



# Cleveland City Planning Commission

Friday, May 7, 2021

**\*\* PLEASE MUTE YOUR MICROPHONE \*\***

David Bowen, Commission Chair

Freddy L. Collier Jr., Director

Michael Bosak, Administrator

# Cleveland City Planning Commission

## Preamble

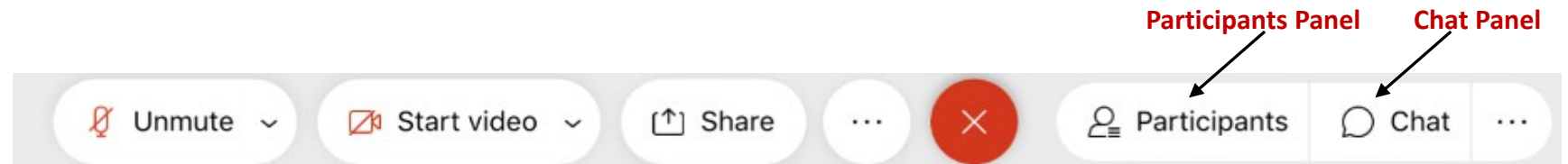
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING \*6



May 7, 2021

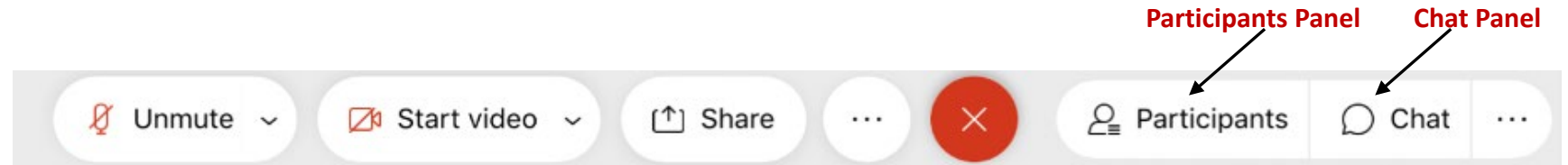
# Cleveland City Planning Commission

## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.  
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.**



May 7, 2021

# Cleveland City Planning Commission

## Call to Order and Roll Call

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May 7, 2021

# Cleveland City Planning Commission

## Special Presentations – Public Art

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May 7, 2021

# Special Presentation

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May 7, 2021

LCG *Art is Color* Mural: Seeking Final Approval

**Address: 4490 Pearl Road**

Presenter: Guillermo Sanchez, Artist/Gallery Owner

**Date Submitted for Review: 4/30/21**

Subject: Mural Project Proposal

Title: Art is Color

Timeline: May 2021

Location: 4490 Pearl Road, Cleveland, Ohio 44109

**Key Contact(s)**

Will Sanchez – Owner + Founder

La Cosecha Galeria + LACHA

Phone: (216) 385-9545

Email: [lacosechagaleria@aol.com](mailto:lacosechagaleria@aol.com)



**Project Summary:**

A community mural is being proposed for the north wall of the building addressed 4490 Pearl Road, Cleveland, Ohio 44109, that faces Pearl Road.

It is no secret: murals make our neighborhoods beautiful! They add color to building walls and streets that would otherwise go unnoticed, which is a treat for locals and tourists alike. Murals attract new local businesses, help bring customers to pre-existing locations, and boost the economy of an area. We will design a visual art mural outline and base background, then welcome the community to come and enjoy the garden atmosphere as we bring the vibrant colors to life.

A mural is any piece of artwork painted or applied directly on a wall, ceiling, or other permanent surfaces. A distinguishing characteristic of mural painting is that the architectural elements of

the given space are harmoniously incorporated into the picture. Art impacts us by allowing the freedom to express ourselves. Seeing art and collaborating with artists helps them understand that a lot of this world is created through art and creativity.

To make use of what is available, in the area, the fruit at hand. Instead of looking elsewhere for sustenance, to grow and feed off our own talent. In 2002 the first Latino owned and managed art gallery in the greater Cleveland metropolitan area was born, La Cosecha Galeria (The Harvest Gallery). But it stood for much more; it was an understanding, a union, an opportunity to display an identity. The ability to open the doors to other artists as an outlet to what is possible. Well received by the community, who until then were starved for a place to showcase their culture and artistic abilities. It always held a warm place in their heart and a revered memory for those that worked with them.

We have always welcomed artists to develop, not only as a studio artist, but as artists that collaborate and co-design with community partners or residents around a collaboratively defined aspiration. In an ongoing effort to support each other, several of the creative industry have become collaborators to bring forth light and a heritage identity upon the local arts and cultural scene. It's the individual effort of everybody working together towards a collective goal that causes real, effective change in the world.

Most of us appreciate the intrinsic benefits of the arts—their beauty and vision; how they inspire, soothe, provoke, and connect us. When it comes time to make tough funding choices, however, elected officials and business leaders need to have strong and credible data that demonstrate the economic benefits of a vibrant arts and culture industry. As the arts flourish, so will creativity and innovation—the fuel that drives our global economy. This is inspiring news for those whose daily task is to strengthen the economy and enrich quality of life. No longer do business and elected leaders need to choose between arts and economic prosperity. Nationally, as well as locally, the arts mean business.

We hope you join us on this endeavor to implement this project and increase our community creative spirit. We look forward to meeting with you face to face for a formal presentation. If you have any questions, please do not hesitate to contact us directly.

### Existing Conditions:





**Site Context Plan: LCG Patio Design - Arts & Culture Space.**

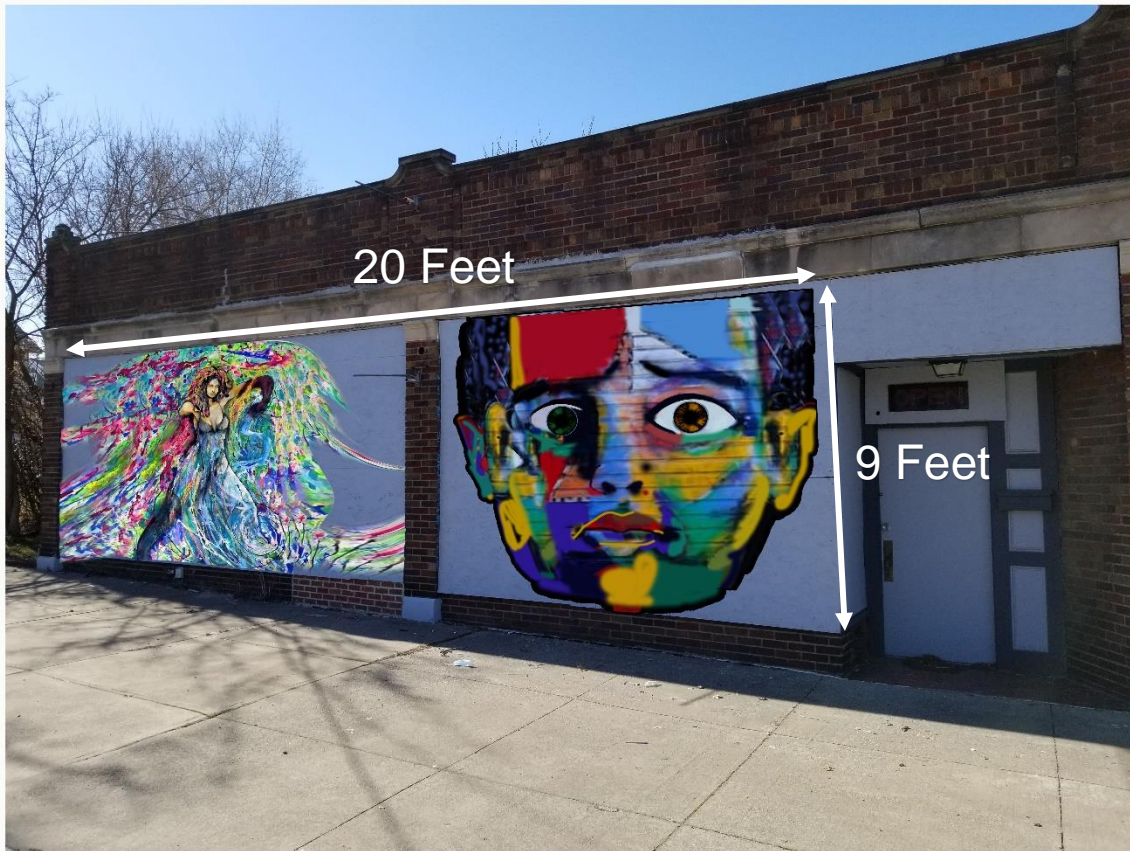
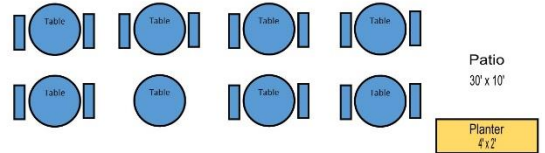


**DATE**  
3/16/21

**PROJECT**  
LCG PATIO

**PATIO DIMENSIONS**  
WIDTH: 30'  
LENGTH: 10'

**OBJECTS**  
TABLES: 8  
CHAIRS: 16  
OTHER: 1 PLANTER



**Mural Materials List:**

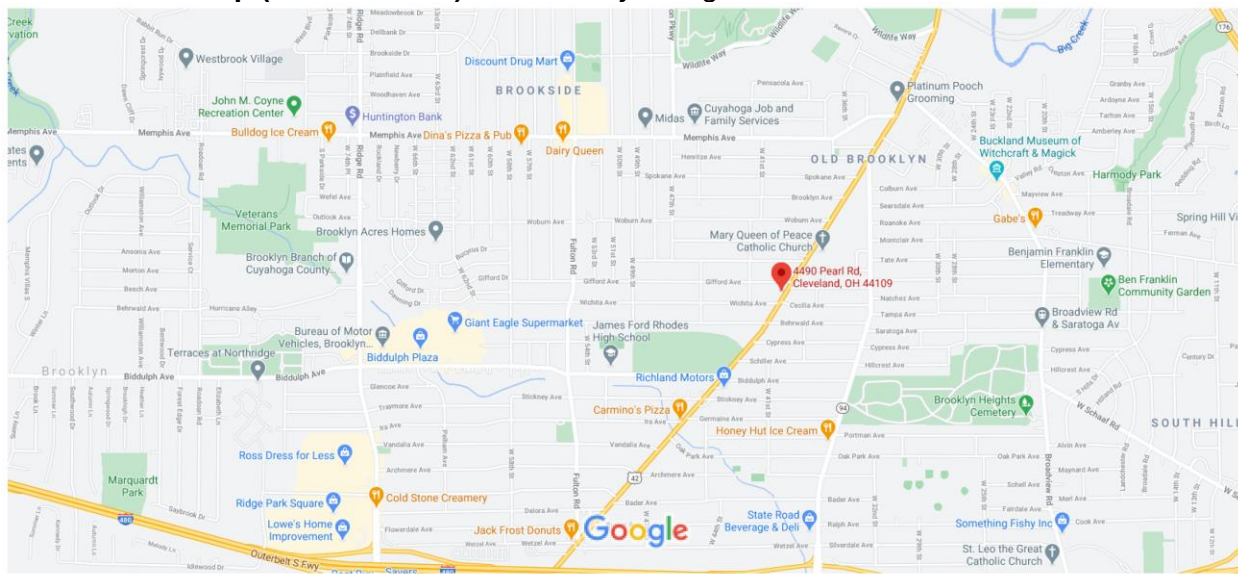
- White General Purpose Spray Paint
- Black General Purpose Spray Paint
- Red General Purpose Spray Paint
- Yellow General Purpose Spray Paint
- Blue General Purpose Spray Paint
- Green General Purpose Spray Paint
- Orange General Purpose Spray Paint
- Purple General Purpose Spray Paint
- Flesh Tone General Purpose Spray Paint
- Clear Coat General Purpose Spray Paint

**Landscape and or Streetscape Plan:**

- Small Tree & Bush
- Various Flowers & Plants
- 8 Tables
- 16 Chairs
- 1 Planter
- Performance Stage

**Maintenance Plan:** *La Cosecha Galeria business location has an Initial Term 24-month lease.*

**Site Location Map (District Level):** *Old Brooklyn Neighborhood - Ward 13.*



Map data ©2021 Google 1000 ft



**4490 PEARL ROAD CLEVELAND OHIO 44109**

**Evidence of Support:** Refer to Sanchez Mural Letter of Permission (Property Owner)

LETTER OF SUPPORT AND PERMISSION

RE: Mural on front of building at 4490 Pearl Road, Cleveland  
To be completed by Will Sanchez of La Cosecha Galleria

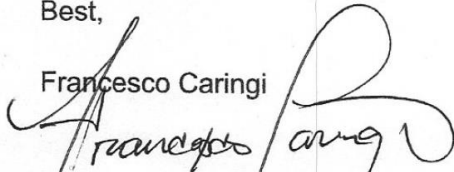
To Whom it May Concern:

This letter is to state that I, Francesco Caringi - an authorized representative and member of Sorana Realty LLC - landlord and owner of 4480-4494 Pearl Road in Cleveland, OH do hereby grant permission and full support to Will Sanchez to paint a mural on the front of the building next to his location. So long as this mural is within the rules and guidelines of the City of Cleveland and is permitted by the local CDC and inspectors.

Any questions can be forward to the email address below.

Best,

Francesco Caringi



Member - Sorana Realty LLC

10632 Lake Meadows Dr

Strongsville, OH 44136

P: 216.269.7172

E: [Fcaringi@gmail.com](mailto:Fcaringi@gmail.com)

# Cleveland City Planning Commission

## Zoning Map Amendments

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May 7, 2021

# Zoning Map Amendments

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May 7, 2021

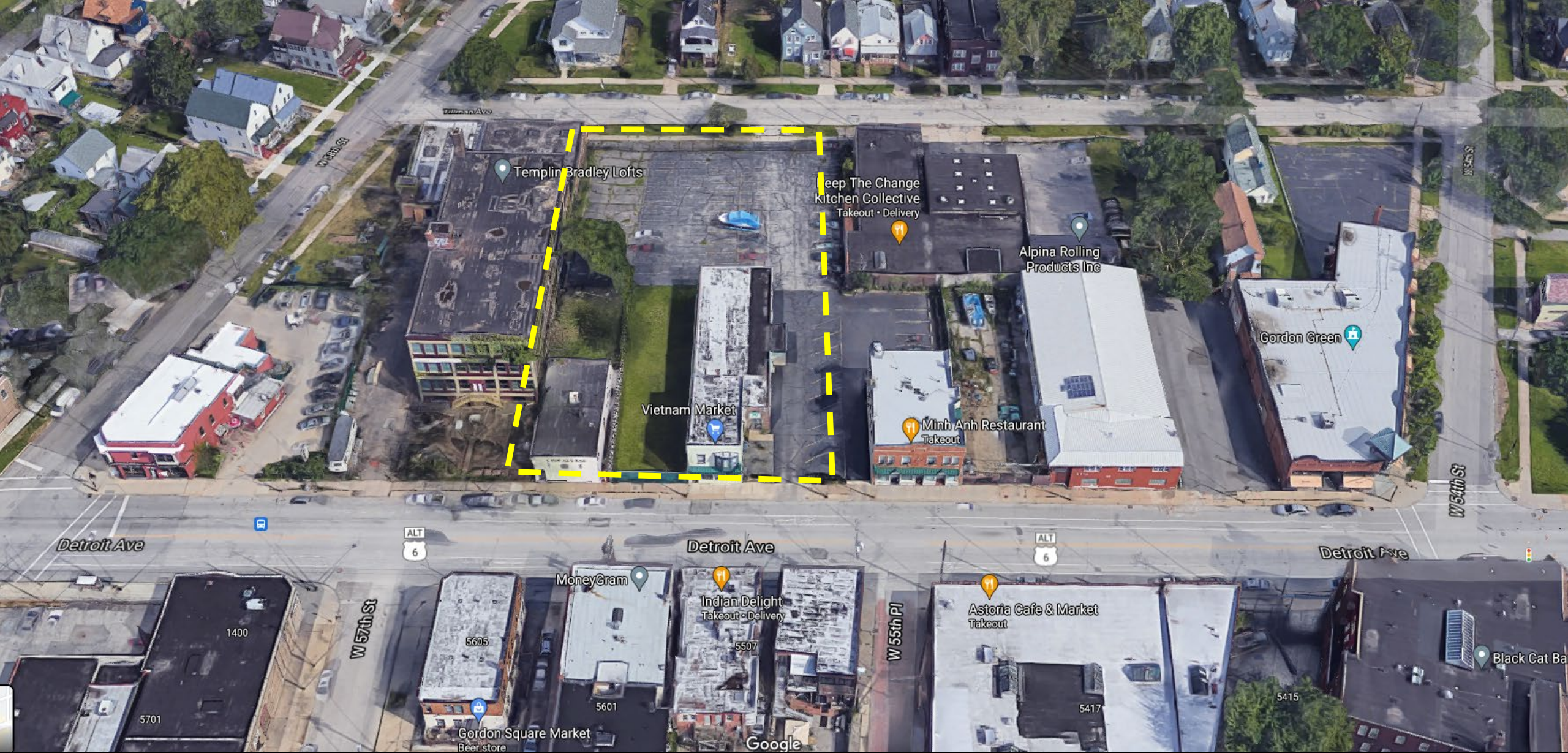
Ordinance No. xxx-2021(Ward 15/Councilmember Spencer: Changing the Height and Area Districts of parcels of land south of Tillman Avenue, north of Detroit Avenue between West 58th and West 54th Street (Map Change No. 2633); and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan.

Presenter: Kyle Reisz, Staff Planner

An architectural rendering of a modern, multi-story brick building. The building features a prominent rooftop garden with various trees and plants. The ground floor has large glass windows and an outdoor seating area with yellow umbrellas. People are shown walking on the sidewalk and riding a bicycle on the street. The scene is set in an urban environment with other buildings and a clear sky.

