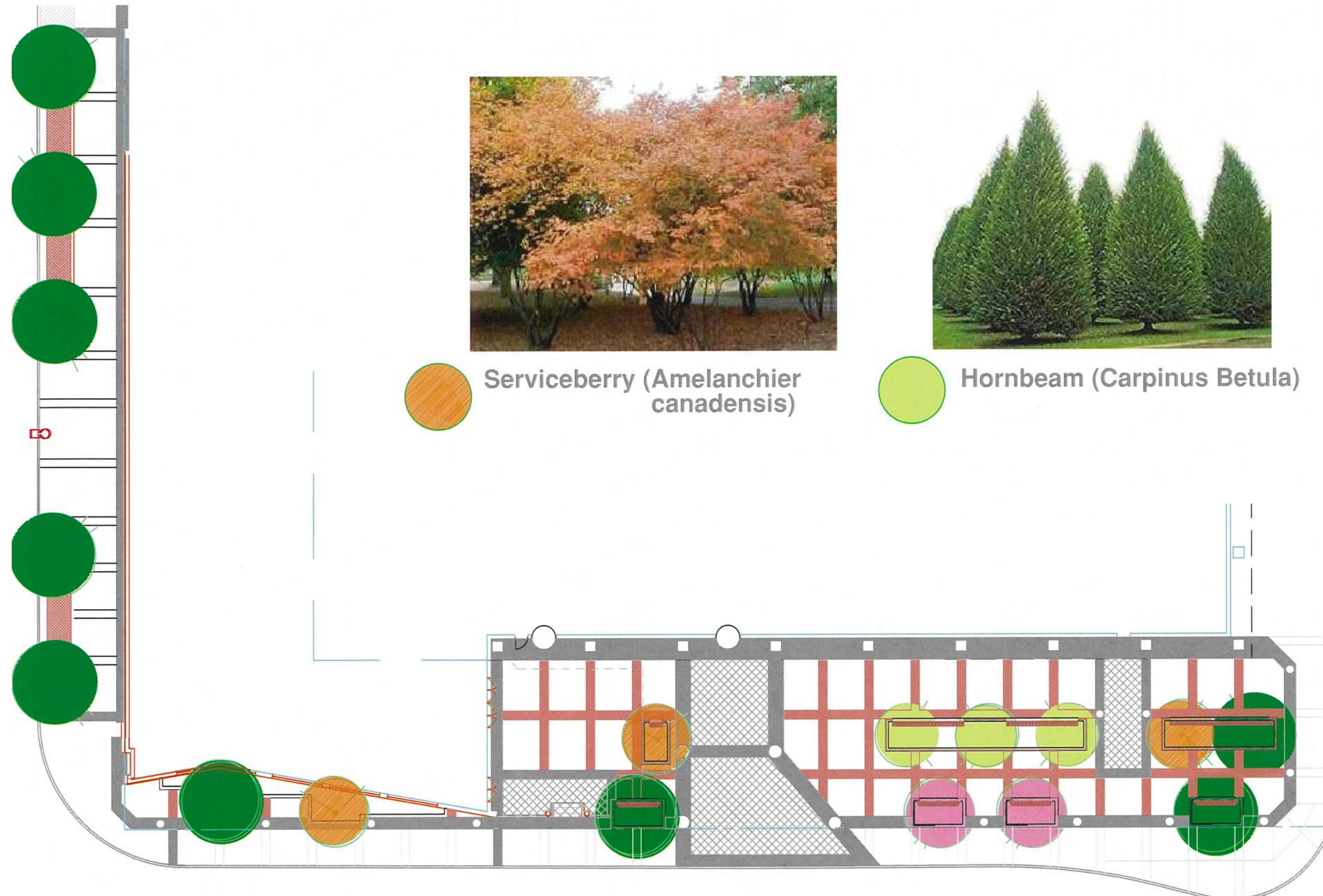
**Planter Rail Types**



**West Third**

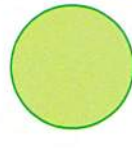
**9. 55 Public Square Plaza - Sustainable Planter Plans**





 Serviceberry (*Amelanchier canadensis*)



 Hornbeam (*Carpinus Betula*)



 Crabapple (*Malus snowdrift*)



 Littleleaf Linden (*Tilia cordata*)  
Use on Edges of Plaza for Shade and Framing