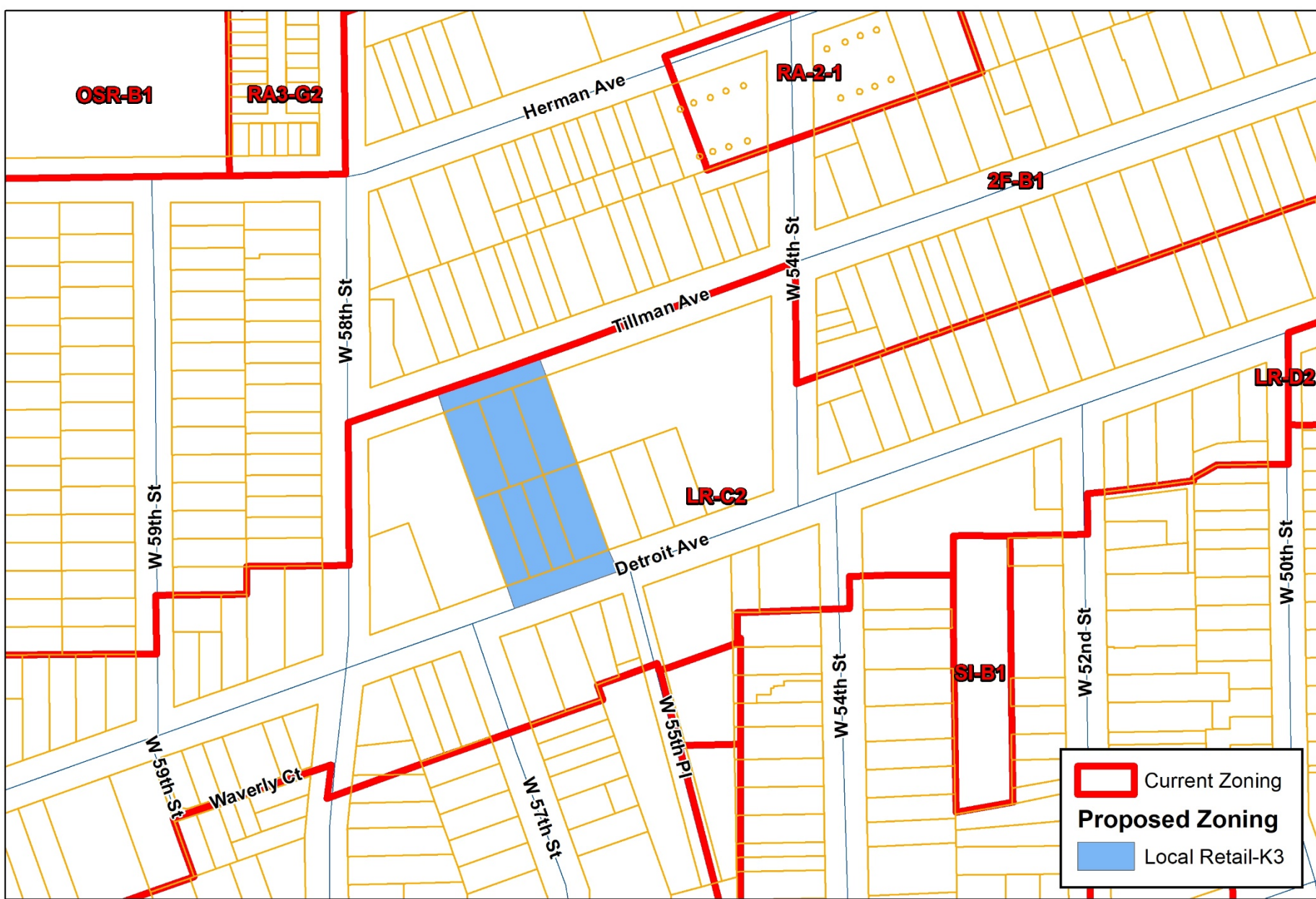
# **Site plan Specific Rezoning Map Change 2633**

**May 7<sup>th</sup>, 2021**



Landmarks Case No. 21-024 two buildings demolition and mitigation approval: April 8<sup>th</sup>

Landmarks Case No. 21-012 design approval: April 8<sup>th</sup>



# Siteplan Specific Rezoing

Map Change # 2633

Cleveland City Planning Commission

601 Lakeside Ave. Cleveland, OH 44114



Date: 4.23.2021

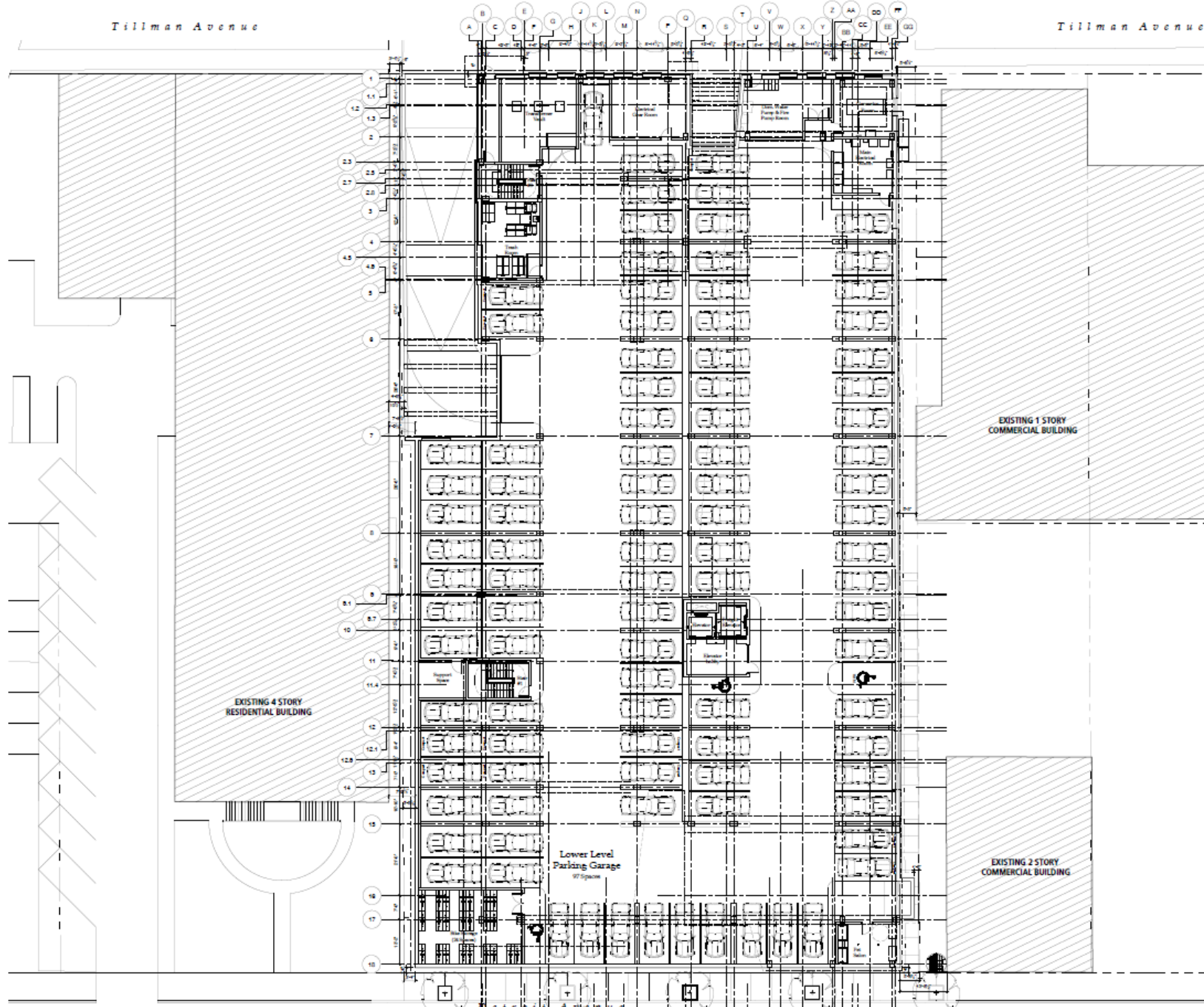


**Building Totals:**

Total Apartment Units		126 Units
Total Parking Spaces		97 Spaces
Total Gross Leasable Area	(80%)	118,370 ± s.f.
Total CAM Area:	(20%)	30,378 ± s.f.
Total Gross Square Feet (Without Garage):		148,748 ± s.f.
Total Garage Area		30,278 ± s.f.

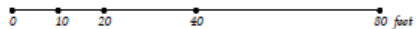
Tillman Avenue

Tillman Avenue



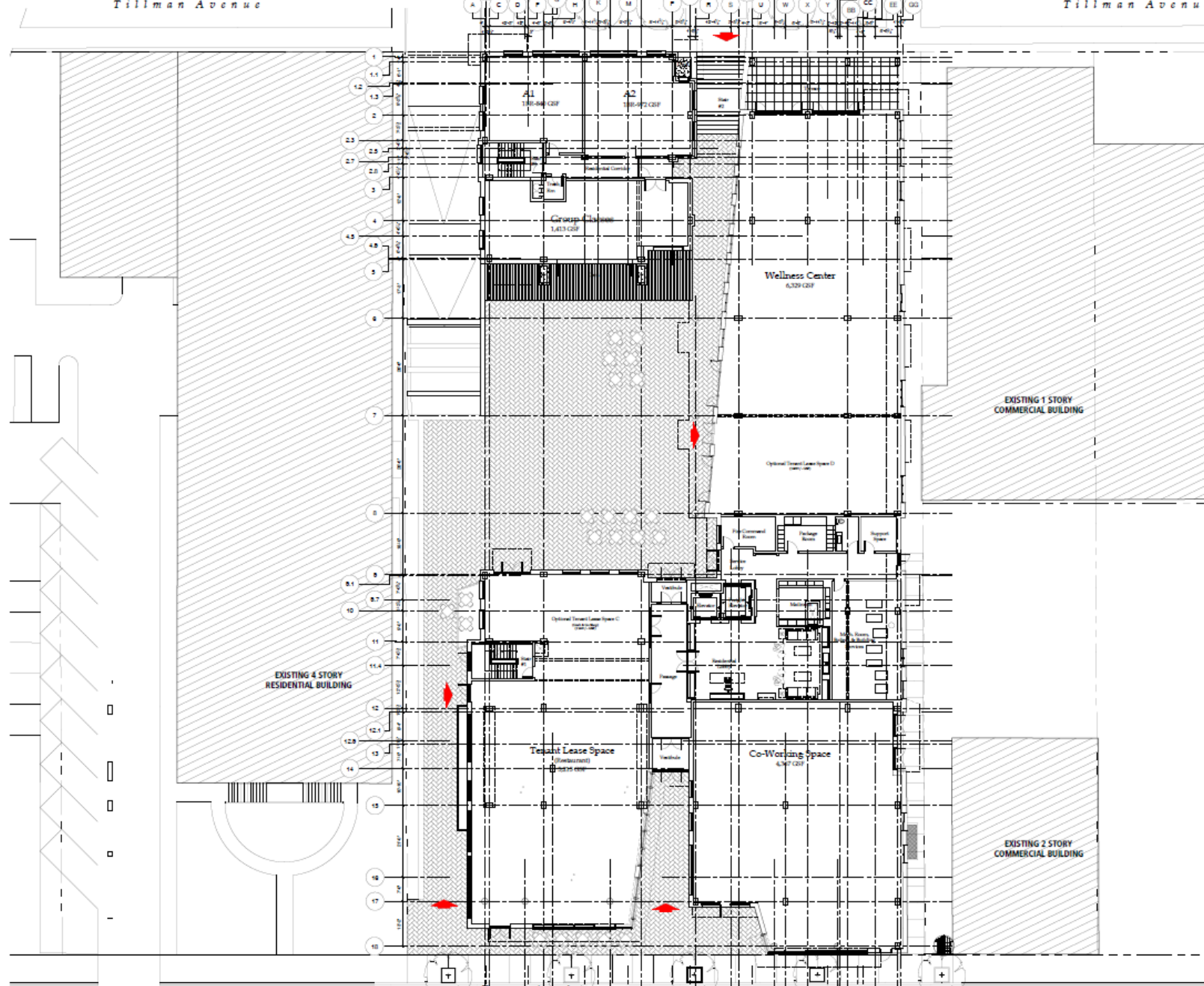
*Waverly & Oak*  
 Gordon Square Neighborhood, Cleveland, Ohio

Lower Level Floor Plan



BOND STREET

**DIMITARCHITECTS**  
 architecture + interiors + urban design  
 April 21, 2021

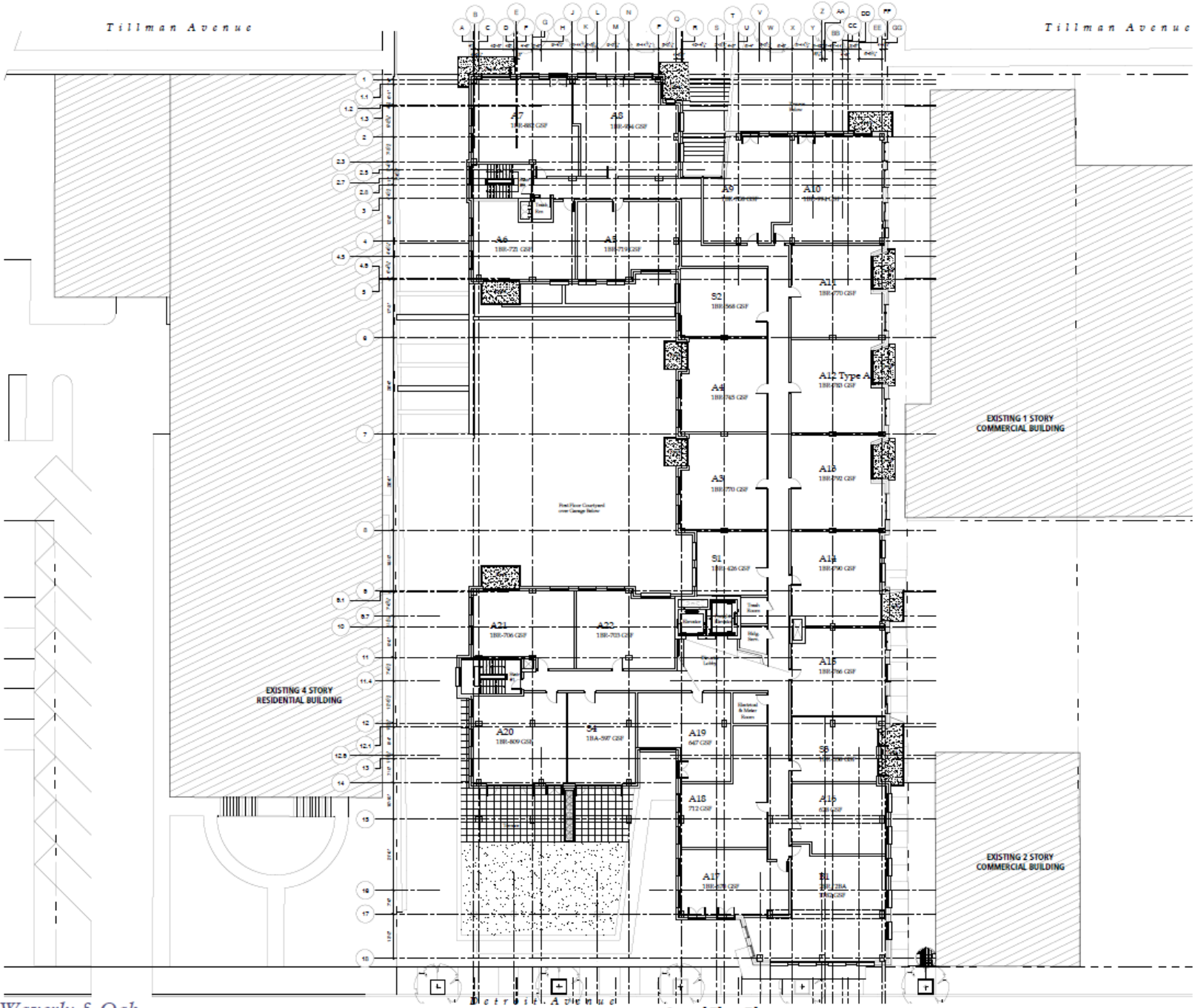


**Area and Yield Summary**

<b>Lower Level:</b>	<b>35,121= s.f. Gross</b>
Parking:	30,278 s.f. (86%)
Gross CAM Area:	4,843 s.f. (14%)
Parking Spaces:	97 Spaces
<b>First Floor:</b>	<b>23,813= s.f. Gross</b>
Gross CAM Area:	4,677 s.f. (20%)
Commercial Lease Spaces:	12,957 s.f. (54%)
Co-Working Space:	4,367 s.f. (18%)
Residential Gross Lease Area:	1,812 s.f. (8%)
One Bedrooms:	2 Units
<b>Total Units per Floor:</b>	<b>2 Units</b>
<b>Second Floor:</b>	<b>22,150= s.f. Gross</b>
Residential Gross Lease Area:	18,609 s.f. (84%)
Gross CAM Area:	3,541 s.f. (16%)
Studios:	4 Units
One Bedrooms:	20 Units
Two Bedrooms:	1 Units
<b>Total Units per Floor:</b>	<b>25 Units</b>
<b>Typical Floor (Floors 3, 4, &amp; 5):</b>	<b>21,262= s.f. Gross</b>
Residential Gross Lease Area:	17,809 s.f. (84%)
Gross CAM Area:	3,453 s.f. (16%)
Studios (500 S.F. +/-):	4 Units
One Bedrooms (720 S.F. +/-):	18 Units
Two Bedrooms (1,000 S.F. +/-):	1 Units
<b>Total Units per Floor:</b>	<b>23 Units</b>
<b>Sixth Floor:</b>	<b>20,813= s.f. Gross</b>
Residential Gross Lease Area:	17,360 s.f. (83%)
Gross CAM Area:	3,453 s.f. (17%)
Studios:	5 Units
One Bedrooms:	17 Units
Two Bedrooms:	1 Units
<b>Total Units per Floor:</b>	<b>23 Units</b>
<b>Penthouse Floor:</b>	<b>13,343 = s.f. Gross</b>
Residential Gross Lease Area:	7,761 s.f. (58%)
Rooftop Lounge Area:	2,077 s.f. (16%)
Gross CAM Area:	3,505 s.f. (26%)
Penthouse Apartments:	7 Units
<b>Total Units per Floor:</b>	<b>7 Units</b>

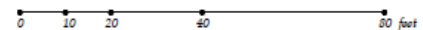
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Total Gross Square Feet (Without Garage):	148,748 = s.f.
Total Garage Area:	30,278 = s.f.