# 10. 55 Public Square Plaza - Landscape Material

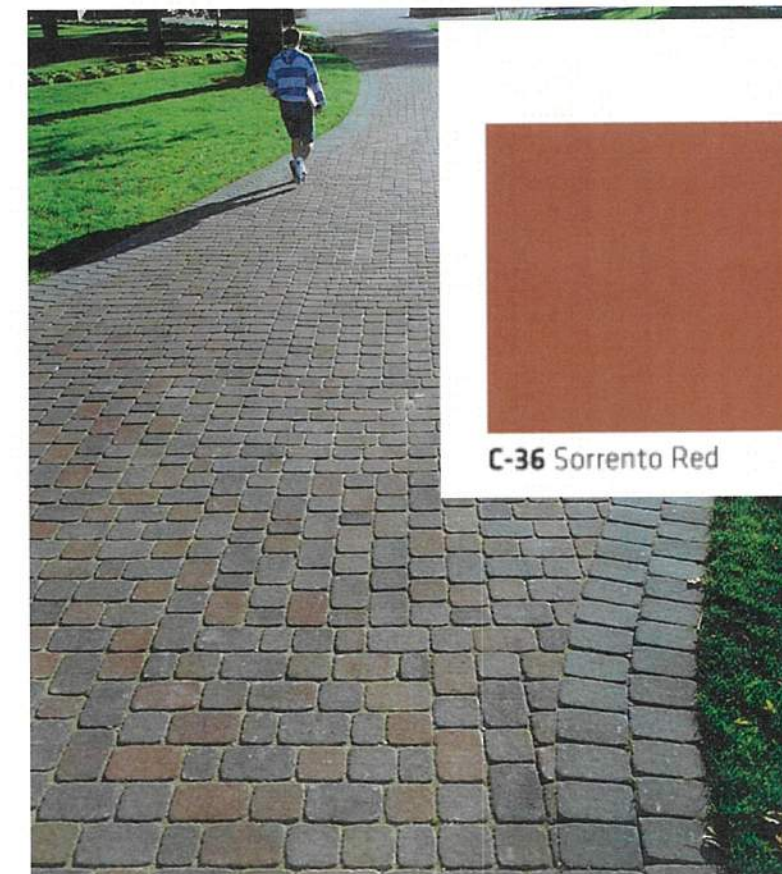




Public Square Walk - Entrance Paver  
 - Use Similar Pattern & Slightly Lighter Gray

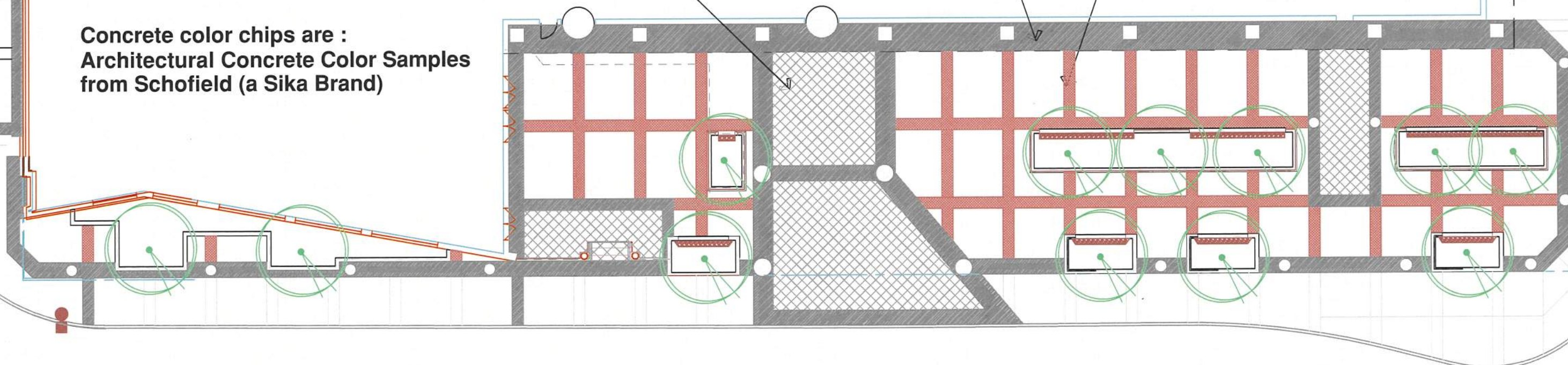


Gray Color for Border Paving  
 - Use to make transition from Darker Building Facade Similar to exist. Columns



Reddish Color for Grid Pattern  
 - Will have different styles for Outline Paving & Grid Paving



Concrete color chips are :  
 Architectural Concrete Color Samples  
 from Schofield (a Sika Brand)



# 11. 55 Public Square Plaza - Paving Concept



**KHA series**  
KHA SLIM 7'2" | KHA SLIM 8'2"

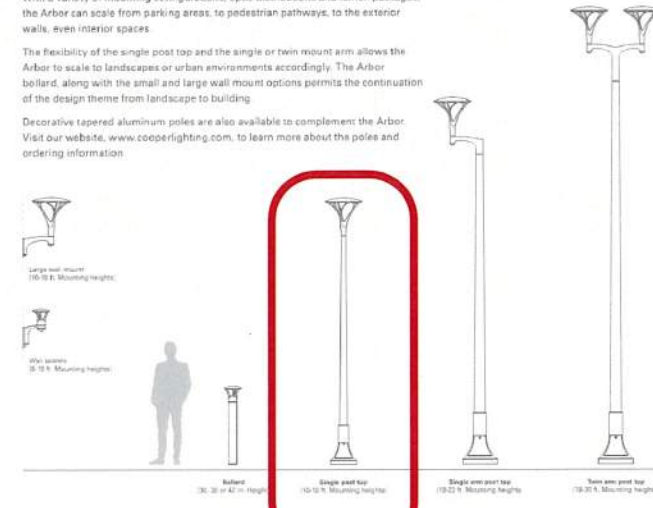



**A scalable and flexible design solution**

With a variety of mounting configurations, optic distributions and lumen packages, the Arbor can scale from parking areas, to pedestrian pathways, to the exterior walls, even interior spaces.

The flexibility of the single post top and the single or twin mount arm allows the Arbor to scale to landscapes or urban environments accordingly. The Arbor bollard, along with the small and large wall mount options permits the continuation of the design theme from landscape to building.

Decorative tapered aluminum poles are also available to complement the Arbor. Visit our website, [www.cooperlighting.com](http://www.cooperlighting.com), to learn more about the pole and ordering information.



**Technical specifications**

**Post top**

**Performance**  
Distributions: Type II, III, IV (asymmetric) and V (symmetric)  
Lumens: 2,045 - 9,464  
Wattage: 24 - 35W  
Efficiency: Up to 105 lm/W  
CCT/CRI: 4000K/70 CRI, 3000K/70 CRI, 3000K/80 CRI  
Controls: 0-10V, occupancy sensor, LumaWait wireless

**Energy data (Electronic LED driver)**  
Power factor: >0.9  
Total harmonic distortion: <20%  
Minimum temperature: -30°C  
Ambient temperature rating: 40°C  
Operation: 120-277V 50/60Hz, 347V 60Hz, 480V 60Hz

**Finish selection**

Grey    Black    Bronze


NOTE: 1. Minimum span length is 10 feet. 2. Span length is limited by the weight of the luminaire. 3. Maximum span length is 100 feet. 4. Maximum span length is limited by the weight of the luminaire. 5. Maximum span length is limited by the weight of the luminaire.

**From site to building**

Complementary design across products connects multiple spaces.

As a design element, the Arbor reflects the role of nature and the desire to stay connected with a more organic urban environment. It relates to the pedestrian experience across an entire campus setting with a visually uniform family of products designed to enhance architectural applications.

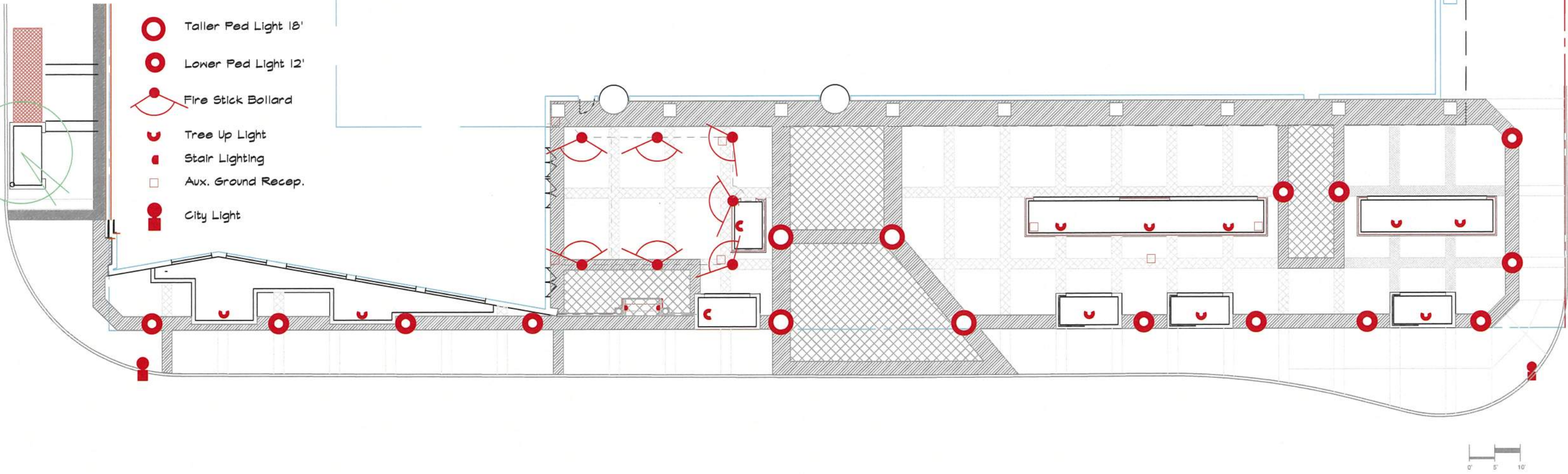
When appropriately scaled for the space, an intimacy is created between the Arbor and its surrounding environment. Companion bollard and wall mounted products, as well as architectural pole mounting options can be selected to create appropriate scale with complementary appearances. The Arbor family provides a seamless transition from site to building.