Waverly & Oak  
 Gordon Square Neighborhood, Cleveland, Ohio

Second Floor Plan

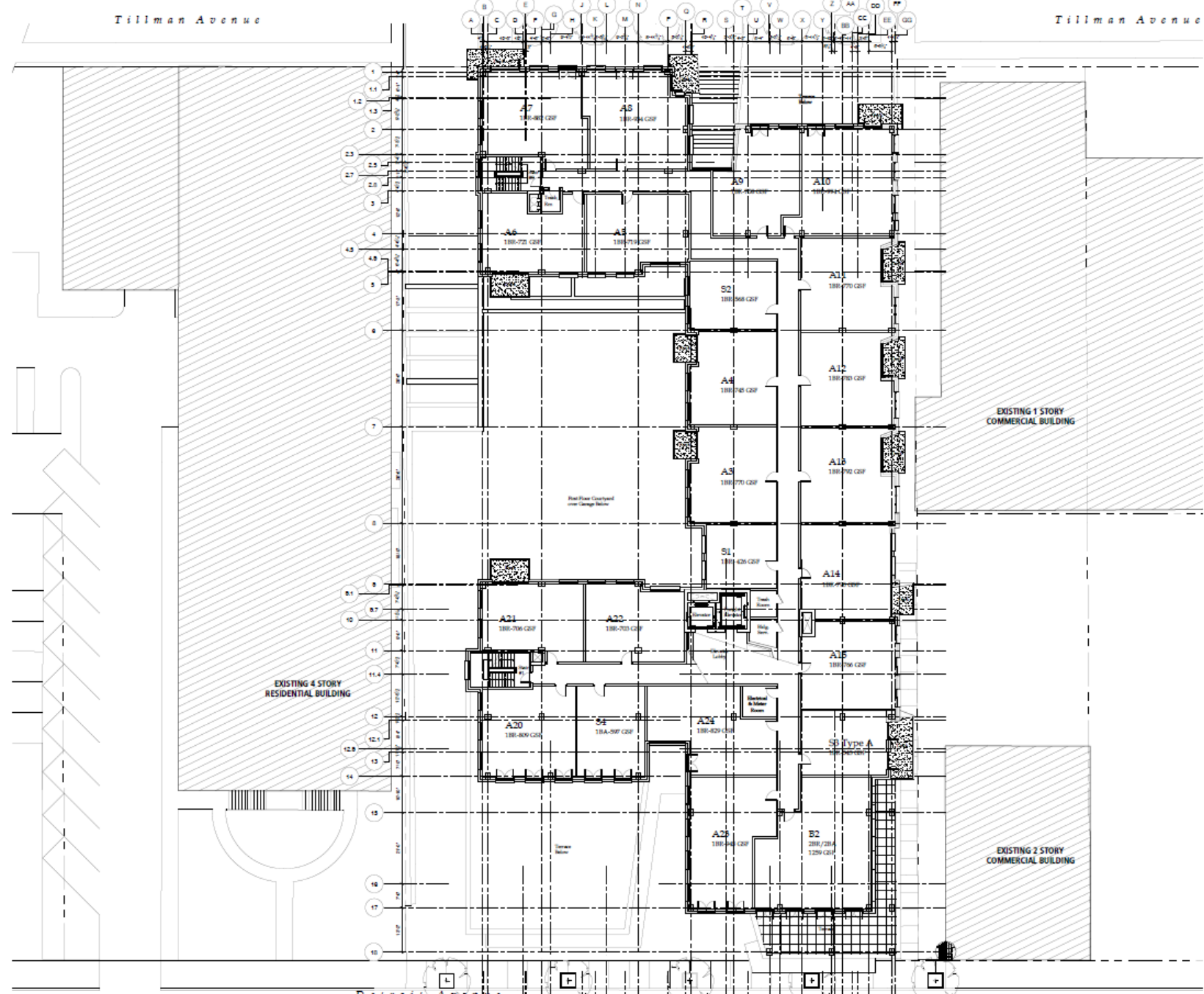


BOND STREET

DIMITARCHITECTS  
 ARCHITECTURE • INTERIORS • URBAN DESIGN  
 April 21, 2021

Tillman Avenue

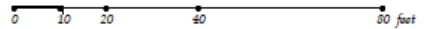
Tillman Avenue



*Waverly & Oak*  
 Gordon Square Neighborhood, Cleveland, Ohio

Detroit Avenue

Third Floor Plan

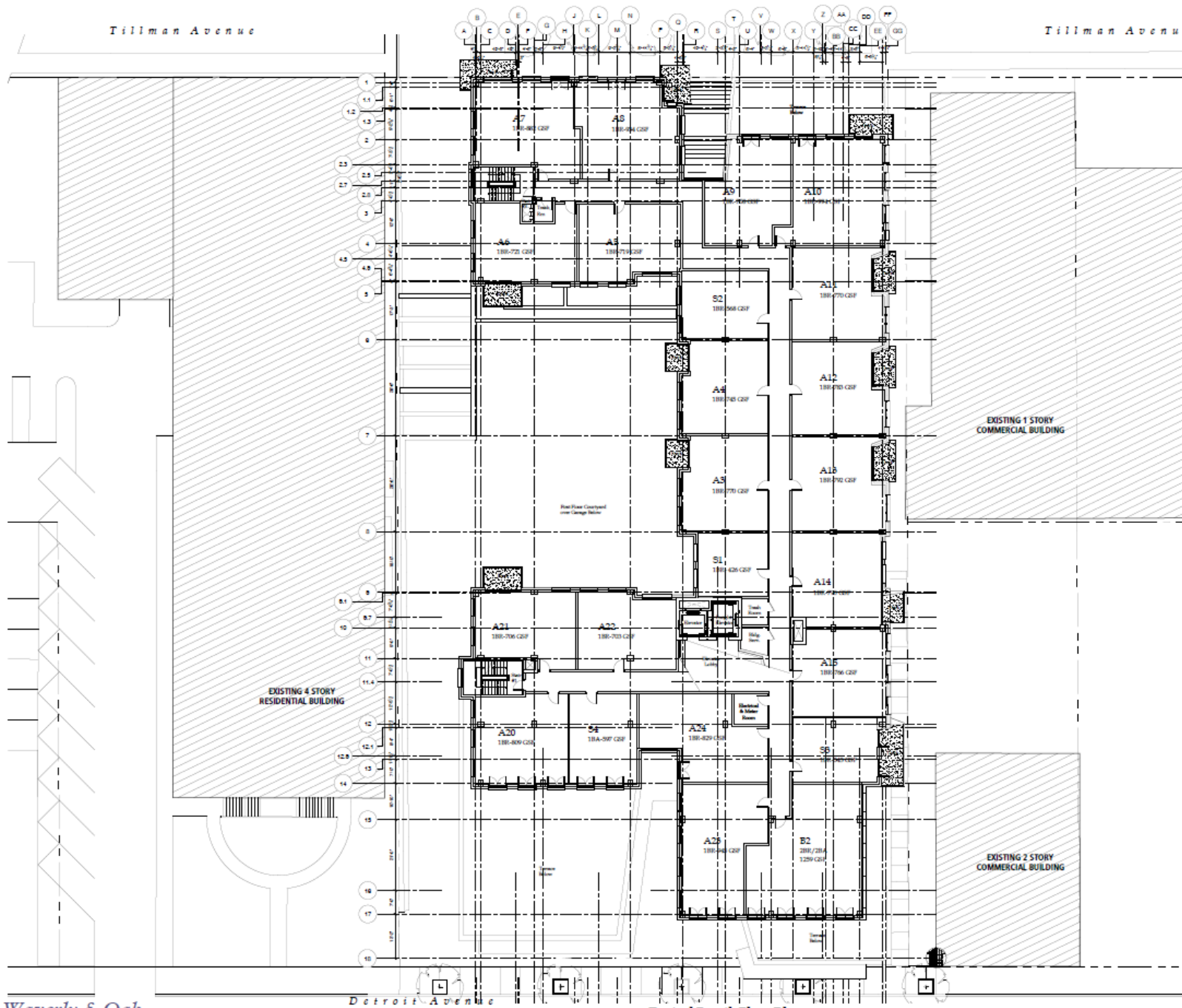


BOND STREET

**DIMITARCHITECTS**  
 architecture + interiors + urban design  
 April 21, 2021

Tillman Avenue

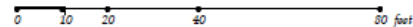
Tillman Avenue



*Waverly & Oak*  
 Gordon Square Neighborhood, Cleveland, Ohio

Detroit Avenue

Typical Fourth Floor Plan

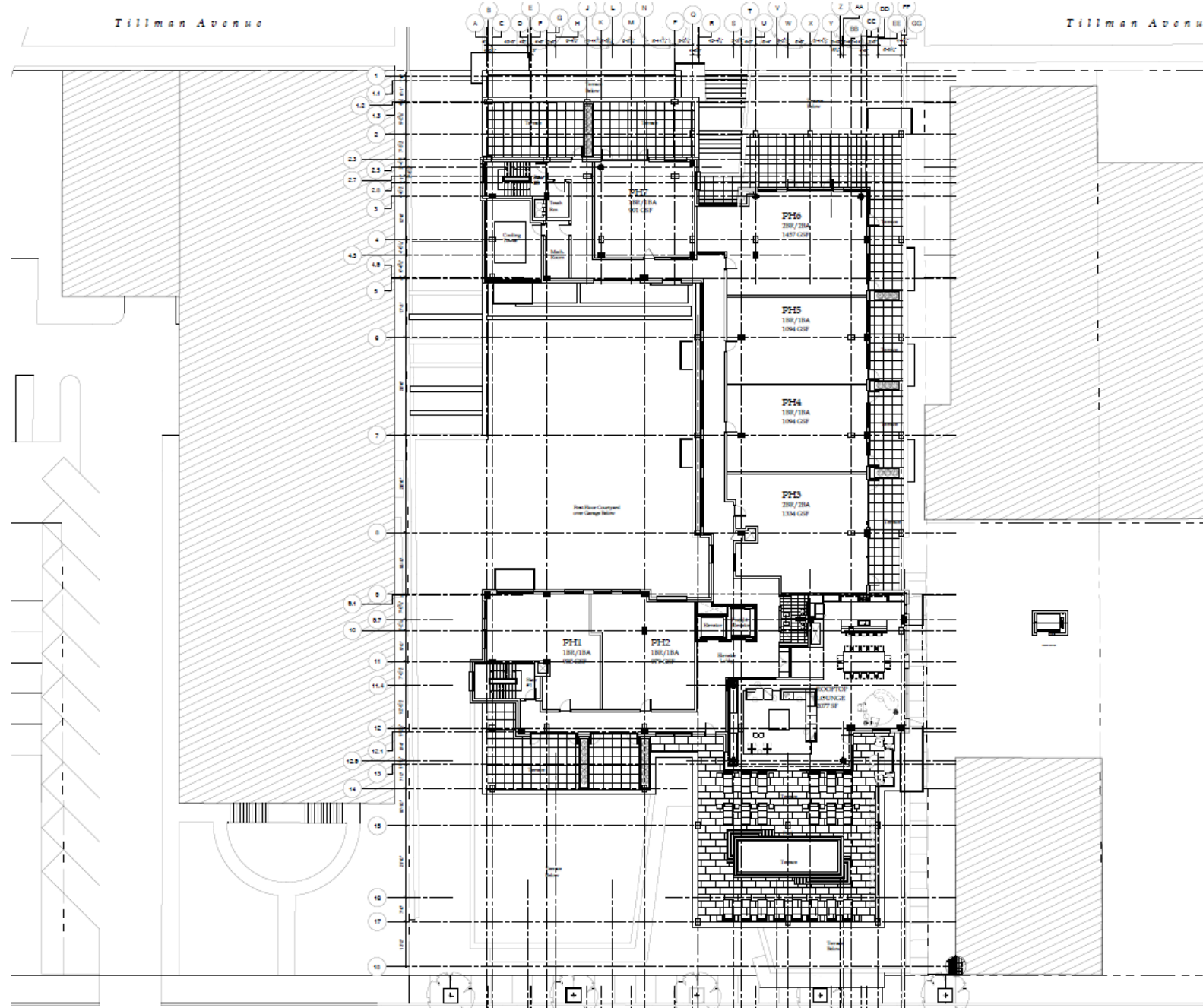


BOND STREET

**DIMIT ARCHITECTS**  
 architecture • interiors • urban design  
 April 21, 2021

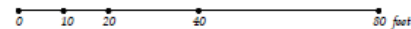
Tillman Avenue

Tillman Avenue



*Waverly & Oak*  
 Gordon Square Neighborhood, Cleveland, Ohio

Penthouse Floor Plan



BOND STREET

**DIMITARCHITECTS**  
 architecture + interiors + urban design  
 April 28, 2021









Tillman Avenue

Tillman Avenue



**Area and Yield Summary**

<b>Lower Level:</b>	<b>35,126 ± s.f. Gross</b>
Parking	30,278 s.f. (86%)
Gross CAM Area	4,848 s.f. (14%)
Parking Spaces	97 Spaces
<b>First Floor:</b>	<b>23,821 ± s.f. Gross</b>
Gross CAM Area	4,877 s.f. (20%)
Commercial Lease Space	12,957 s.f. (54%)
Co-Working Space	4,275 s.f. (18%)
Residential Gross Lease Area:	1,812 s.f. (8%)
One Bedrooms	2 Units
<b>Total Units per Floor</b>	<b>2 Units</b>
<b>Second Floor:</b>	<b>22,150 ± s.f. Gross</b>
Residential Gross Lease Area:	18,645 s.f. (84%)
Gross CAM Area:	3,505 s.f. (16%)
Studios	4 Units
One Bedrooms	20 Units
Two Bedrooms	1 Unit
<b>Total Units per Floor</b>	<b>25 Units</b>
<b>Typical Floor (Floors 3, 4, &amp; 5):</b>	<b>21,262 ± s.f. Gross</b>
Residential Gross Lease Area:	17,845 s.f. (84%)
Gross CAM Area:	3,417 s.f. (16%)
Studios (500 S.F. +/-)	4 Units
One Bedrooms (720 S.F. +/-)	18 Units
Two Bedrooms (1,000 S.F. +/-)	1 Unit
<b>Total Units per Floor</b>	<b>23 Units</b>
<b>Sixth Floor:</b>	<b>20,813 ± s.f. Gross</b>
Residential Gross Lease Area:	17,586 s.f. (84%)
Gross CAM Area:	3,227 s.f. (16%)
Studios	5 Units
One Bedrooms	17 Units
Two Bedrooms	1 Unit
<b>Total Units per Floor</b>	<b>23 Units</b>
<b>Penthouse Floor:</b>	<b>13,343 ± s.f. Gross</b>
Residential Gross Lease Area:	7,791 s.f. (58%)
Rooftop Lounge Area:	2,077 s.f. (16%)
Gross CAM Area:	3,472 s.f. (26%)
Penthouse Apartments:	7 Units
<b>Total Units per Floor</b>	<b>7 Units</b>
<b>Building Totals:</b>	
Total Apartment Units	126 Units
Total Parking Spaces	97 Spaces
Total Gross Leasable Area	(80%) 118,591 ± s.f.
Total CAM Area	(20%) 30,105 ± s.f.
Total Gross Square Feet (Without Garage)	148,706 ± s.f.
Total Garage Area	33,278 ± s.f.

**Waverly & Oak**  
Gordon Square Neighborhood, Cleveland, Ohio

0 10 20 40 80 feet

BOND STREET

DIMITARCHITECTS  
ARCHITECTURE • INTERIOR DESIGN • PROJECT MANAGEMENT  
April 30, 2022

Total Height: 87'



*Waverly & Oak*  
Gordon Square Neighborhood, Cleveland, Ohio

**South Elevation**  
Scale: 1/4" = 1'-0"

**BOND STREET**  
**DIMITARCHITECTS**  
ARCHITECTURE • INTERIORS • PUBLIC SPACE  
April 1, 2021

Total Height: 87'

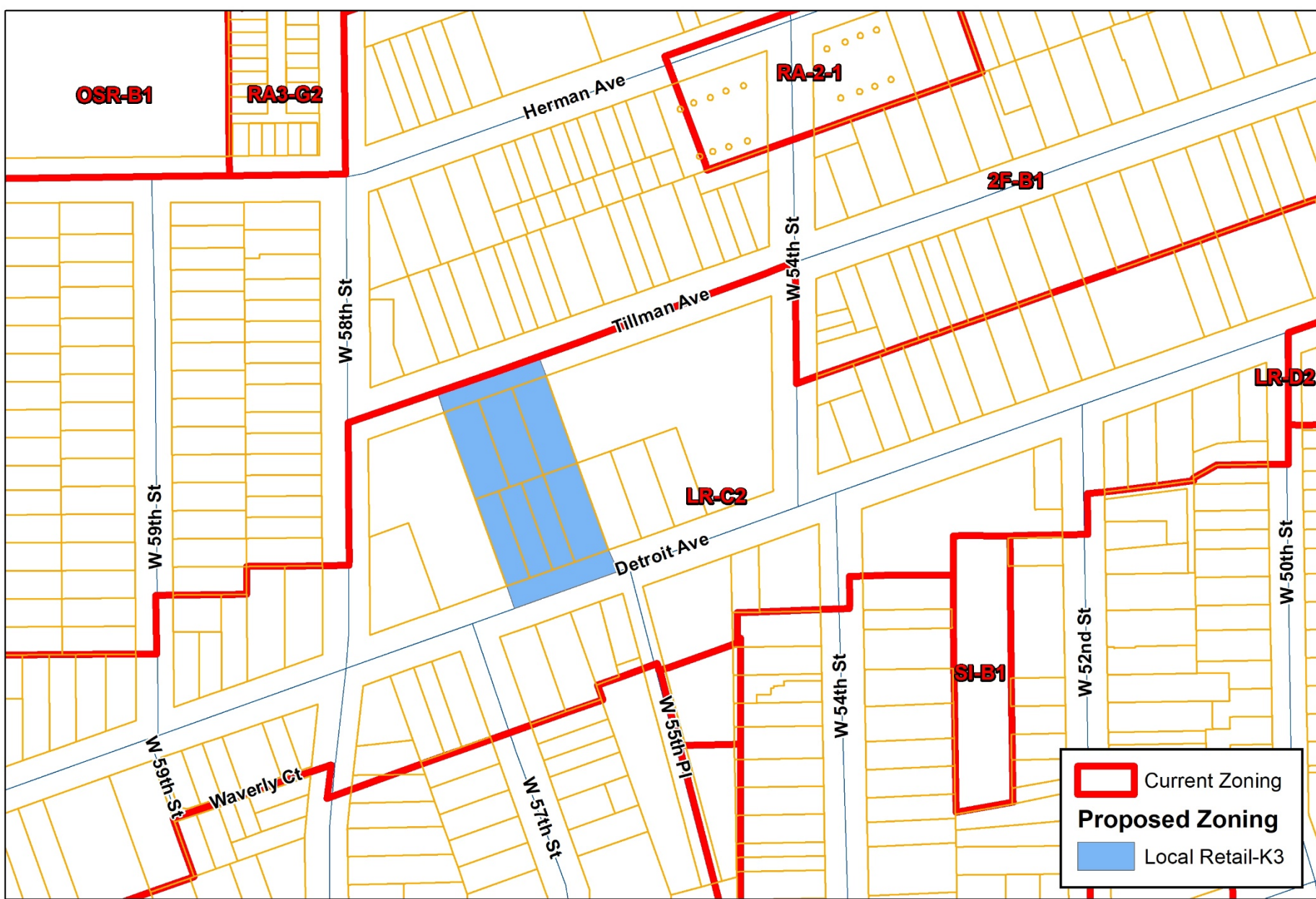


*Waverly & Oak*  
Gordon Square Neighborhood, Cleveland, Ohio

*East Elevation*  
Scale: 1/8" = 1'-0"

BOND STREET

**DIMITARCHITECTS**  
architecture • interiors • urban design  
April 30, 2021



# Siteplan Specific Rezoing

Map Change # 2633

Cleveland City Planning Commission

601 Lakeside Ave. Cleveland, OH 44114



Date: 4.23.2021

# Zoning Map Amendments

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May 7, 2021

Ordinance No. xxx-2021(Ward 9/Councilmember Conwell):  
Changing the Use, Area & Height Districts of parcels of land northeast and southwest of Lakeview Road south of Beulah Avenue, east to the East Cleveland City Line.

# Cleveland City Planning Commission

## Planned Unit Development

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May 7, 2021





**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Telecommunication Towers

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May 7, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## New Townhouse Development In a 2-Family District

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May 7, 2021

# Townhouse Development in a 2-Family District

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May 7, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Lot Consolidation / Splits

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May 7, 2021

# Lot Consolidation / Split

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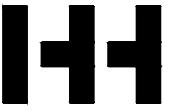
May 7, 2021

For PPN#s 004-01-038, -037, -066, & -067

**Project Addresses: 2041 & 2035 West 20<sup>th</sup> Street; 2060 West 20<sup>th</sup> Street; parcel adjacent to previous to the south**

Project Representative: Westleigh Harper, Horton Harper Architects

Note: this project was Tabled by the Planning Commission on April 16, 2021.



812 Huron Road East, Suite 301  
 Cleveland, Ohio 44115  
 216.600.9028  
 hortonharper.com

Stamp



Project  
**2060**  
**W. 20TH PLACE**  
 2060 W. 20TH PLACE  
 Cleveland, OH 44113

Client  
**BERGES HOME**  
**PERFORMANCE, LLC**  
 2030 W. 19TH STREET  
 CLEVELAND, OH 44119

Revisions  
 1 04/27/21 Revisions

Original Date 03/17/21

- Submission
- Progress
  - Design Review
  - Lot Split/Consolid.
  - Planning
  - Zoning
  - Schematic Design
  - Design Develop.
  - Permit
  - Construction

Current Date 04/26/21

Drawn By HMN

Checked By WMH

Job Number 21007

1

Sheet  
**AERIAL MAP**

Discipline & Number  
**CS1.0**



Stamp



proposed site



corner of W. 20th St. & Smith Ct.



W. 20th Place from Smith Ct.



2060 W. 20th Place site



view of site & neighbor from Smith Ct.



view from end of W. 20 Pl. towards Smith Ct.



adjacent W. 20th Place homes

Project  
**2060**  
**W. 20TH PLACE**  
2060 W. 20TH PLACE  
Cleveland, OH 44113

Client  
**BERGES HOME**  
**PERFORMANCE, LLC**  
2030 W. 19TH STREET  
CLEVELAND, OH 44119

Revisions  
1 04/27/21 Revisions

Original Date 03/17/21

- Submission
- Progress
  - Design Review
  - Lot Split/Consolid.
  - Planning
  - Zoning
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  - Permit
  - Construction

Current Date 04/26/21

Drawn By HMN

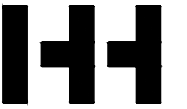
Checked By WMH

Job Number 21007

Sheet  
**EXISTING SITE**  
**CONDITION**  
**IMAGES**

Discipline & Number

**P1.00**



812 Huron Road East, Suite 301  
Cleveland, Ohio 44115  
216.600.9028  
hortonharper.com

Stamp

Project

**2060**  
**W. 20TH PLACE**  
2060 W. 20TH PLACE  
Cleveland, OH 44113

Client

**BERGES HOME**  
**PERFORMANCE, LLC**  
2030 W. 19TH STREET  
CLEVELAND, OH 44119

Revisions

1 04/27/21 Revisions

Original Date 03/17/21

Submission

- Progress
- Design Review
- Lot Split/Consolid.
- Planning
- Zoning
- Schematic Design
- Design Develop.
- Permit
- Construction