**Torch Style Bollard (8' ht)**  
KHA Series    Color: Black  
Performance In Lighting

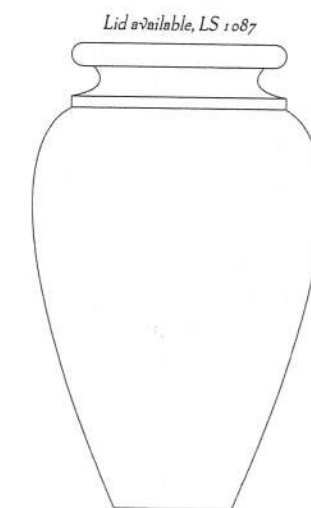
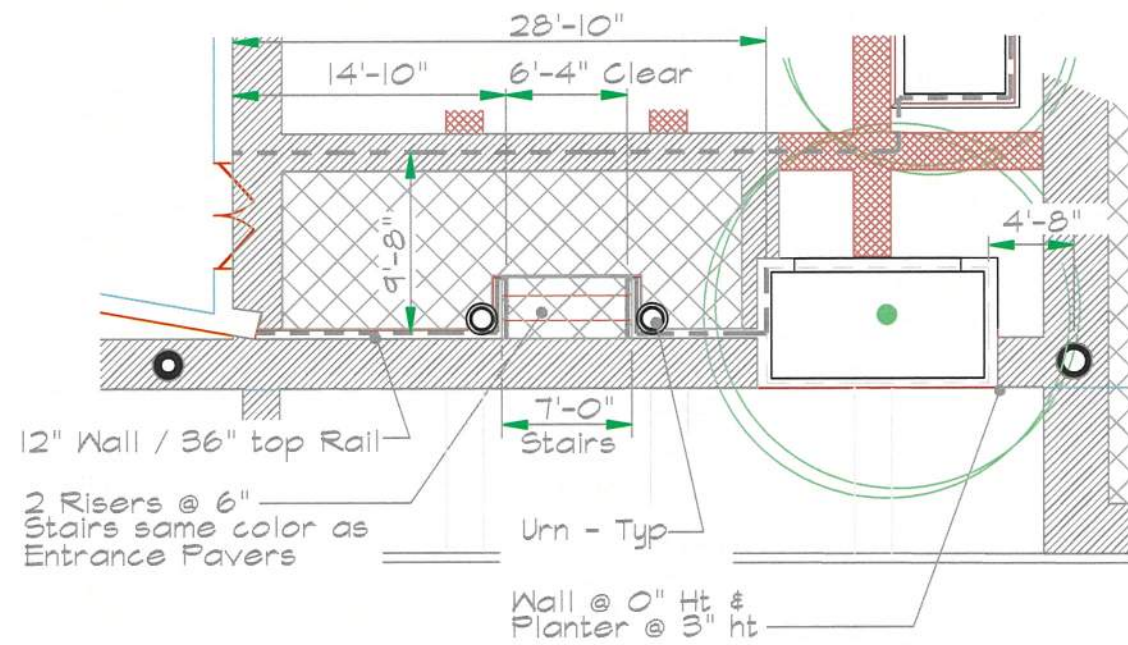
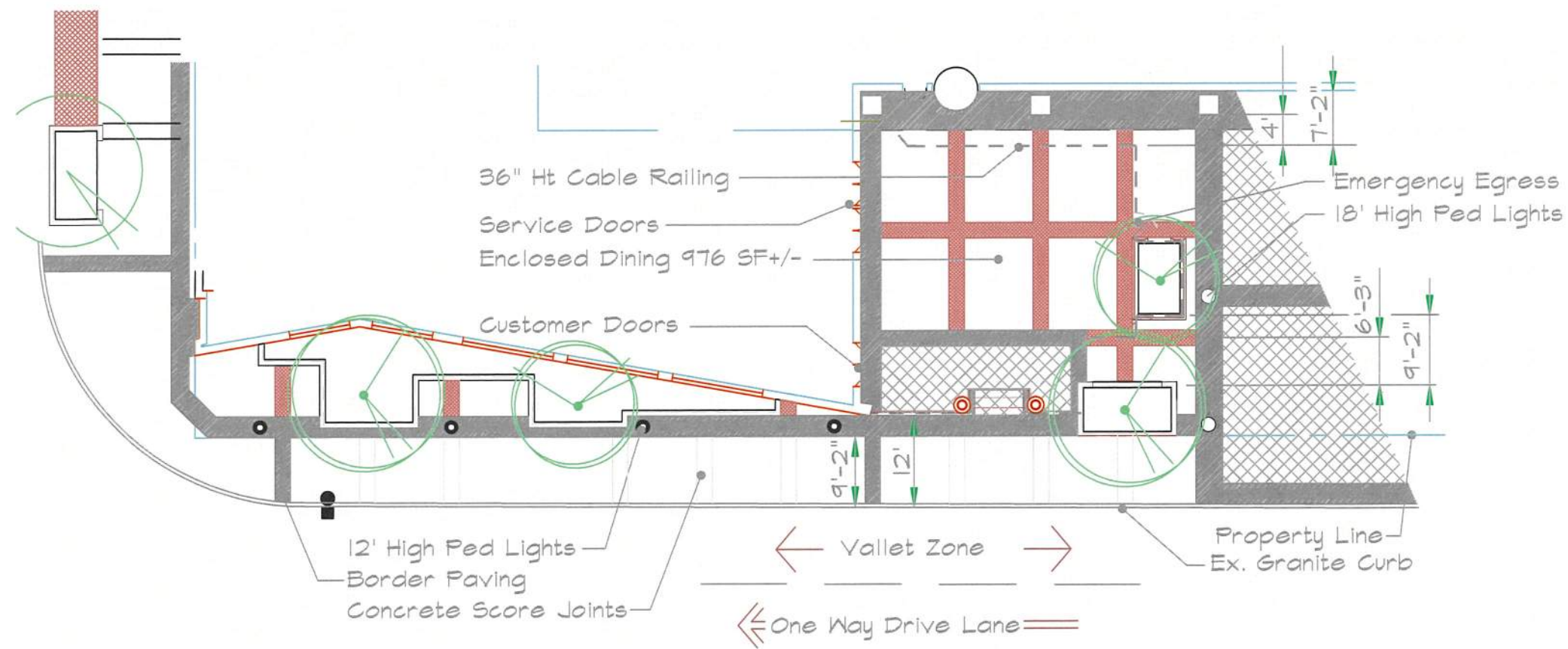
**Ped Style Lights (12' & 18')**  
Invue Arbor    Color: White  
Cooper Lighting Solutions