Current Date 04/26/21

Drawn By HMN

Checked By WMH

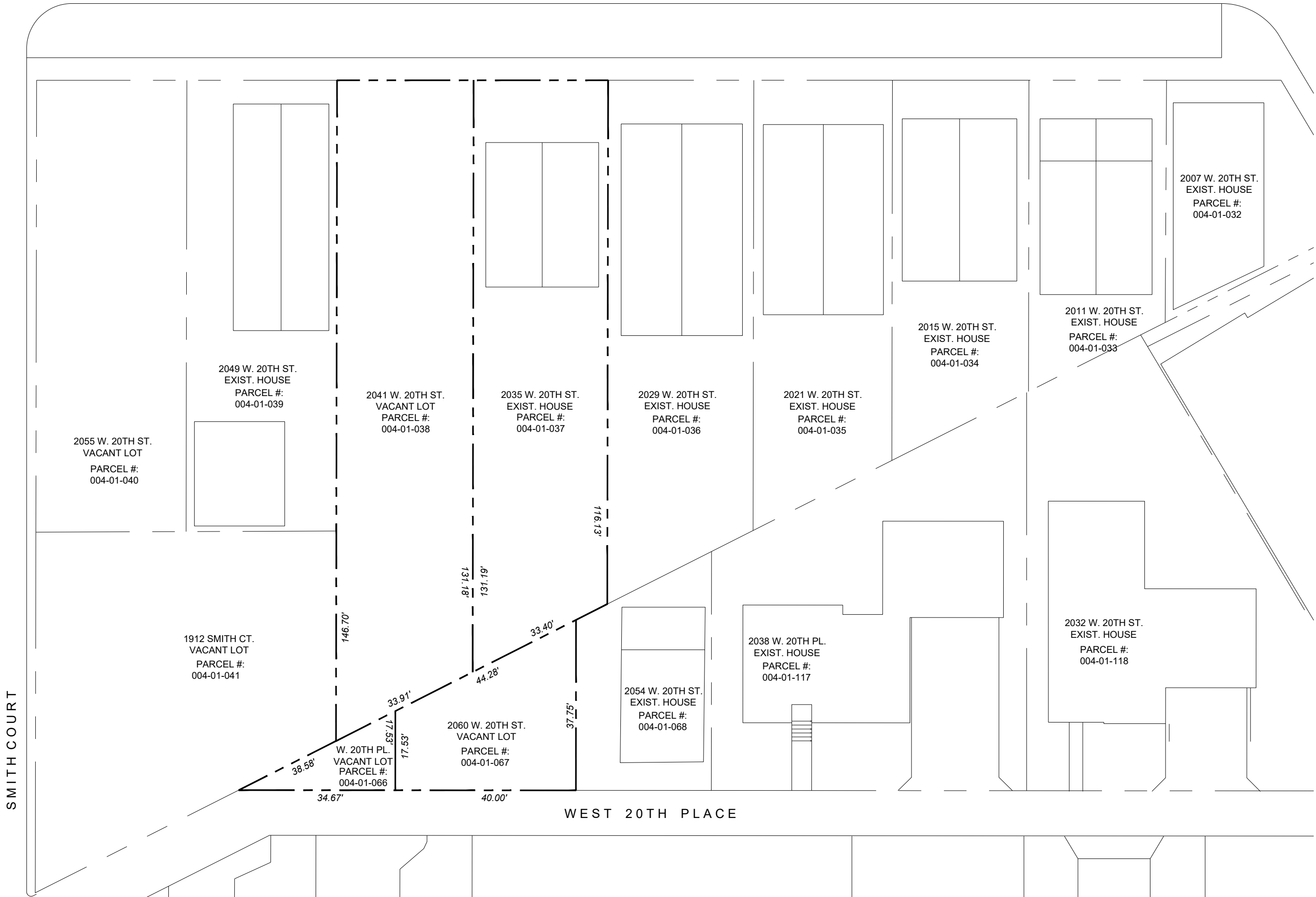
Job Number 21007

Sheet

**EXISTING**  
**PARCEL PLAN**

Discipline & Number

**P1.01**



1 - Existing Parcel Plan

Scale: 1" = 20'-0" N>



812 Huron Road East, Suite 301  
Cleveland, Ohio 44115  
216.600.9028  
hortonharper.com

Stamp

Project

**2060**  
**W. 20TH PLACE**  
2060 W. 20TH PLACE  
Cleveland, OH 44113

Client

**BERGES HOME**  
**PERFORMANCE, LLC**  
2030 W. 19TH STREET  
CLEVELAND, OH 44119

Revisions

1 04/27/21 Revisions

Original Date 03/17/21

Submission

- Progress
- Design Review
- Lot Split/Consolid.
- Planning
- Zoning
- Schematic Design
- Design Develop.
- Permit
- Construction

Current Date 04/26/21

Drawn By HMN

Checked By WMH

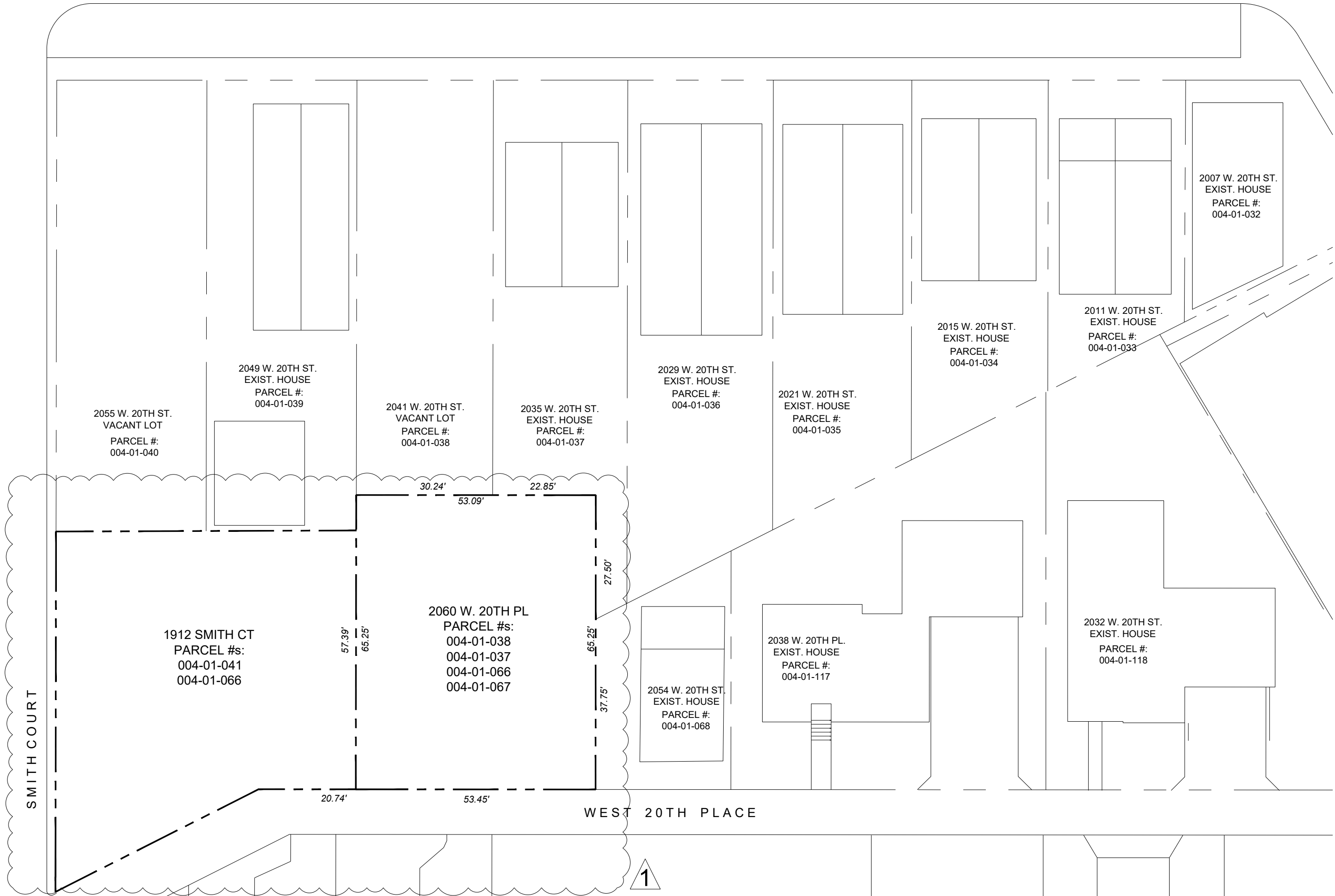
Job Number 21007

Sheet

**PROPOSED**  
**PARCEL PLAN**

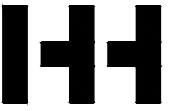
Discipline & Number

**P1.02**



1 - Proposed Parcel Plan

Scale: 1" = 20'-0" N>



812 Huron Road East, Suite 301  
Cleveland, Ohio 44115  
216.600.9028  
hortonharper.com

Stamp

Project  
**2060**  
**W. 20TH PLACE**  
2060 W. 20TH PLACE  
Cleveland, OH 44113

Client  
**BERGES HOME**  
**PERFORMANCE, LLC**  
2030 W. 19TH STREET  
CLEVELAND, OH 44119

Revisions  
1 04/27/21 Revisions

Original Date 03/17/21

- Submission
- Progress
  - Design Review
  - Lot Split/Consolid.
  - Planning
  - Zoning
  - Schematic Design
  - Design Develop.
  - Permit
  - Construction

Current Date 04/26/21

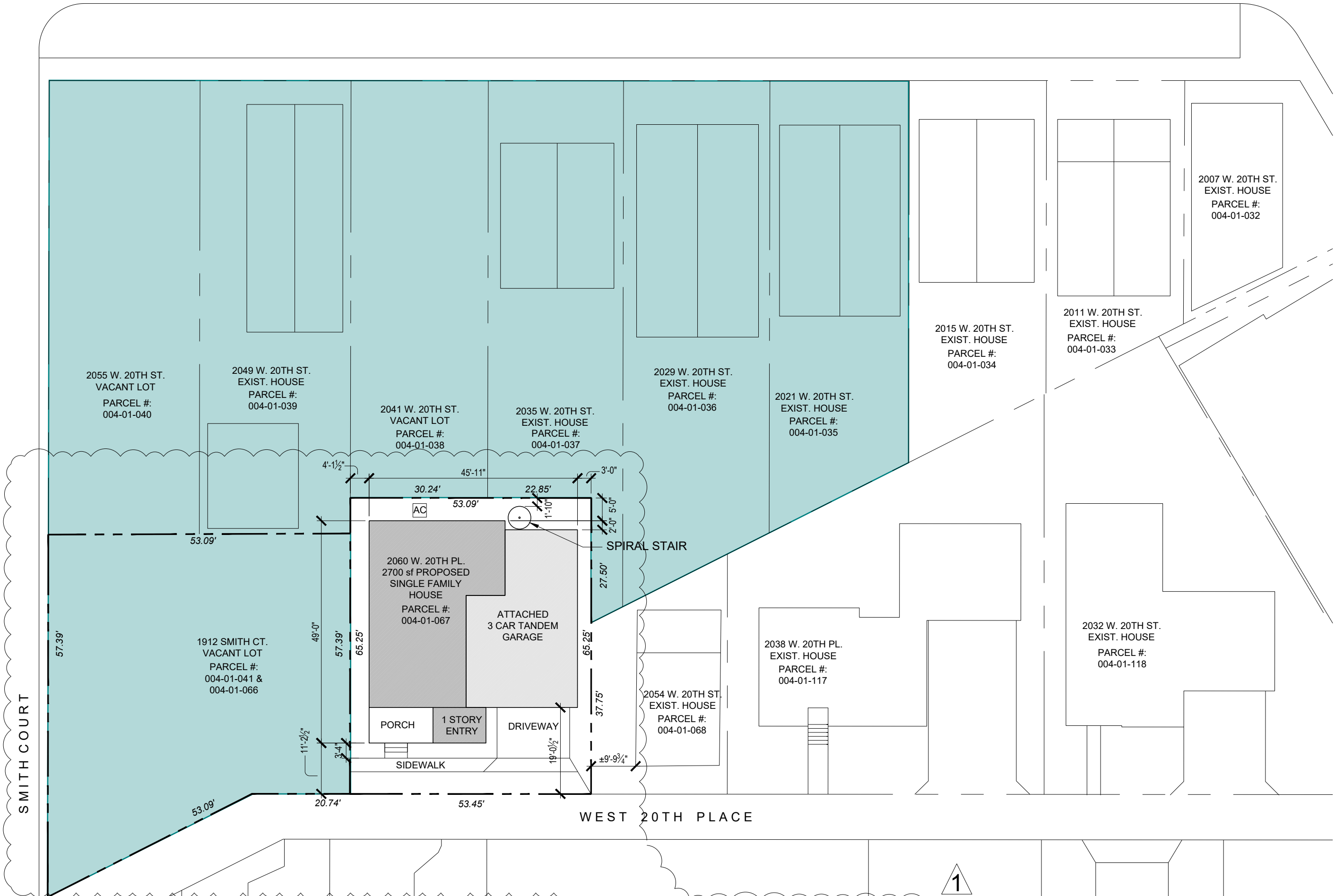
Drawn By HMN

Checked By WMH

Job Number 21007

Sheet  
**PROPOSED**  
**SITE PLAN**

Discipline & Number  
**P1.03**

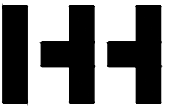


1 - Proposed Parcel Plan

Scale: 1" = 20'-0" N>

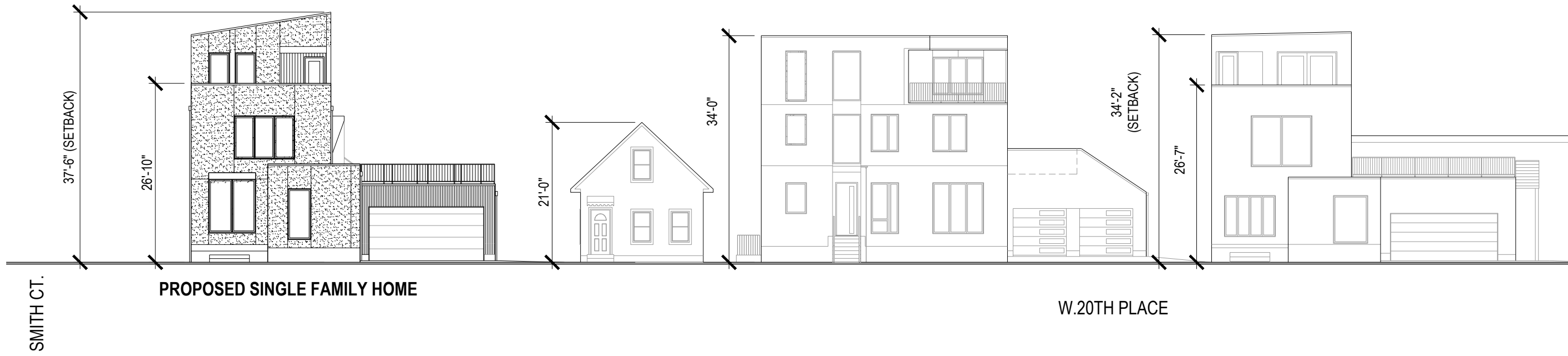
SHADING INDICATES PARCELS TO BE INCLUDED IN FUTURE MULTI-FAMILY RESIDENTIAL DEVELOPMENT (DESIGN IN PROGRESS). FUTURE DEVELOPMENT TO BE REVIEWED UNDER TOWNHOUSE CODE (RA-3 MULTIFAMILY DISTRICT)



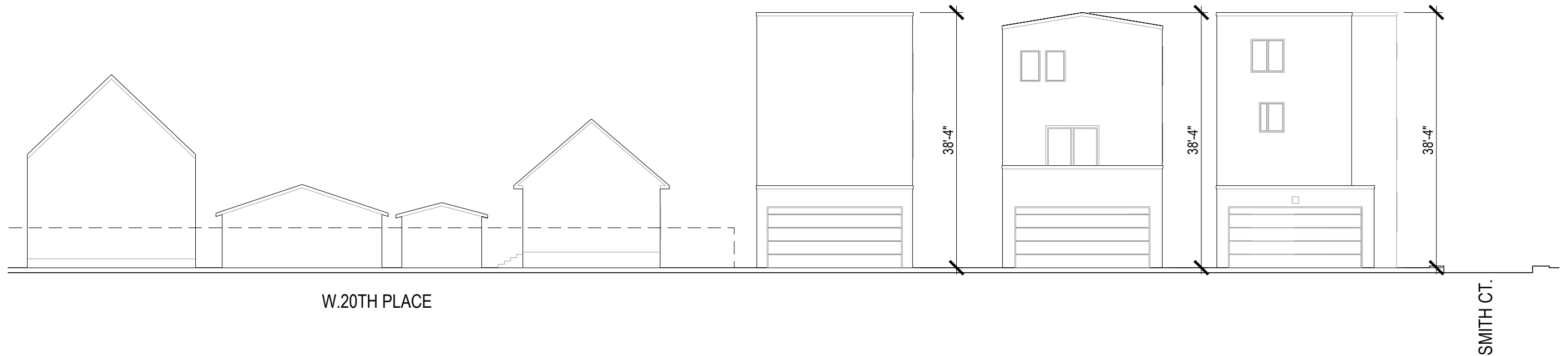


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 Cleveland, Ohio 44115  
 216.600.9028  
 hortonharper.com

Stamp



SITE SECTION LOOKING WEST



SITE SECTION LOOKING EAST

Project  
**2060**  
**W. 20TH PLACE**  
 2060 W. 20TH PLACE  
 Cleveland, OH 44113

Client  
**BERGES HOME**  
**PERFORMANCE, LLC**  
 2030 W. 19TH STREET  
 CLEVELAND, OH 44119

Revisions  
 1 04/27/21 Revisions

Original Date 03/17/21

- Submission
- Progress
  - Design Review
  - Lot Split/Consolid.
  - Planning
  - Zoning
  - Schematic Design
  - Design Develop.
  - Permit
  - Construction

Current Date 04/26/21

Drawn By HMN

Checked By WMH

Job Number 21007

Sheet  
**SITE SECTIONS**

**1 - Site Sections**

Scale: N/A

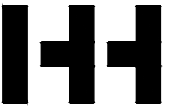
Discipline & Number

**P1.04**



**1 - Exterior Renderings**

Scale: N/A



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Stamp

Project  
**2060**  
**W. 20TH PLACE**  
 2060 W. 20TH PLACE  
 Cleveland, OH 44113

Client  
**BERGES HOME**  
**PERFORMANCE, LLC**  
 2030 W. 19TH STREET  
 CLEVELAND, OH 44119

Revisions  
 1 04/27/21 Revisions

Original Date 03/17/21

- Submission
- Progress
  - Design Review
  - Lot Split/Consolid.
  - Planning
  - Zoning
  - Schematic Design
  - Design Develop.
  - Permit
  - Construction

Current Date 04/26/21

Drawn By HMN

Checked By WMH

Job Number 21007

Sheet  
**EXTERIOR**  
**RENDERINGS**

Discipline & Number

**P1.05**

# Cleveland City Planning Commission

## Conditional Use Permit

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May 7, 2021

May 7, 2021



**NOTHING SCHEDULED TODAY**



# Cleveland City Planning Commission

## Mandatory Referrals

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May 7, 2021

# Mandatory Referrals

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May 7, 2021

Ordinance No. 305-2021(Ward 3/Councilmember McCormack): Authorizing the Mayor and Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by Mavrek Schiff Ventures LLC, or its designee, located at 2461 West 25<sup>th</sup> Street for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the TREO Development Project.



**MAVREK**  
DEVELOPMENT

**SCHIFF**  
CAPITAL GROUP

**TKG**  
THE KRUEGER GROUP  
BUILD WITH A PARTNER

# TREO

Cleveland, OH |

TREO

TREO

**MAVREK**  
DEVELOPMENT

**SCHIFF**  
CAPITAL GROUP

**TKG**  
THE KRUEGER GROUP  
BUILD WITH A PARTNER

**NORR**

# Renderings



Southwest Corner View From Moltke Court

# Renderings



Aerial View - Looking North

# Renderings



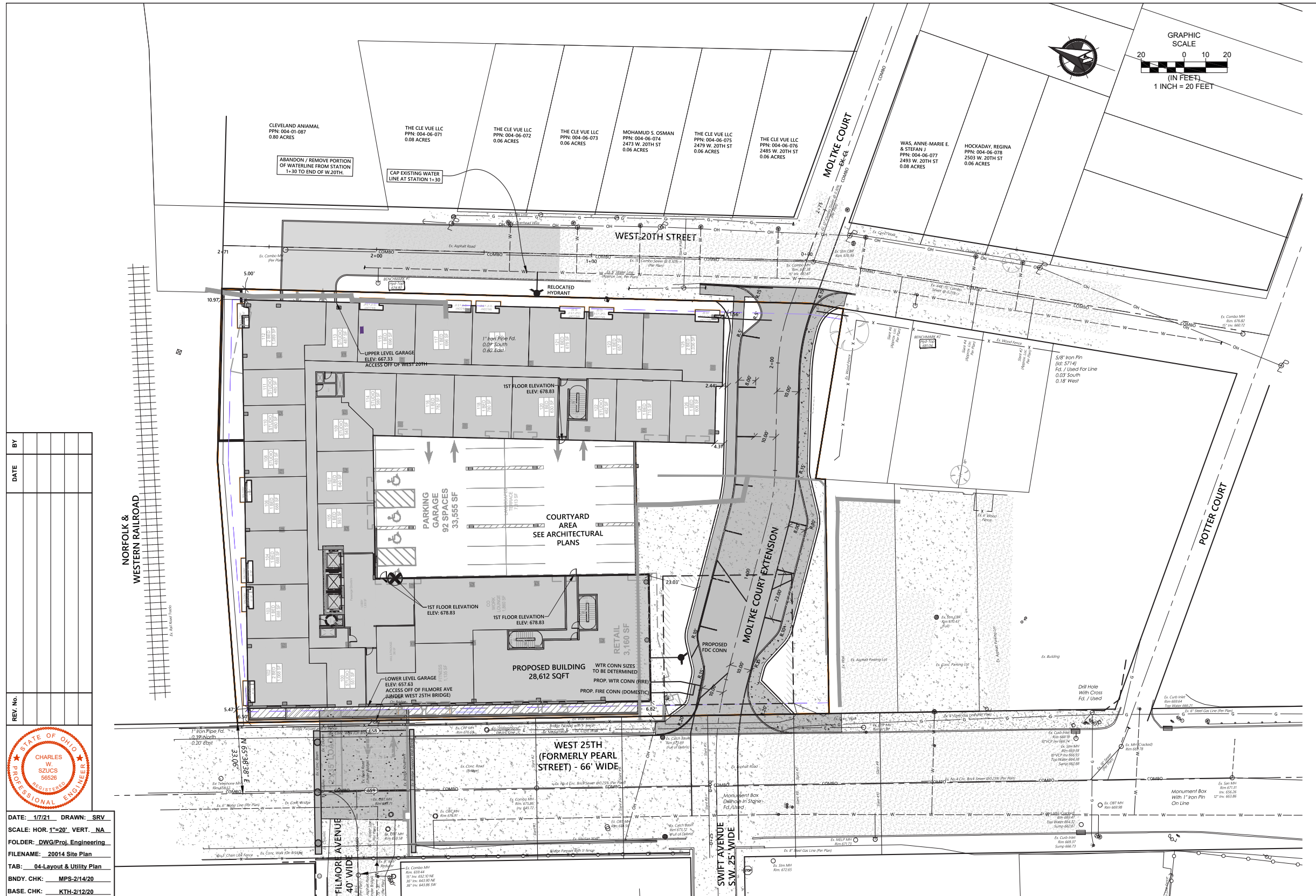
W. 25th Street - Looking Southeast

# Renderings



Southwest Corner View From Moltke Court (Night)

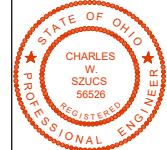
# Site Plan



REV. No.	DATE	BY

DATE: 1/7/21	DRAWN: SRV
SCALE: HOR. 1"=20' VERT. 1"=40'	
FOLDER: DWG/Proj_Engineering	
FILENAME: 20014 Site Plan	
TAB: 04-Layout & Utility Plan	
BNDY. CHK: MPS-2/14/20	
BASE. CHK: KTH-2/12/20	



## MOLTKE COURT EXTENSION

CITY OF CLEVELAND - CUYAHOGA COUNTY - OHIO

---

POLARIS ENGINEERING & SURVEYING, INC.  
 34600 CHARLTON ROAD - SUITE D  
 WILLOUGHBY HILLS, OHIO 44094  
 (440) 944-4433 (440) 944-3722 (fax)  
 www.polaris-es.com

## LAYOUT & UTILITY PLAN

---

CONTRACT No.	
20014	
SHEET	OF
04	14



# Floor Plans



GRADE PLANE CALCULATION				
NW	NE	SW	SE	
679'	658'	672'	676.5'	
$2685.5/4 = 671.375$				
GRADE PLANE MEASURED 6' FROM BUILDING				
NW	NE	SW	SE	
657'	658'	672'	676.5'	
$2663.5/4 = 665.875$				
GRADE PLANE MEASURED 6' FROM BUILDING				

GROUND FLOOR PLAN

SCALE: 1"=30'

# Cleveland City Planning Commission

## Administrative Approvals

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May 7, 2021

# Administrative Approvals

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May 7, 2021

Ord. No. 227-2021(Ward 3/Councilmember McCormack):

Authorizing the Director of Capital Projects to issue a permit to LSMJ V, LLC to encroach into the public rights-of-way of West St Clair Avenue and West 6<sup>th</sup> Street by installing, using, and maintaining a canopy, ten supports and railing in front of the building at the northeast corner of West St Clair Avenue and West 6<sup>th</sup> Street.

# Administrative Approvals

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May 7, 2021

Ord. No. 245-2021(Ward 3/Councilmember McCormack): Authorizing the Director of Capital Projects to issue one or more permits to East 12<sup>th</sup> Properties LLC to encroach into the public rights-of-way of Hamilton Avenue and East 12<sup>th</sup> Street by using and maintaining existing eaves and an existing canopy.

# Administrative Approvals

---



May 7, 2021

Ord. No. 247-2021(Ward 15/Councilmember Spencer): Authorizing the Director of Public Works to execute a deed of easement granting to the Tamir Rice Foundation certain easement rights in property located at Cudell Commons, and declaring that the easement rights granted are not needed for the City's public use.

# Administrative Approvals

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May 7, 2021



Ordinance No. 251-2021(Ward 5/Councilmember Cleveland): Authorizing the Commissioner of Purchases and Supplies to sell City-owned property no longer needed for public use located in the vicinity of 5806 Woodland Avenue to the Board of Trustees of the Cleveland Public Library for purposes of renovating and expanding the Woodland Branch.

# Administrative Approvals

---

May 7, 2021



Ordinance No. 263-2021(Ward 12/Councilmember Brancatelli): Giving consent of the City of Cleveland to the County of Cuyahoga for the resurfacing of Spring Road from Broadview Road to Jennings Road; to apply for and accept and allocation of County Motor Vehicle License Tax Funds for the improvement; and authorizing the Director of Capital Projects to enter into one or more contracts for the construction, and any other necessary agreements for the making of the improvement.

# Administrative Approvals

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May 7, 2021

Resolution No. 265-2021(Ward 7/Councilmember B. Jones): Appointing an assessment equalization board to hear objections to estimated assessments with respect to the continuation of The Cleveland Superior Arts Improvement District and the comprehensive services plan for the District, and declaring an emergency.



# Cleveland City Planning Commission

## Special Presentations

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May 7, 2021

# Special Presentation

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May 7, 2021

Destination Cleveland Wayfinding Expansion

**Address: 3813 Euclid Avenue**

Presenter: Alex Harnocz, Destination Cleveland

## **Project Summary**

Destination Cleveland is seeking to expand its system of pedestrian wayfinding signs. First installed prior to the 2016 Republican National Convention, the wayfinding system has become a fixture in downtown and Cleveland's inner-ring neighborhoods. They provide maps and information at a pedestrian scale to visitors and residents.

There are 55 wayfinding signs located in Downtown Cleveland, the easternmost of which is at East 18<sup>th</sup> and Euclid Avenue. This proposed location would tie into the Downtown system and is the first step of expansion into Midtown.

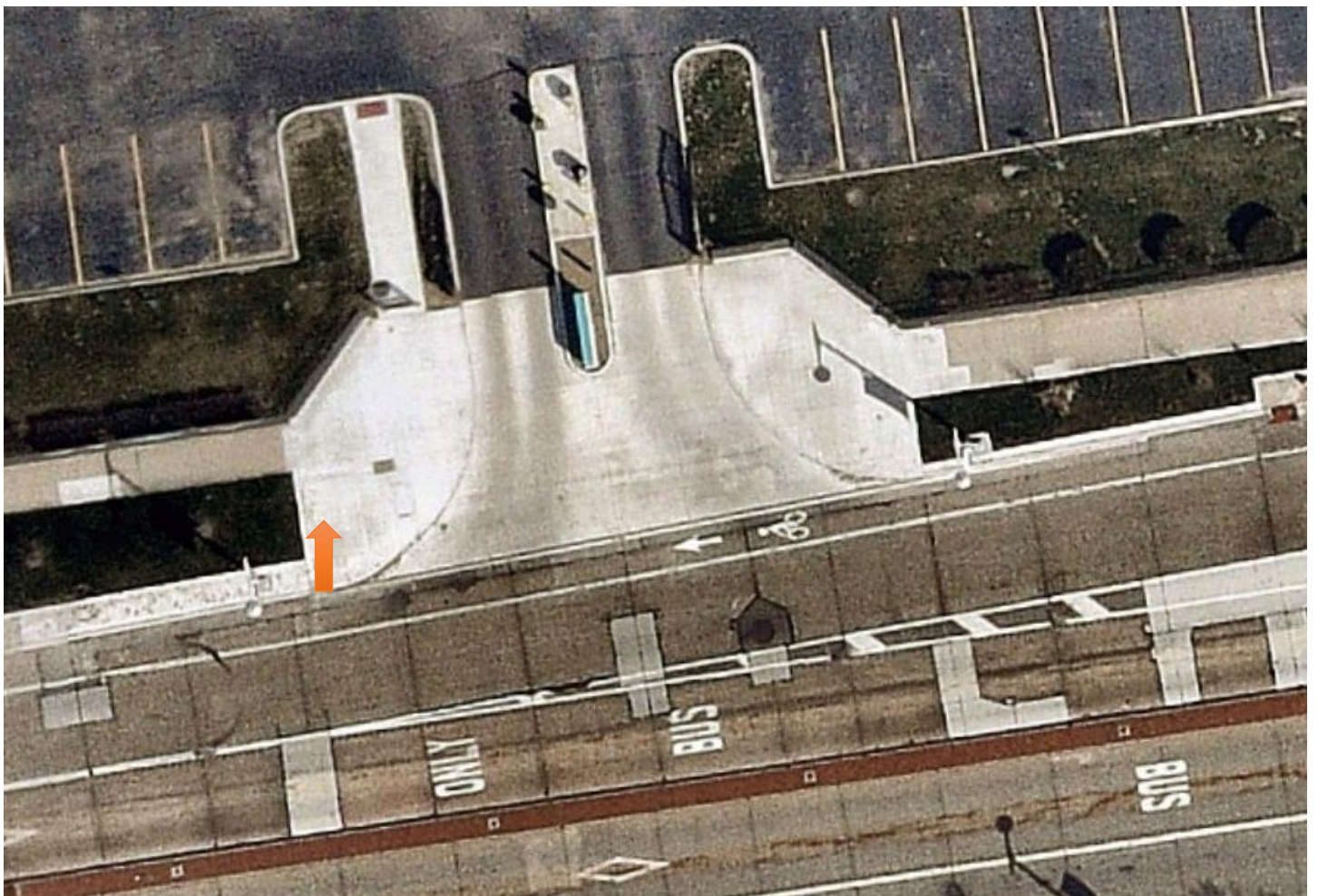
The wayfinder is a monolith-type sign set on a concrete base. The cabinet which holds the map is internally illuminated.

The identified site on Euclid Avenue just west of the entrance to the Cleveland Children's Museum will provide visibility from one of the most heavily trafficked visitor attractions in Midtown. The block between East 36<sup>th</sup> and East 40<sup>th</sup> also is home to the Cleveland Masonic music venue, and the Ohio Department of Job and Family Services. A future hotel development and another hotel redevelopment have been proposed in this block, which would add future visitor traffic.

Each wayfinding monument sign represents an investment of approximately \$16,000 in placemaking, streetscape, and walkability.



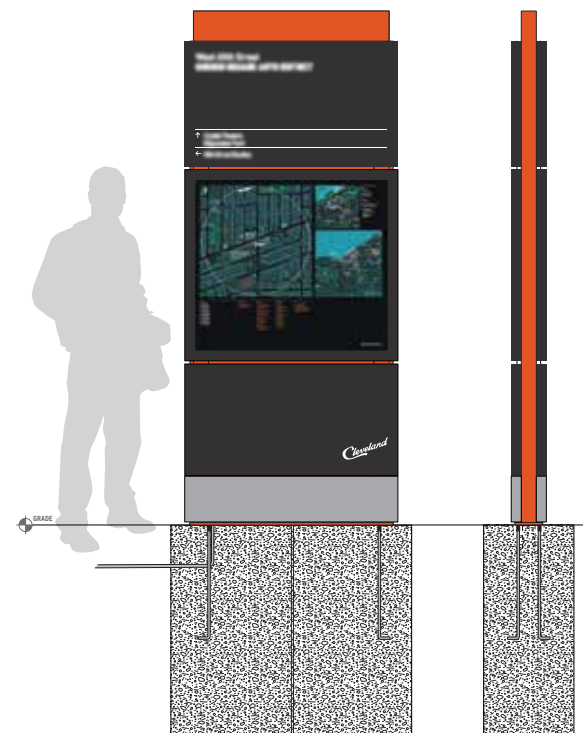
# Site Context



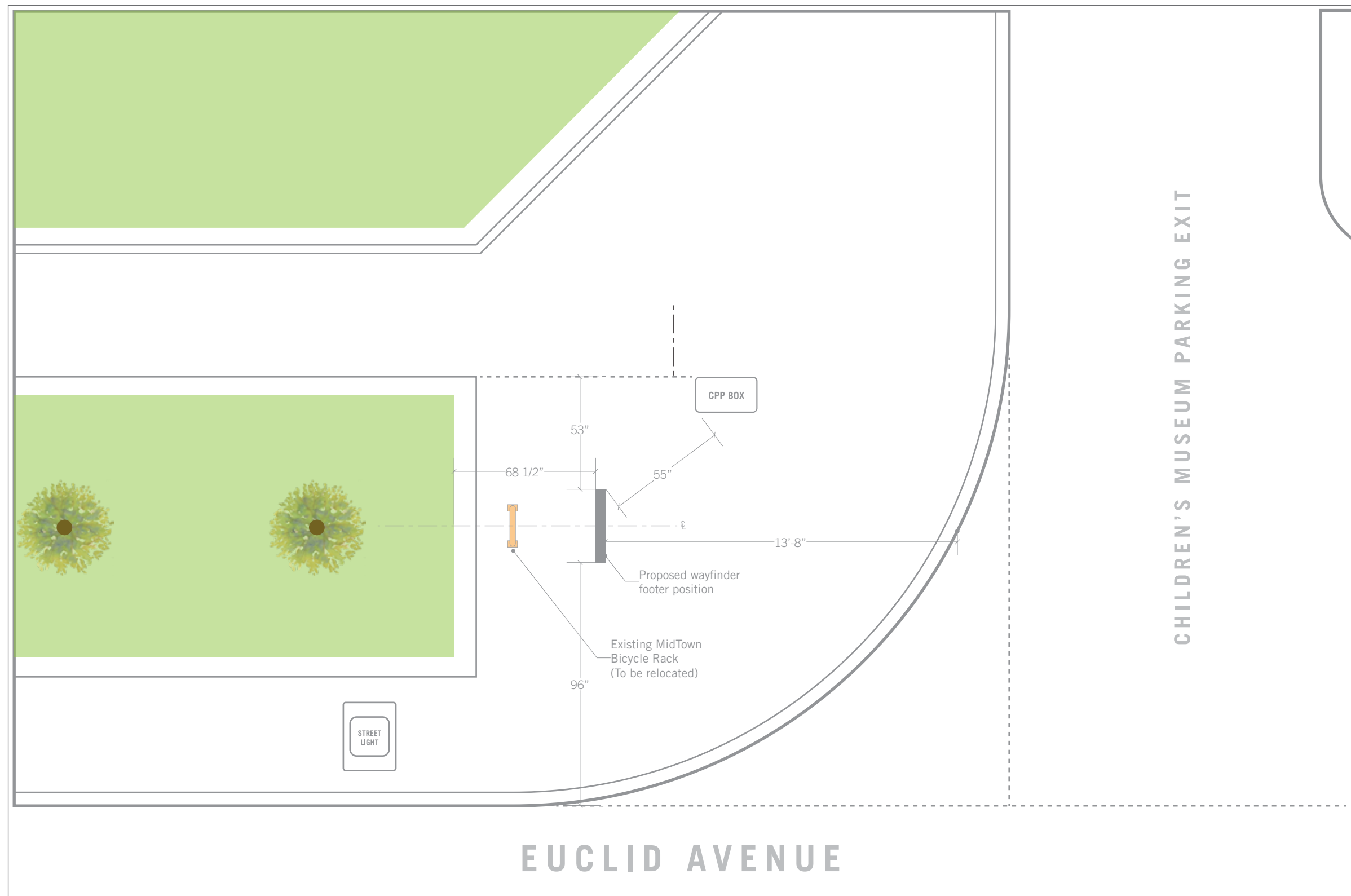
01

Double Faced Internally Illuminated Wayfinder

3'-6 1/2" W x 8'-6" H x 7" D Internally illuminated fabricated aluminum wayfinding sign.  
 ELECTRICAL: TBD  
 INSTALLATION: TBD  
 QTY: 01  
 SCALE: Not to Scale  
 SIGN TYPE: Wayfinder  
 SQUARE FOOTAGE: 30.10 FT<sup>2</sup>  
 FRONTAGE: TBD  
 SIDEWALK WIDTH: TBD  
 SIGN WEIGHT: 296 Lbs.  
 SIGN PROTRUSION: 7" Width  
 HEIGHT FROM GRADE: 8'-6 1/2"  
 TYPEFACES: Display / Custom



Example Drawing Not to Scale - Reference Only



CHILDREN'S MUSEUM PARKING EXIT

EUCLID AVENUE



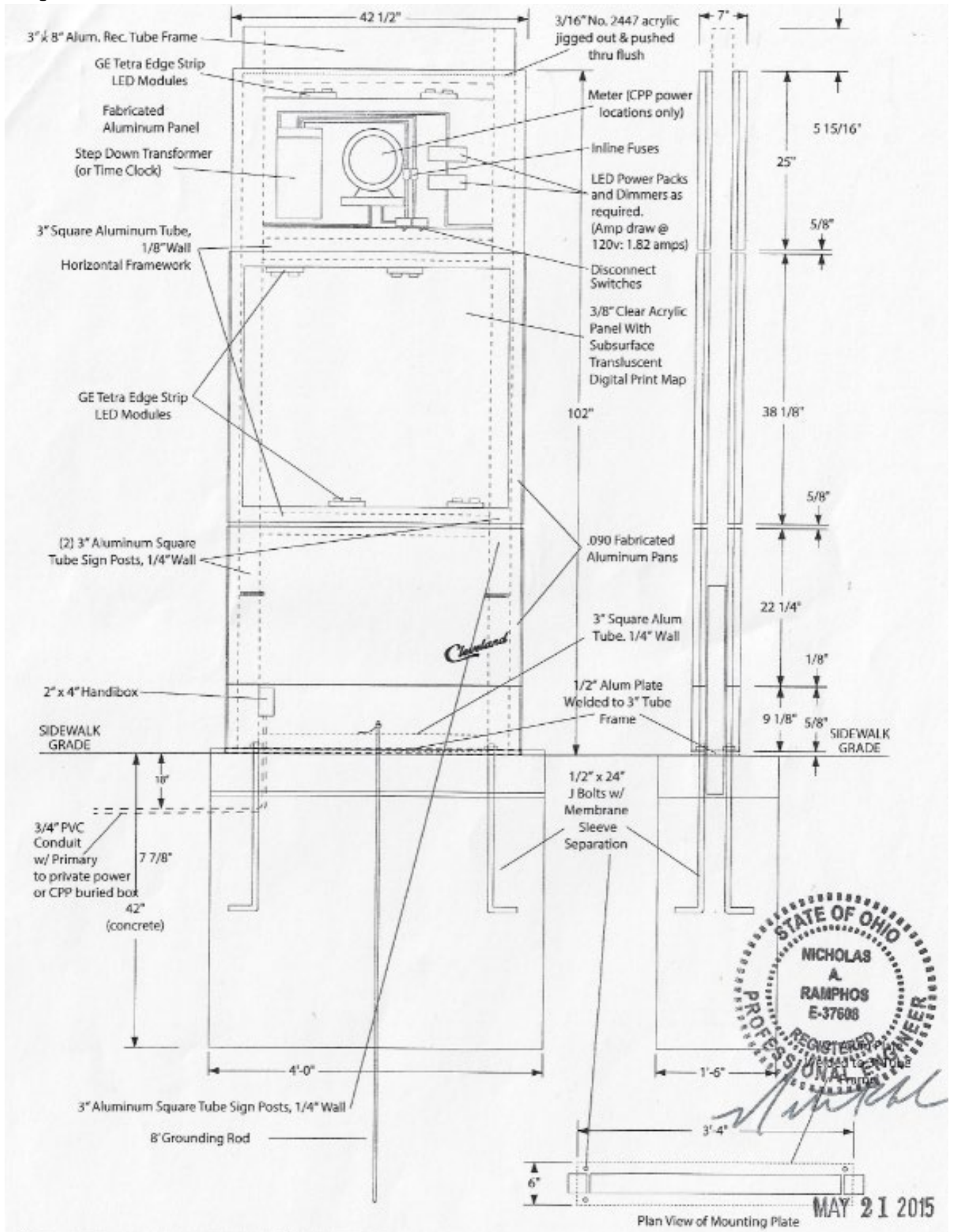
## Existing Conditions



**Looking West – White template marks footprint of sign**

**Note:** Midtown bike rack will be relocated to east side of driveway prior to sign construction.

# Design Schematic





Section / Elevation Drawings



### *Materials:*

- Features high performance vinyl graphics, a powder coated aluminum frame, back-lit acrylic panels with graphics (back-mounted flush into aluminum frame), powder coated aluminum cladding, and silver powder coated aluminum metal base panels

### *Maintenance:*

- Designed to withstand wear from weather conditions and vandalism
- Owned & insured by Destination Cleveland
- Maintenance and Cleaning agreement with Midtown Cleveland, Inc. pending



Heads-Up Map is customized for each sign face at each location.