**Ped Style Light Fixture**

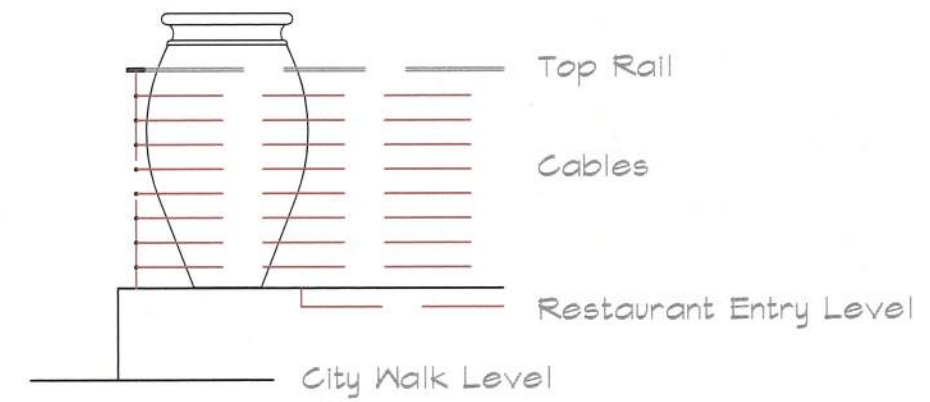
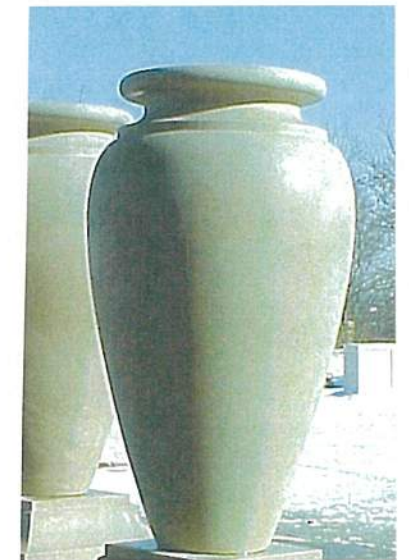


# 12.55 Public Square Plaza - Lighting Concept





Tivoli 45 Urn  
LS 9241  
45 high, 26 diameter, 11 diameter base  
920 lb.



Longshadow Planters  
Tivoli 45 Urn 45" Ht & 26" Dia  
One on Each Side of Stairs

# 13. 55 Public Square Plaza -Restaurant Details





## 14. 55 Public Square Plaza - Aerial Rendering

The K & D Group

Sept. 2021

**HWH** ARCHITECTS  
ENGINEERS  
PLANNERS  
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CLEVELAND, OHIO 44114





## 15. 55 Public Square Plaza - Restaurant Perspective

The K & D Group

Sept. 2021

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**16.** 55 Public Square Plaza - Restaurant On Grade Entry