Assets highlighted in map are revised in partnership with City, Midtown CDC, and other regional partners

# Cleveland City Planning Commission

## Design Review Cases

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May 7, 2021

# Northeast Design Review Case

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May 7, 2021

NE2020-031 -Hough Branch Library New Construction: Seeking Final Approval

**Project Location: Hough Avenue and East 66<sup>th</sup> Street**

Project Representative: Robert Donaldson, Moody Nolan

Note: this project received Schematic Design Approval by the Planning Commission on December 18, 2020.



MOODY•NOLAN

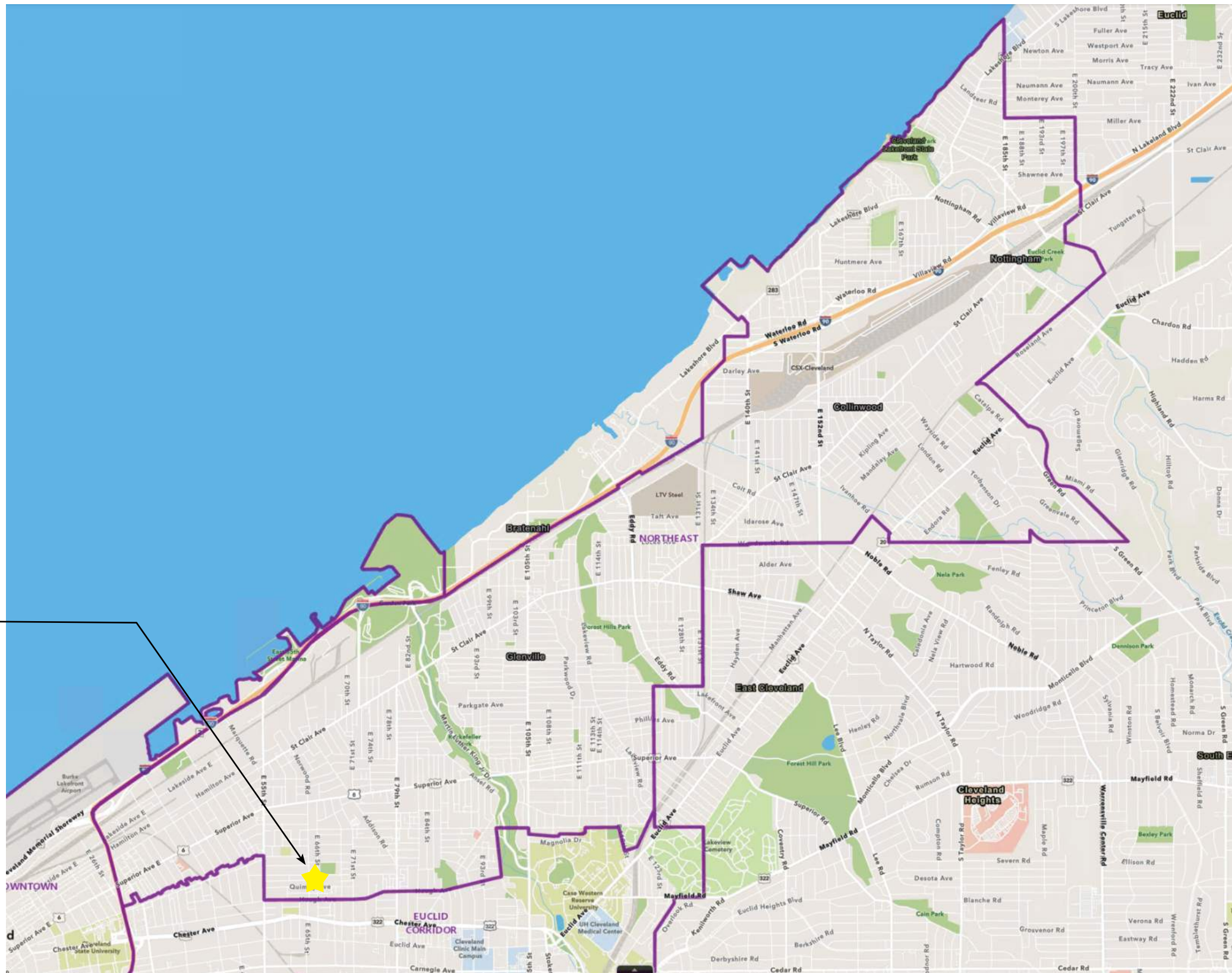
NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021



CLEVELAND PUBLIC LIBRARY

PROPOSED PROJECT SITE



MOODY•NOLAN

## DESIGN REVIEW REGION MAP

## NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021





1. LEAGUE PARK
2. FATIMA FAMILY CENTER
3. ST. AGNES-OUR LADY OF FATIMA CHURCH
4. MARTIN LUTHER KING JR. HIGH SCHOOL
5. CHATEAU HOUGH VINYARD
6. DAVE'S SUPER MARKET
7. UH RAINBOW CENTER
8. FUTURE SITE OF CLEVELAND FOUNDATION HEADQUARTERS
9. DUNHAM TAVERN



MOODY•NOLAN

## SITE CONTEXT

## NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021



CLEVELAND PUBLIC LIBRARY





1. VIEW NORTH WEST FROM E. 66TH ST



1. VIEW WEST FROM E. 66TH ST



1. VIEW SOUTH WEST FROM E. 66TH ST



1. VIEW FROM OF E. 66TH ST & LEXINGTON AVE



MOODY+NOLAN

## EXISTING CONDITIONS

## NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021



CLEVELAND PUBLIC LIBRARY



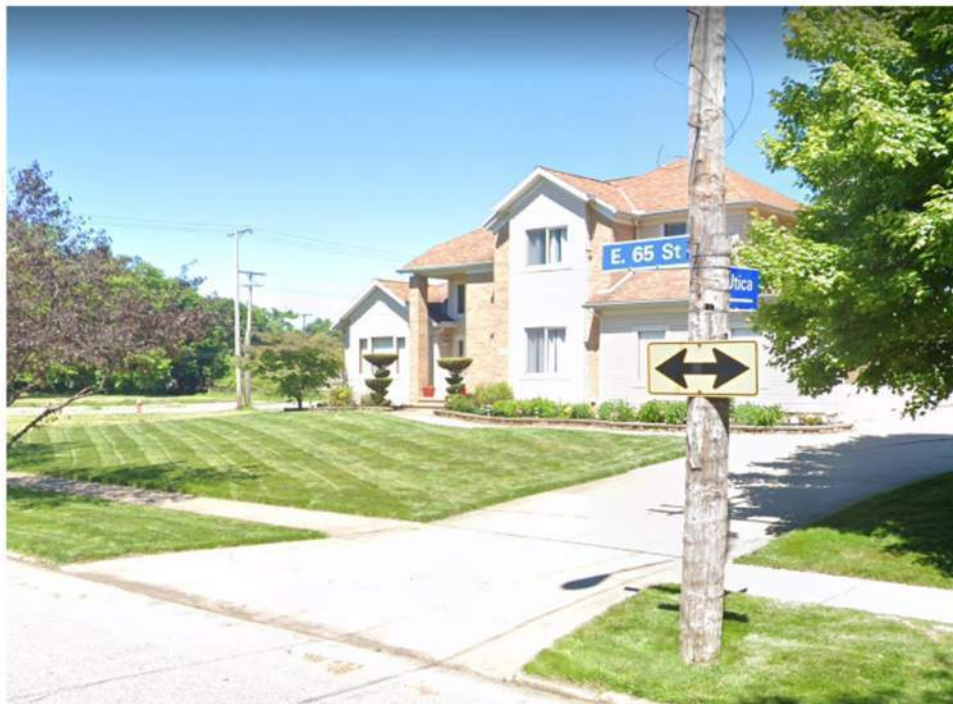
LEAGUE PARK



FATIMA FAMILY CENTER



BUILDING NORTHWEST OF INTERSECTION



RESIDENCE ON EAST 65TH STREET



ST. AGNES OUR LADY OF FATIMA



RESIDENCE ON EAST 66TH STREET



WEATHER  
Sunny and warmy to-  
day. High 84. Warm  
tonight.  
Finds on Page 10.

# THE PLAIN DEALER

YOUR BEST NEWSPAPER — ALL DAY

125TH YEAR—NO. 204      CLEVELAND, SATURDAY MORNING, JULY 23, 1966      83 PAGES      19 CENTS

## SHOOTING ENDS HOUGH CALM

### Father of 5 Wounded in Auto, Is 'Critical'

A 29-year-old Negro man was shot in the head and wounded critically in another early morning outbreak of violence on Cleveland's slum East side.

The shooting occurred in the parking lot of the Dougherty Lumber Co. at 11000 East Avenue shortly before 3 a.m.

Police said shots were fired at the victim through the window of his automobile.

The incident cracked a period of relative quiet on the rash stretch of racial turmoil on the East side.

**THE WOUNDED MAN'S** condition was critical at Lake side Hospital at University Hospital.

The victim was identified as Bennett Toney, 29, of 3010 East Avenue N.E., the father of five children.

His wife, Etta Mae, 30, said he had left home about mid-night and said he was on his way home when he was shot.

Police searched while the helicopter played its lights on the roof but no one was seen.

**SOON AFTER**, a crowd of about 125 white persons was gathered on the street to see the scene of a day of rioting.

Continued on Page 3, Col. 1

### Crack Down Harder

*An Editorial*

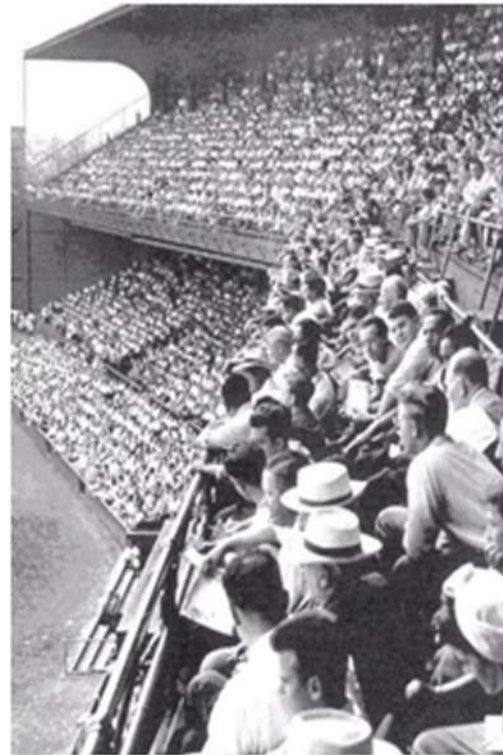
This can be the worst weekend in Cleveland history unless more drastic action is taken to end the Hough violence.

Mayor Lecher should act decisively now.

If more National Guard troops are needed, bring them in.

If a curfew is needed, clamp it on.

The police, firemen, troops who have fought responsible odds, deserve reinforcement.



MOODY•NOLAN

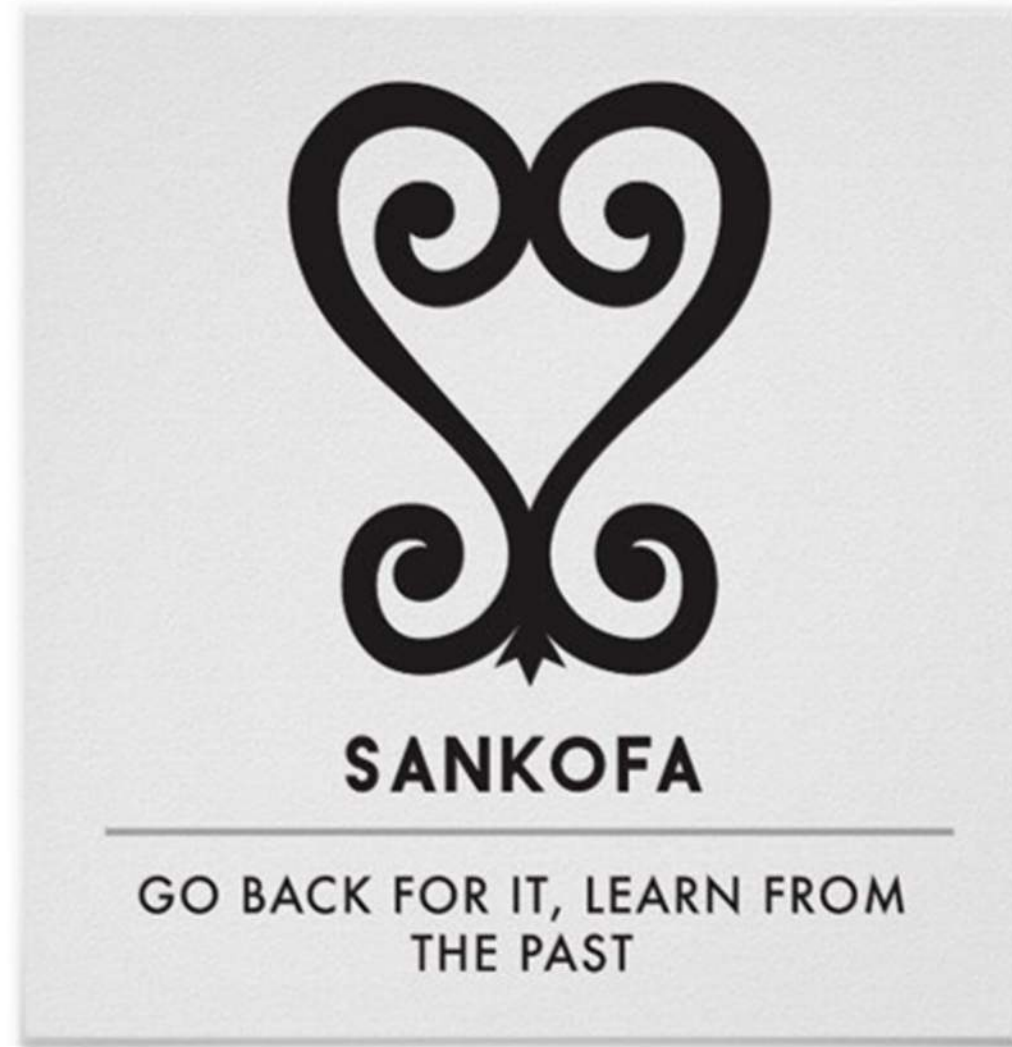
HISTORY OF HOUGH

NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021



CLEVELAND PUBLIC LIBRARY



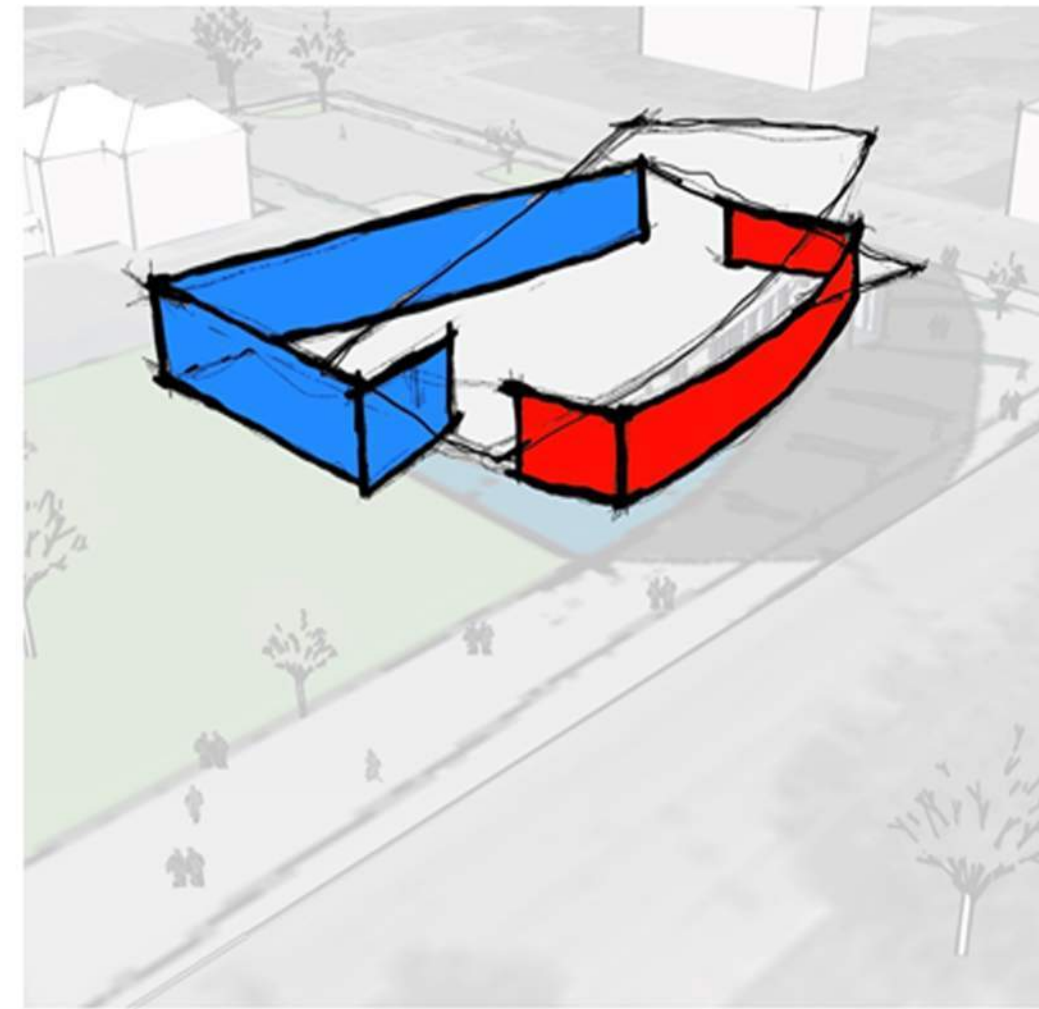
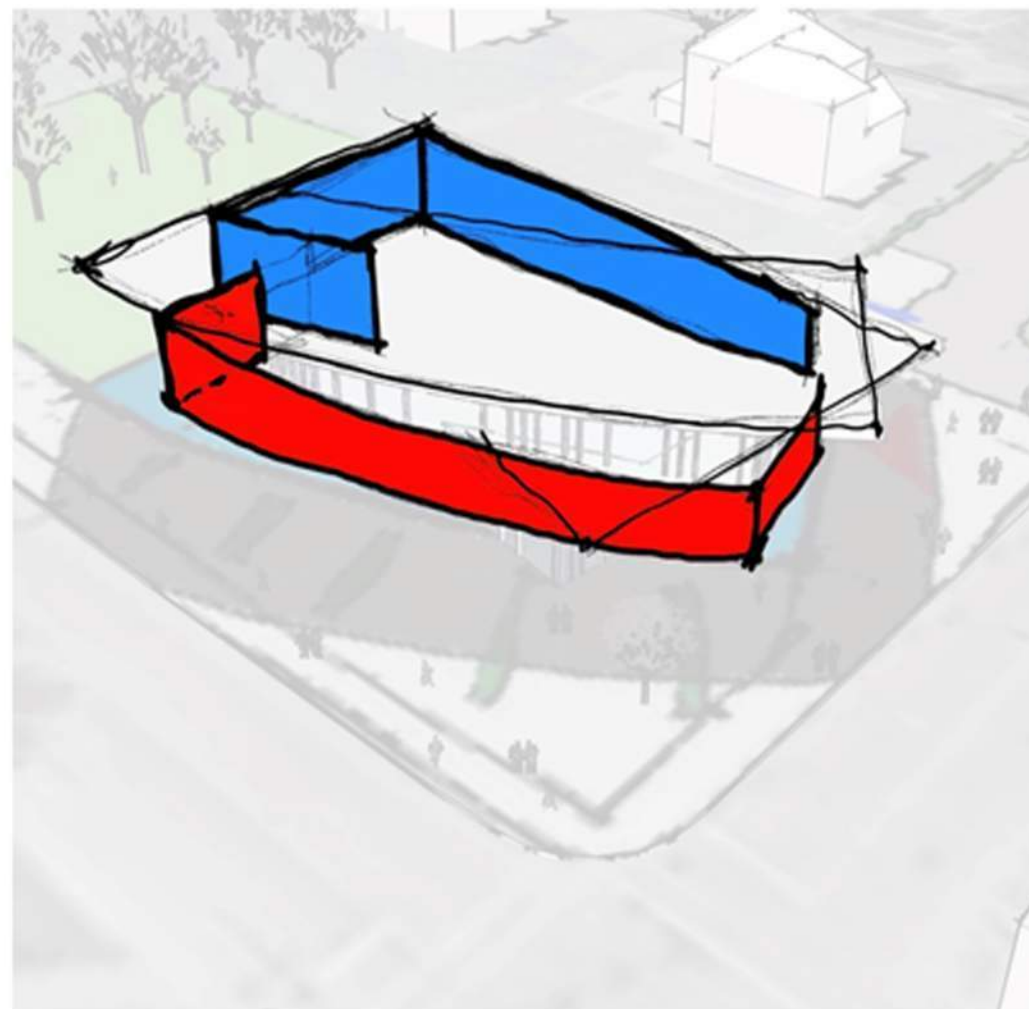
SANKOFA

NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021







SHIFT

NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021









## TREES



AR - RED SUNSET MAPLE



BN - RIVER BIRCH



CO - HACKBERRY



LT - TULIPTREE



MV - SWEETBAY MAGNOLIA



NS - BLACKGUM



QRF - CRIMSON SPIRE OAK

## SHRUBS



CLE - SUMMERSWEET



CAF - DOGWOOD



HYA - HYDRANGEA



HYK - ST. JOHNSWORT



IGL - HOLLY



IT - SWEETSPIRE



POTS - POTENTILLA

## GRASSES AND PERENNIALS



CXP - PENNSYLVANIA SEDGE



PAN - RED SWITCH GRASS



AQ - COLUMBINE



RF - BLACK-EYED SUSAN



MOODY+NOLAN

**DERU** landscape  
architecture

912 Huron Road E, #411 Cleveland, OH 44115 | 216.466.4355

**SITE PLAN**

**NEW HOUGH BRANCH LIBRARY**

DESIGN REVIEW 04/06/2021



CLEVELAND PUBLIC LIBRARY

ROSETTA OUTCROPPING WALL



## SHRUBS



CAF - DOGWOOD



HYA - HYDRANGEA



IV/IVJ - WINTERBERRY



SX - CREEPING WILLOW



TOD - DWARF GLOBE  
ARBORVITAE



TOW - WOODWARD GLOBE  
ARBORVITAE

## GRASSES AND PERENNIALS



PAN - RED SWITCH GRASS



CXN - BLACK SEDGE



ASC - BUTTERFLYWEED



HEM - DAYLILY



POT - CINQUEFOIL GROUND-  
COVER



BIKE REPAIR STATION



BIKE RACKS



BOOK DEPOSITORY



ELECTRIC VEHICLE CHARGING STATION



POLE MOUNTED LIGHT FIXTURE AT BUILDING



BUILDING MOUNTED EGRESS/ENTRY LIGHTING



POLE MOUNTED LIGHT FIXTURE AT PARKING



BOLLARD LIGHTING AT READING GARDEN



FLOOR PLAN

NEW HOUGH BRANCH LIBRARY

DESIGN REVIEW 04/06/2021



SNX 51/23		GUARDIAN SUNGUARD		Advanced Architecture Glass	
ON CLEAR - 6 mm/12.7 mm/6 mm					
CPL/HAQU					
Transmittance	Visible Light Reflect Out	Reflect In	U Value	Solar Heat Gain Coefficient	Light to Solar Gain
51 %	14 %	14 %	.29	.23	2.19