## 17. 55 Public Square Plaza - Intersection Perspective

The K & D Group

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CLEVELAND, OHIO 44114





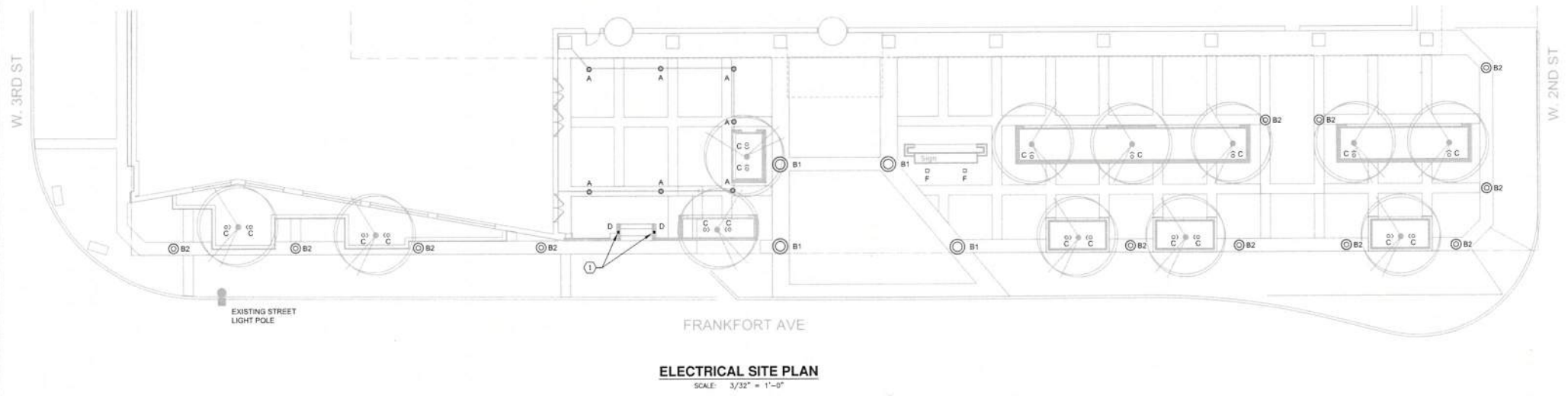
**18.** 55 Public Square Plaza - The End - Thank You



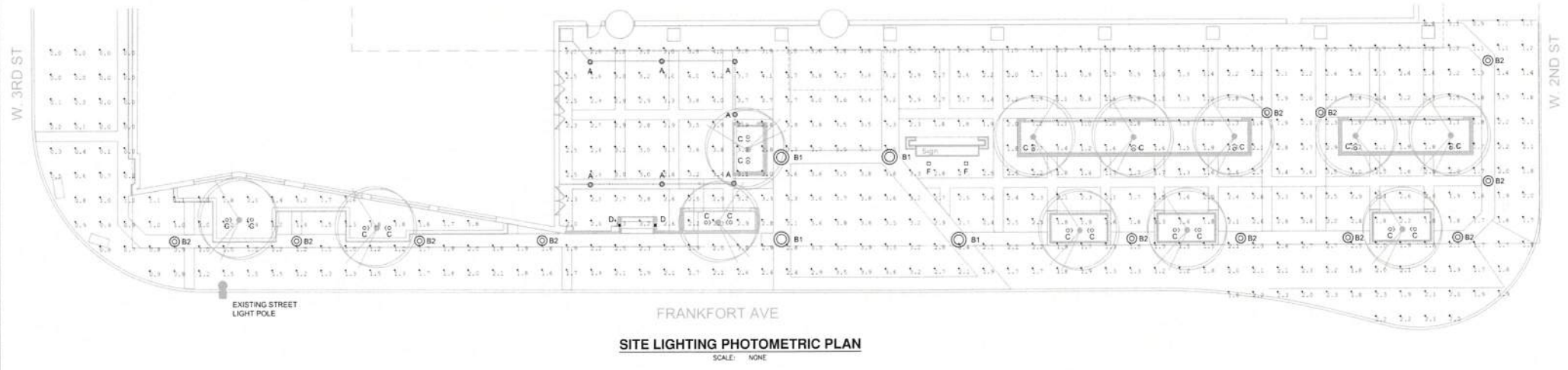
| LUMINAIRE SCHEDULE |              |       |                                                                                        |                                                                                                                                                                                                                                                                                                                                                               |
|--------------------|--------------|-------|----------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| FIXTURE SYMBOL     | LAMP         | WATTS | MANUFACTURERS CATALOG NUMBER                                                           | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                   |
| A<br>○             | LED<br>4000K | 57    | PERFORMANCE IN LIGHTING<br>"KHA 82"<br>#076436                                         | DECORATIVE POST STYLE AREA LUMINAIRE EXTRUDED ALUMINUM HOUSING AND NOMINAL HEIGHT OF 82". LUMINAIRE SHALL PRODUCE 360 DEGREE RADIATED LIGHT WITH 2300 NOMINAL LUMEN PACKAGE. FURNISH WITH TEXTURED BLACK FINISH. FURNISH WITH ANCHOR BOLTS (ORDER SEPARATELY). SUITABLE FOR 120-277VAC OPERATION.                                                             |
| B1<br>⊙            | LED<br>3500K | 96W   | COOPER LIGHTING SOLUTIONS<br>"INVUE ARBOR"<br>#ARB-B3LED-D1T5<br>-WH-8040              | DECORATIVE ARCHITECTURAL POST TOP LUMINAIRE WITH 8500 NOMINAL LUMEN PACKAGE AND TYPE 5 OPTICS. FURNISH WITH NOMINAL 180" DECORATIVE POST. POST AND LUMINAIRE SHALL HAVE STANDARD WHITE FINISH. SUITABLE FOR 120-277VAC OPERATION.                                                                                                                             |
| B2<br>⊙            | LED<br>3500K | 48W   | COOPER LIGHTING SOLUTIONS<br>"INVUE ARBOR"<br>#ARB-B2LED-D1T5<br>-WH-8040              | SAME AS TYPE B1 EXCEPT 4500 NOMINAL LUMEN PACKAGE AND NOMINAL 140" DECORATIVE POST.                                                                                                                                                                                                                                                                           |
| C<br>⊙             | LED<br>4000K | 11    | HYDREL LIGHTING<br>"ASPEN"<br>#AP1-90CRI-40K-120<br>-25DEG-WSL-350R-PM60A<br>-S3-C2-WH | FULLY ADJUSTABLE LANDSCAPE LUMINAIRE WITH ALUMINUM HOUSING, 350 DEGREE ROTATION KNUCKLE, AND 25 DEGREE BEAM SPREAD WITH RECESSED LENS. LUMINAIRE SHALL DELIVER 500 LUMENS WITH A COLOR RENDERING INDEX (CRI) OF 90. FURNISH WITH STANDARD TEXTURED WHITE FINISH AND PM60A ADJUSTABLE ALUMINUM POST WITH CONCRETE ENCASUREMENT. SUITABLE FOR 120VAC OPERATION. |
| D<br>•             | LED<br>4000K | 4     | PERFORMANCE IN LIGHTING<br>"INSERTZERO-CLIPS"<br>#071908                               | RECESSED WALL STEPLIGHT WITH DIE CAST ALUMINUM HOUSING AND TEMPERED GLASS DIFFUSER. LUMINAIRE SHALL DELIVER 175 LUMENS (500+ LUMEN LIGHT SOURCE OUTPUT) WITH TYPE 2 OPTICS AND A COLOR RENDERING INDEX (CRI) OF 80. FURNISH WITH MANUFACTURER'S STANDARD WHITE POWDER COAT TEXTURED FINISH. SUITABLE FOR 120/277VAC OPERATION.                                |
| F<br>□             | LED          | XX    | PERFORMANCE IN LIGHTING #                                                              | RECESSED IN-GRADE DIRECTIONAL LED SIGN LIGHT.                                                                                                                                                                                                                                                                                                                 |

**GENERAL LUMINAIRE SCHEDULE NOTES:**

- FOR ELECTRICAL PRODUCTS, MATERIALS AND INSTALLATION PROCEDURES SEE THE ELECTRICAL NOTES & SPECIFICATIONS ON DRAWINGS E-001
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL ELECTRICAL CODES THAT HAVE AUTHORITY OVER THIS PROJECT AS WELL AS ALL LOCAL REQUIREMENTS OF THIS FACILITY AND ITS OWNER.
- ALL LUMINAIRE MANUFACTURERS CATALOG NUMBERS ARE FOR REFERENCE ONLY. LUMINAIRES SHALL BE AS DESCRIBED IN THE LUMINAIRE SCHEDULE DESCRIPTION COLUMN AND SHALL MEET THE REQUIREMENTS OF THE SPECIFICATIONS. FOR ANY DEVIATION BETWEEN THE CATALOG NUMBER AND THE DESCRIPTION, CONTACT THE ARCHITECT FOR CLARIFICATION.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE MOUNTING OF ALL LUMINAIRES WITH ALL OTHER CONTRACTORS AND TRADES ON THE PROJECT TO ASSURE A NEAT INSTALLATION WHICH MEETS THE INTENT OF THE CONTRACT DRAWINGS. VERIFY LOCATION OF EQUIPMENT BEFORE INSTALLATION OF THE LUMINAIRES.
- CLEAN ALL LUMINAIRES, INCLUDING LOUVERS AND LENSES, AND REPLACE ALL DAMAGED LUMINAIRE PARTS ONE WEEK PRIOR TO TURNING THE COMPLETED PROJECT OVER TO THE OWNER.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LUMINAIRES, BALLASTS, DRIVERS AND LAMPS FOR ALL PERMANENT LUMINAIRES UNLESS OTHERWISE NOTED. THE LUMINAIRES SHALL BE RECEIVED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING TRACK OF ALL LUMINAIRES AND RESPECTIVE ACCESSORIES. IF ANY SPECIAL MOUNTING SUPPORTS OR HARDWARE ARE REQUIRED, IT SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. IF ANY PIECES ARE MISSING OR DAMAGED FROM THE ORIGINAL ORDER, THE ELECTRICAL CONTRACTOR SHALL IMMEDIATELY CONTACT THE SUPPLIER PRIOR TO INSTALLATION SO ITEMS CAN BE REPLACED IN A TIMELY MANNER WITHOUT DELAY IN CONSTRUCTION.
- ALL LED LUMINAIRE CONFIGURATIONS SHALL BE TESTED IN ACCORDANCE WITH IES LM-99. THE LED DIODES SHALL BE TESTED IN ACCORDANCE WITH IES LM-80.
- LED COLOR TEMPERATURE SHALL BE AS NOTED IN THE LUMINAIRE SCHEDULE.
- THE LED DRIVER SHALL HAVE A POWER FACTOR GREATER THAN 0.88, LIFE OF GREATER THAN 50,000 HOURS, A LUMEN PER WATT RATIO OF GREATER THAN 80 LUMENS/WATT AND COLOR RENDERING INDEX OF GREATER THAN 82.
- ALL LED LUMINAIRE SHALL BE WARRANTED FOR 5 YEARS OR LONGER.
- HOLES CUT IN THE CEILING TILES, OR DRYWALL CEILING, SHALL BE COORDINATED WITH THE GENERAL TRADES CONTRACTOR AS TO THE LOCATION, QUANTITY AND SIZE OF THE HOLES.
- FURNISH ALL LUMINAIRES WITH REQUIRED LAMPS. RE-LAMP ALL LIGHTING FIXTURES THAT ARE BURNED OUT PRIOR TO TURNING THE COMPLETED PROJECT OVER TO THE OWNER.



**ELECTRICAL SITE PLAN**  
SCALE: 3/32" = 1'-0"



**SITE LIGHTING PHOTOMETRIC PLAN**  
SCALE: NONE

**GENERAL NOTES:**

- TRENCHING, BACKFILL, COMPACTION AND UNDERGROUND CONDUIT IS BY THE ELECTRICAL CONTRACTOR. CONDUIT SHALL BE BURIED BELOW GRADE AS REQUIRED AND SHALL BE PROVIDED WITH PULL STRING.
- PROVIDE IN-GRADE PULL BOX IN CONDUIT RUNS AS REQUIRED. PULL BOXES SHALL BE 24" X 13" X 18" POLYMER CONCRETE QUAZITE RATED FOR INCIDENTAL DRIVE OVER (MINIMUM ANSI TIER 8). SEE IN-GRADE PULL BOX INSTALLATION DETAIL.
- MECHANICAL CONNECTIONS SHALL UTILIZE BURNDY PENETROX PROTECTIVE MATERIAL OR APPROVED EQUAL.

**KEY NOTES:**

- STEP LIGHT SHALL BE CAST INTO SIDE WALL OF STEPS AT APPROXIMATELY 7" ABOVE TREAD. ELECTRICAL CONTRACTOR SHALL PROVIDE SUITABLE BACKBOX AND COORDINATE WITH THE GC TO ENSURE STEP LIGHTS ARE APPROPRIATELY INSTALLED.
- IN-GRADE PULL BOX SHALL BE POLYMER CONCRETE. PROVIDE HUBBELL QUAZITE #PD24388G18 OR APPROVED EQUAL.

| ISSUED |      |             |
|--------|------|-------------|
| NO.    | DATE | DESCRIPTION |
|        |      |             |

THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ASSURE THAT THE NEW WORK WILL FIT TO THE EXISTING STRUCTURE. THE ARCHITECT INTENDS AND SHOW ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO FABRICATION OF PERMANENT WORK IN THE AREA INVOLVED. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR PHOTO INDICATING FIELD MEASUREMENTS AND NOTES RELATED TO THE AREA.

**HWH ARCHITECTS  
ENGINEERS  
PLANNERS**  
600 SUPERIOR AVE. - SUITE 1100  
CLEVELAND, OHIO 44114

SHEET TITLE  
**ELECTRICAL  
SITE LIGHTING PLAN**

|              |                     |
|--------------|---------------------|
| ISSUED       | SCALE 3/32" = 1'-0" |
| DRAWN        | CHECKED             |
| CONTRACT NO. | DRAWING NO.         |
| <b>C1023</b> | <b>ES-001</b>       |



# Cleveland City Planning Commission

## DRAC New Member Nominations

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September 3, 2021



# Design Review New Member Nomination

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September 3, 2021



**NOTHING SCHEDULED TODAY**



# Cleveland City Planning Commission

## Director's Report

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September 3, 2021



# Cleveland City Planning Commission

## Executive Session

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September 3, 2021



# Cleveland City Planning Commission

## Adjournment

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September 3, 2021