**ROOF MEMBRANE  
REFLECTIVE GREY**

**METAL TRIM  
CLEAR ANODIZED  
ALUMINIUM**

PRODUCT  
SARNAFIL GA10  
REFLECTIVE GRAY 60 MIL  
THICKNESS GUARANTEE

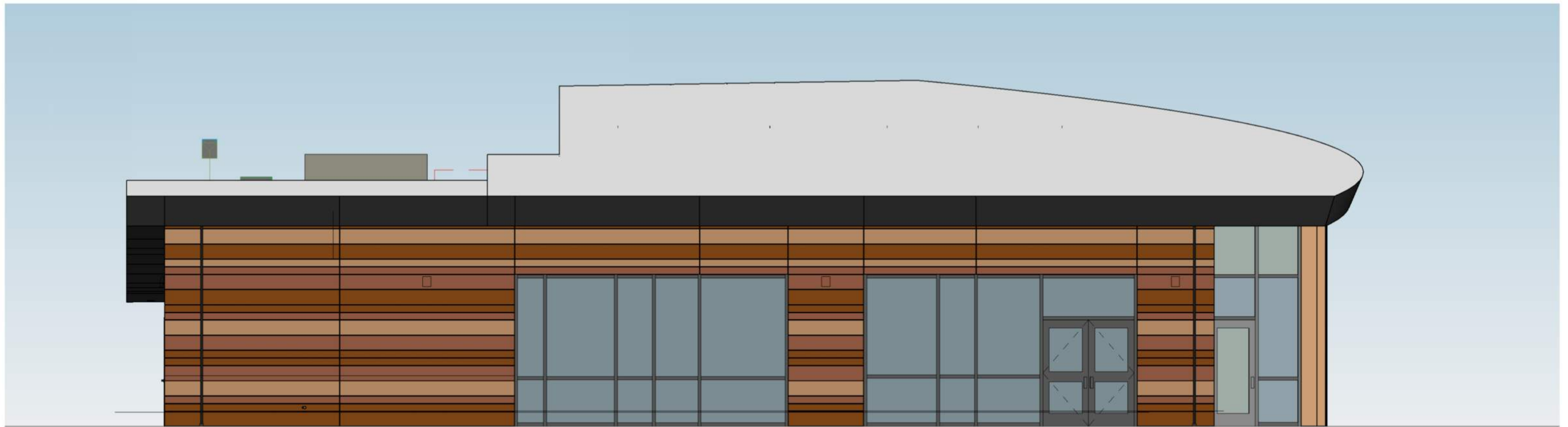
**GLASS**  
LOW-E WITH ANTI-GLARE

**RAINSCREEN**  
TRESPA PHENOLIC PANEL  
WITH ROCK FINISH

**STOREFRONT, CURTAIN WALL  
MULLIONS**  
CLEAR ANODIZED  
ALUMINIUM

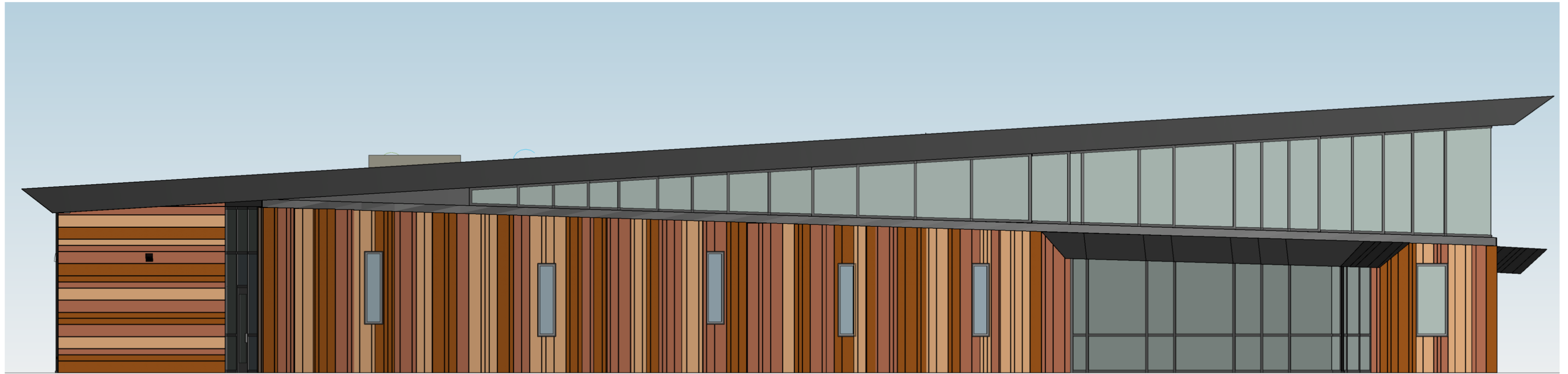


**NORTH ELEVATION**

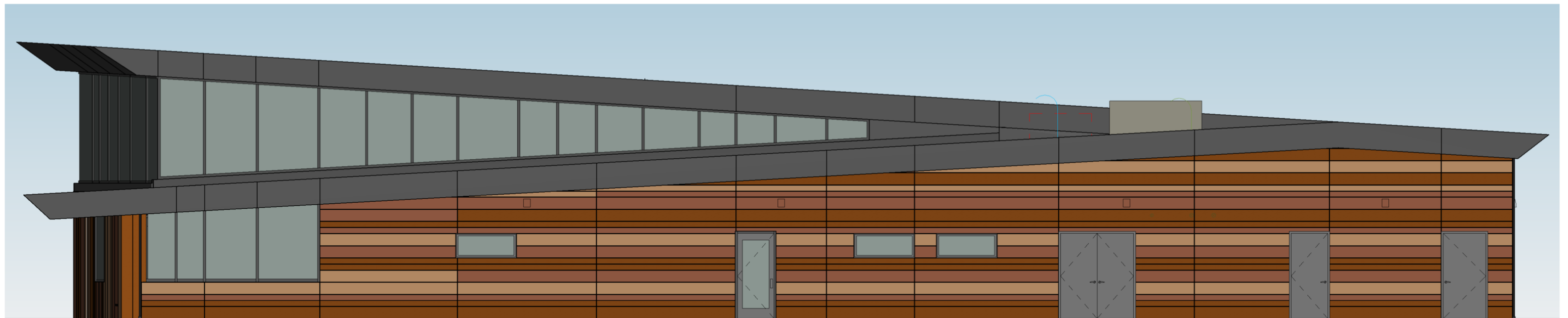


**SOUTH ELEVATION**





**EAST ELEVATION**



**WEST ELEVATION**

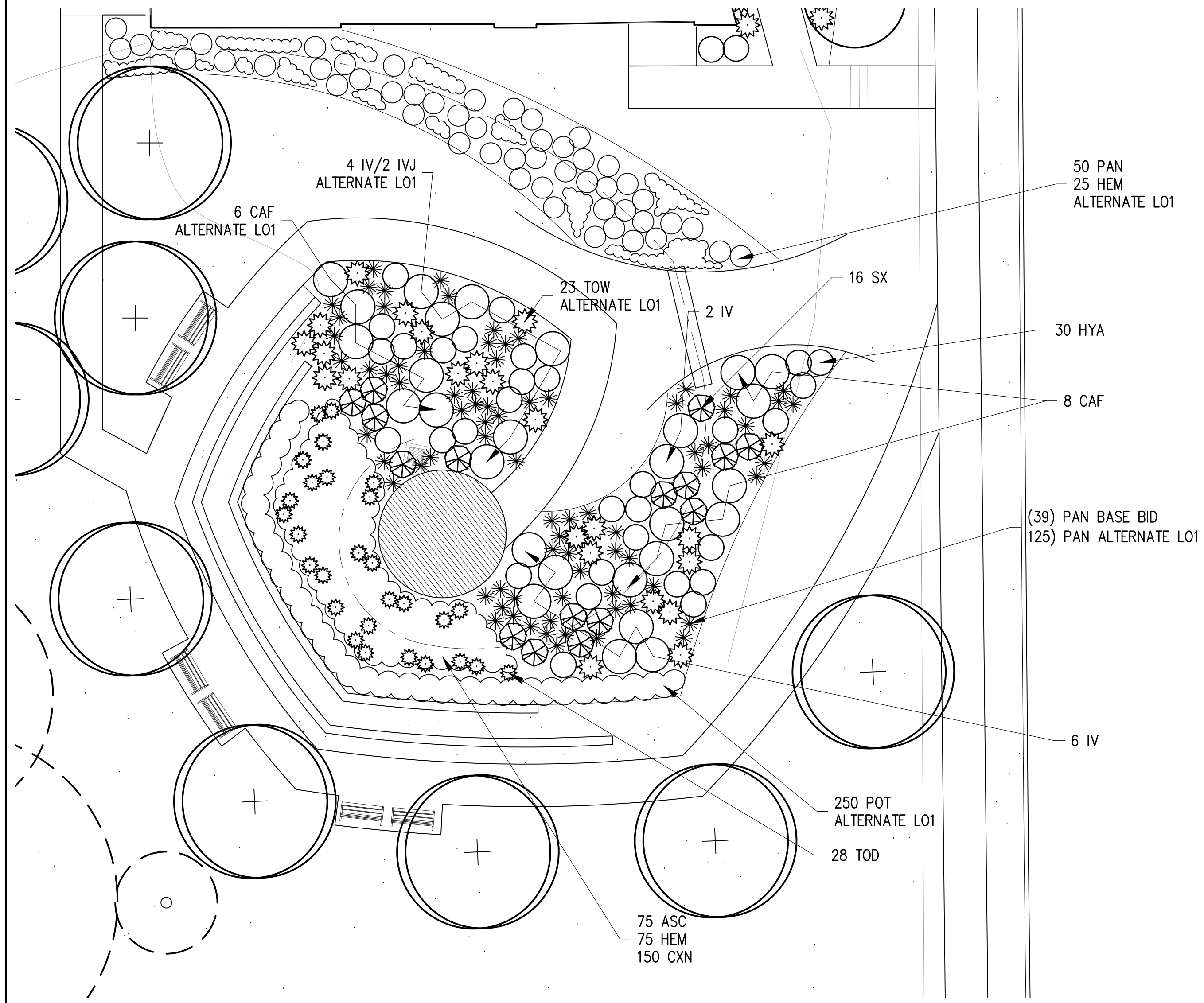






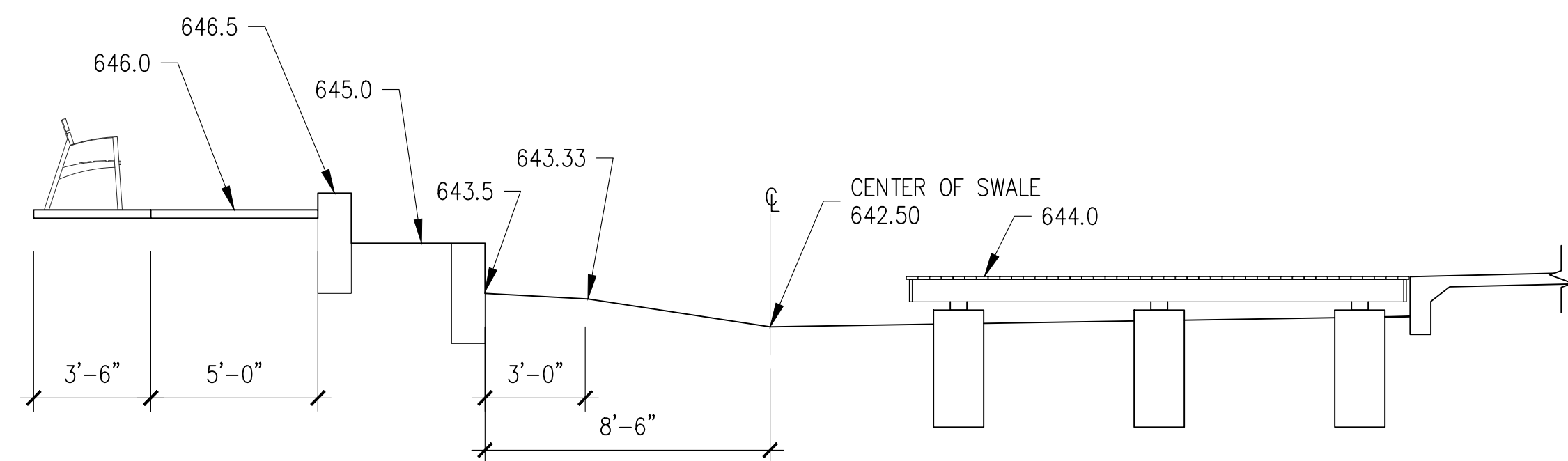






ENLARGEMENT AREA A

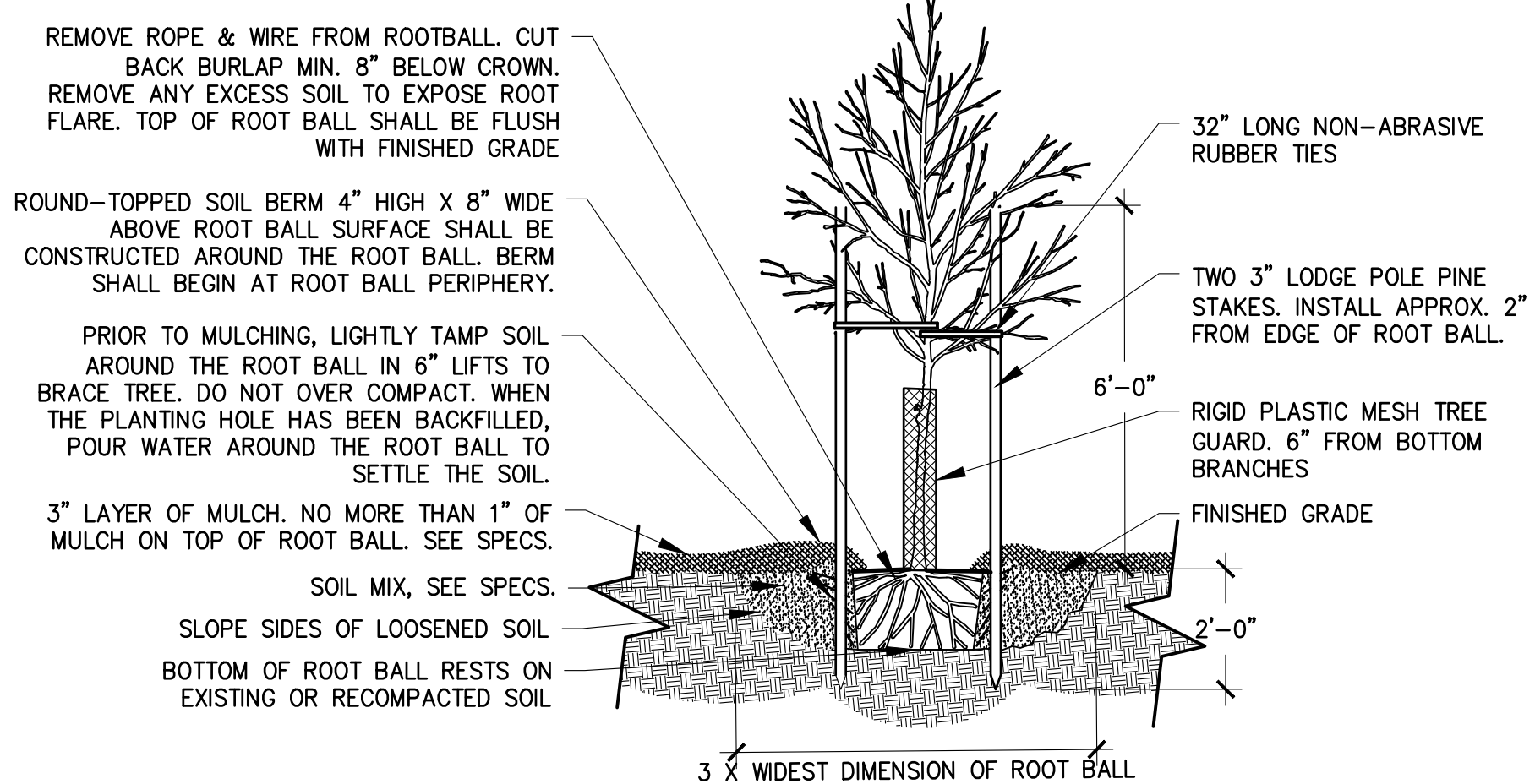
Scale: 1:10



1 AMPITHEATER / BIOSWALE SECTION

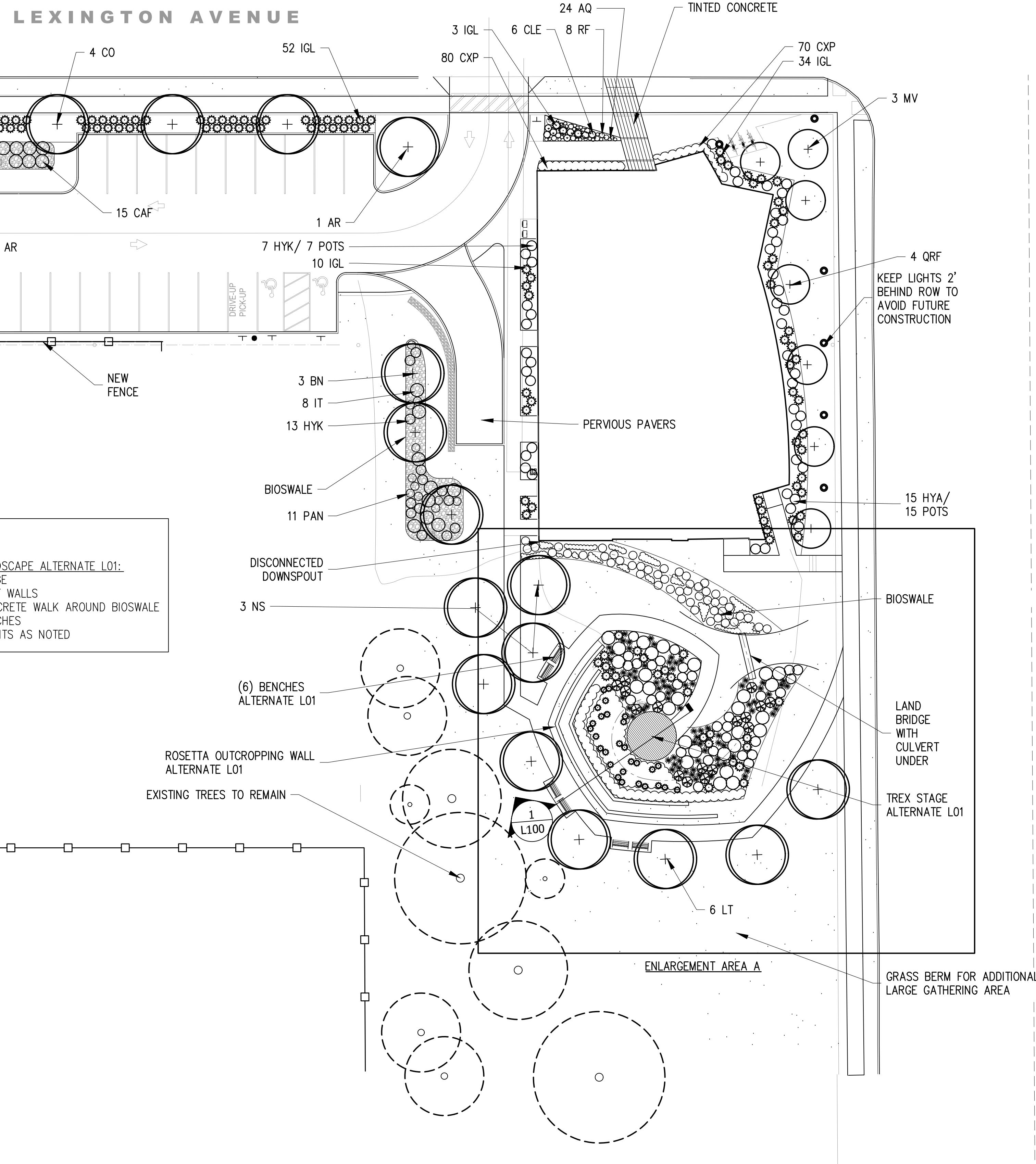
Scale: 1:4

Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
<b>Trees</b>					
AR	2	Acer rubrum 'Red Sunset' / Red Maple	2½" Cal.	B&B	30' O.C.
BN	3	Betula nigra / River Birch	12" Clump	B&B	12' O.C.
CO	4	Celtis occidentalis / Hackberry	2" Cal.	B&B	
LT	6	Liriodendron tulipifera / Tuliptree	2½" Cal.	B&B	35' O.C.
MV	3	Magnolia virginiana / Sweetbay Magnolia	7" ht.	B&B	
NS	3	Nyssa sylvatica / Blackgum	1½" Cal.	B&B	
QRF	4	Quercus robur 'Crimschmidt' / Crimson Spire Oak	2½" Cal.	B&B	See Plan
<b>Shrubs</b>					
CLE	6	Clethra alnifolia 'Hummingbird' / Summersweet Clethra	15"	No. 2	3' O.C.
CAF	29	Cornus s. 'Arctic Fire' / Arctic Fire Dogwood	24"	No. 3	4' O.C.
HYA	60	Hydrangea 'Annabelle' / Annabelle Hydrangea	24"	No. 3	3' O.C.
HYK	27	Hypericum kalmianum/ Kalm's St. Johnswort	18"	No. 3	3' O.C.
IGL	99	Ilex crenata 'Great Lakes' / Green Luster Holly	15"	B&B	2' O.C.
IV/IVJ	4, 2	Ilex vert. 'Shaver', 'Jim Dandy' / Winterberry	24"	B&B	4' O.C.
IT	8	Itea virginica 'Henry's Garnet' / Virginia Sweetpire	18"	No. 2	3' O.C.
POTS	22	Potentilla f. 'Red Sunset' / Red Sunset Potentilla	18"	No. 2	3' O.C.
SX	16	Salix repens var. nitida / Silver Creeping Willow	15"	No. 3	3' O.C.
TOD	28	Thuja occidentalis 'Danica' / Dwarf Globe Arborvitae	18"	B&B	See Plan
TOW	23	Thuja occidentalis 'Woodwardii' / Woodward Globe Arborvitae	36"	B&B	3' O.C.
<b>Grasses/ Perennials</b>					
CXP	150	Carex pennsylvanica/ Pennsylvania Sedge	Clump	No. 2	12" O.C.
PAN	125	Panicum virgatum 'Shenandoah' / Red Switch Grass	Clump	No. 2	24" O.C.
CXN	150	Carex nigra / Black Sedge	2"	Plug	15" O.C.
ASC	75	Asclepias tuberosa / Butterflyweed		No. 2	24" O.C.
AQ	24	Aquilegia 'Tequila Sunrise' / Granny's Nightcap/ Tequila Sunrise Columbine		No. 2	24" O.C.
HEM	100	Hemerocallis 'Black Eyed Susan' / Daylily		No. 2	18" O.C.
POT	250	Potentilla neumaniana / Groundcover cinquefoil	Clump	No. 1	12" O.C.
RF	8	Rudbeckia f. speciosa 'Goldsturm' / Black-Eyed Susan		No. 2	18" O.C.
<b>Lawn</b>					

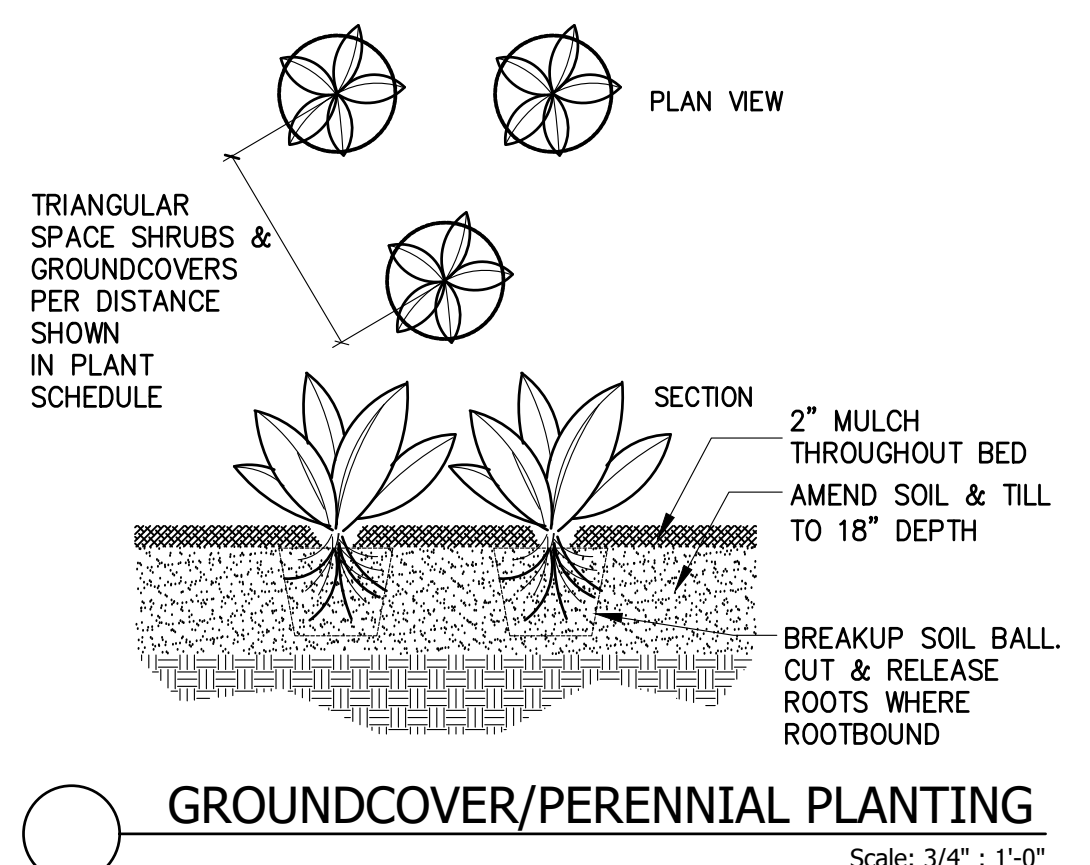


TREE PLANTING & STAKING

Scale: 3/8" : 1'-0"

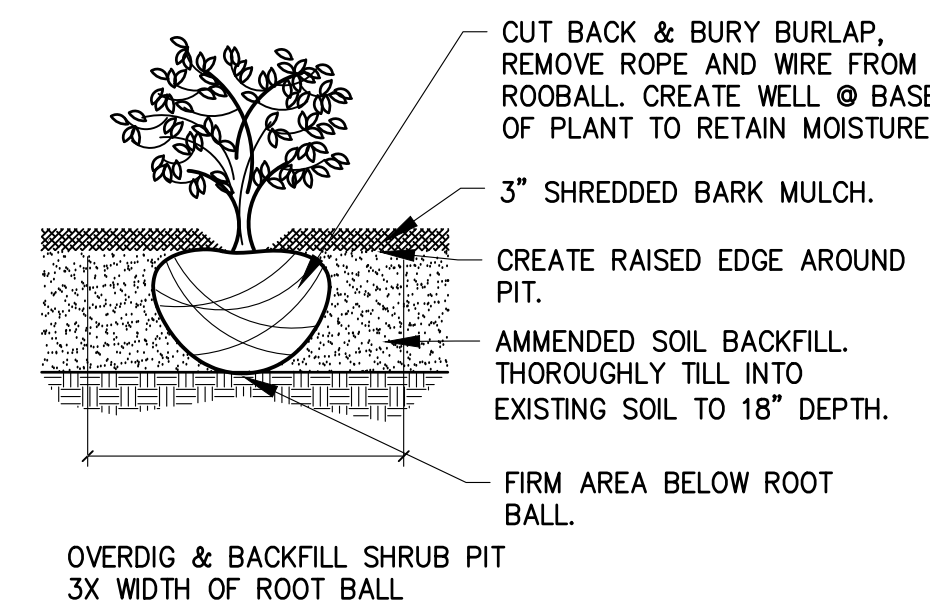


LANDSCAPE ALTERNATE L01:  
SEAT WALLS  
CONCRETE WALK AROUND BIOSWALE  
BENCHES  
PLANTS AS NOTED



GROUNDCOVER/PERENNIAL PLANTING

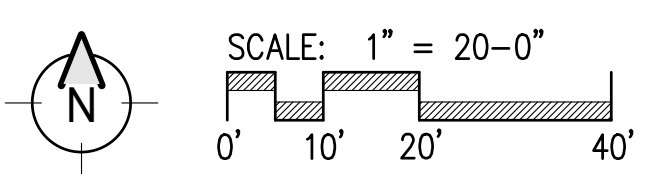
Scale: 3/4" : 1'-0"



SHRUB PLANTING

Scale: 3/4" : 1'-0"

- NOTES**
- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS IN THE FIELD AND NOTIFY THE OWNER OR ARCHITECT OF DISCREPANCIES.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT QUANTITIES DETAILED ON PLAN. SCHEDULE PROVIDED FOR REFERENCE ONLY.
  - PROVIDE A MIN. 3" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE UNLESS TREES ARE INCORPORATED IN A PLANTING BED.
  - ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY OWNER OR CONSULTANT PRIOR TO INSTALLATION.



**DERU**  
landscape architecture  
812 Huron Road East, Suite 411  
Cleveland, Ohio 44115 | 216-456-4355

#	DATE	CHANGE DESCRIPTION
1	07/10/2020	SCHEMATIC DESIGN
2	12/07/2020	100% DESIGN DEVELOPMENT
	02/22/2021	TREE GRANT
	04/02/2021	75% CDS, GMP #1

**Hough Library Replacement 2021**  
6530 Lexington Avenue, Cleveland, Ohio 44103  
FOR  
**Cleveland Public Library**

1621 EUCLID AVE  
SUITE 1150  
CLEVELAND, OH 44115

MOODY-NOLAN  
PHONE: (216) 432-0696  
FAX: (216) 432-0699

**LANDSCAPE PLAN**

<p>DRAWING TITLE:</p> <p>PROGRESS DRAWING NOT FOR CONSTRUCTION</p>	<p>03/31/2021</p> <p>DRAWN BY: Author CHECKED BY: Checker</p> <p>Proj. 19240.01</p> <p><b>L100</b></p> <p>update</p>
--	--

2 WORKING DAYS BEFORE YOU DIG  
CALL TOLL FREE 811  
WWW.OUPS.ORG/IDIG  
OHIO UTILITIES PROTECTION SERVICE

# Southeast Design Review Case

---



May 7, 2021

SE2021-007 – Proposed Demolition of a 1-Story Commercial Building:  
Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

**Project Address: 3886 Lee Road**

Project Representative: Michael Meyer, Architect



# Southeast Design Review Case

---



May 7, 2021

SE2021-008 – Parking Lot New Construction: Seeking Conceptual Approval

**Project Address: 3886 Lee Road**

Project Representative: Michael Meyer, Architect



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Freddy L. Collier Jr., Director

Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

### Planning Commission/Design Review Application

T: (216) 664-2210 F: (216) 664-3281 | www.planning.city.cleveland.oh.us

DATE: APRIL 13, 2021  
PROJECT NAME: BUILDING DEMOLITION

PROJECT ADDRESS: 3886 LEE RD.

PROJECT LOCATION (if no address): NW CORNER LEE & GLENDALE AVE

CONTACT PERSON (for design review): MICHAEL MEYER

COMPANY: MICHAEL MEYER ARCHITECT

PHONE: 3306185455 EMAIL: mm.architect@roadrunner.com

OWNER: PPA# 14007021 AHMAD ALHADIDI


ARCHITECT/ CONTRACTOR: MICHAEL MEYER, ARCHITECT. CONTRACTOR TBD

PROJECT TYPE:  New Building  Rehabilitation  Addition  Sign  Fence  
 Parking  Storefront  Demolition

USE TYPE:  Residential  Commercial  Industrial  Institutional  Mixed-Use

Review Level:  Conceptual  Schematic Design  Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

 4/13/21  
Signature and date

\*\*\*\*\*

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

J. MICHAEL MEYER  
ARCHITECT  
4918 Cleveland Road East  
Huron, Ohio 44256

April 13, 2021

Mr. Freddy Collier Jr., Director  
City Planning Commission  
Cleveland City Hall  
601 Lakeside Ave.  
Cleveland OH 44114

Regarding:  
Proposed Building Demolition  
3886 Lee Road

Dear Mr. Collier;

This letter is the written summary of worked planned at the above address.

It is the Owner's intent to raze the building on the lot and to resurface the entire parcel to provide parking for the commercial building across Glendale. (Shaker Hair & Beauty Supply) The store is extremely busy. Patrons are using all available parking on the street and some are parking on the sidewalk and at neighboring properties, or if they cannot find a place to park, they take their business elsewhere.

This application is for the building demolition; a separate application will be filed for the parking lot improvements.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Meyer', with a long horizontal line extending to the right.

Project Architect.  
Ohio Registered Architect #9663



PROJECT  
LOCATION PLAN

SCALE:



**J. MICHAEL MEYER**

**ARCHITECT**

4918 CLEVELAND RD. EAST  
HURON, OHIO 44839  
330.618.5455  
mm.architect@roadrunner.com

REV. DATE DESCRIPTION

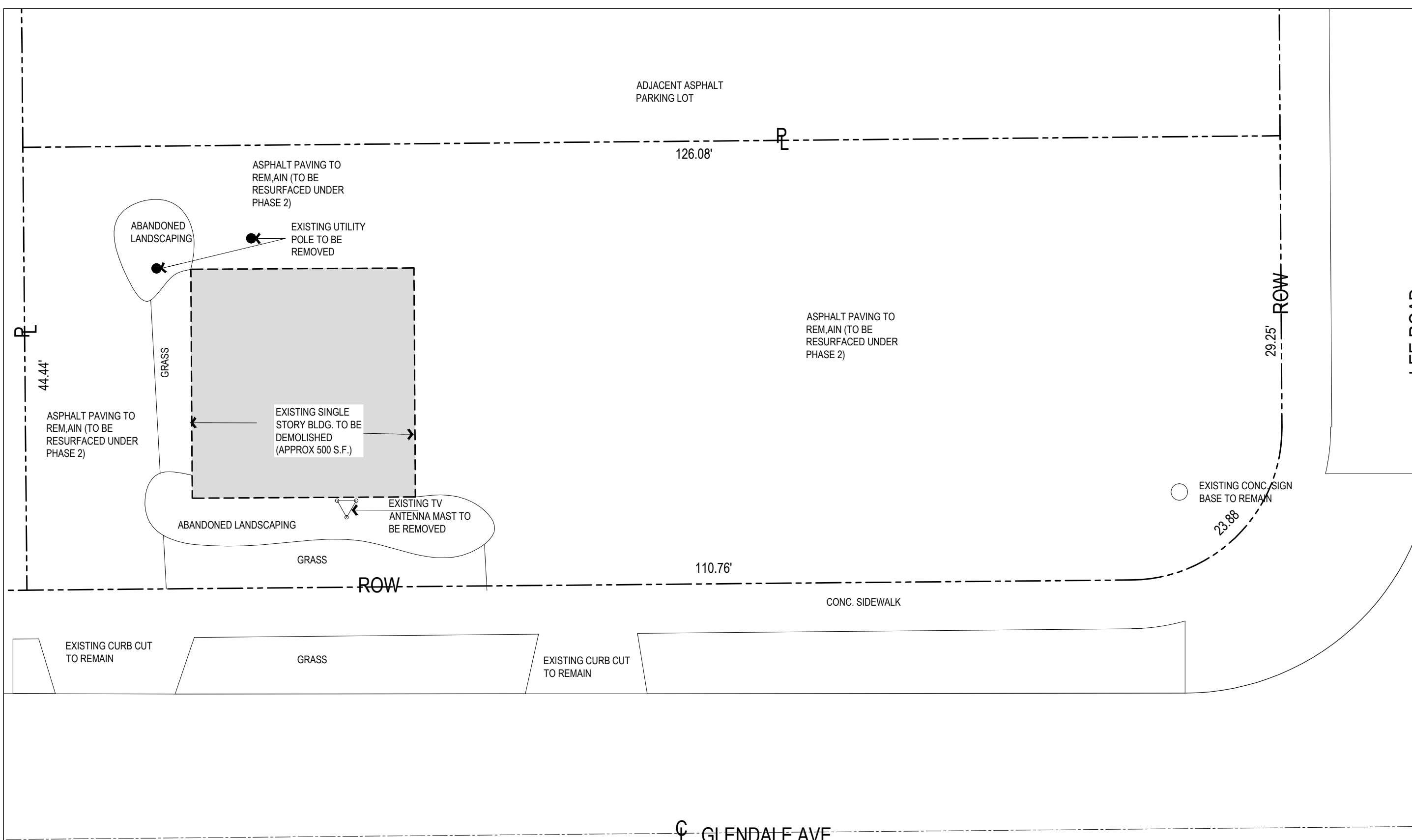
**BUILDING  
DEMOLITION**

3886 LEE ROAD  
CLEVELAND, OH

**PROJECT  
LOCATION  
PLAN**

PROJECT NO: 21053	DATE: 4/7/21
----------------------	-----------------

SHEET NO:  
**S-1.0**



**J. MICHAEL MEYER**  
**ARCHITECT**  
 4918 CLEVELAND RD. EAST  
 HURON, OHIO 44839  
 330.618.5455  
 mm.architect@roadrunner.com

REV.	DATE	DESCRIPTION

**BUILDING DEMOLITION**

3886 LEE ROAD  
 CLEVELAND, OH

**BUILDING DEMOLITION SITE PLAN**

PROJECT NO: 21053      DATE: 4/7/21

SHEET NO: **S-1.1**

**SITE PLAN**

SCALE: 1"=10'-0"



NOTE: INFORMATION REGARDING PROPERTY AND ROW LINES AND PHYSICAL FEATURES SHOWN ON THIS DRAWING WAS OBTAINED FROM DATA PROVIDED BY THE CUYAHOGA COUNTY ENGINEER'S OFFICE TAX MAP RECORDS, COUNTY TOPOGRAPHIC DATA, AERIAL PHOTOGRAPHS, AND FIELD MEASUREMENTS, AND WAS DEVELOPED WITHOUT THE BENEFIT OF A SURVEY.



LOOKING NORTHEAST

LOOKING WEST (FRONT OF BUILDING, FACING LEE ROAD)

J | M | M

J. MICHAEL MEYER

ARCHITECT

4918 CLEVELAND RD. EAST  
 HURON, OHIO 44839  
 330.618.5455  
 mm.architect@roadrunner.com

REV. DATE DESCRIPTION

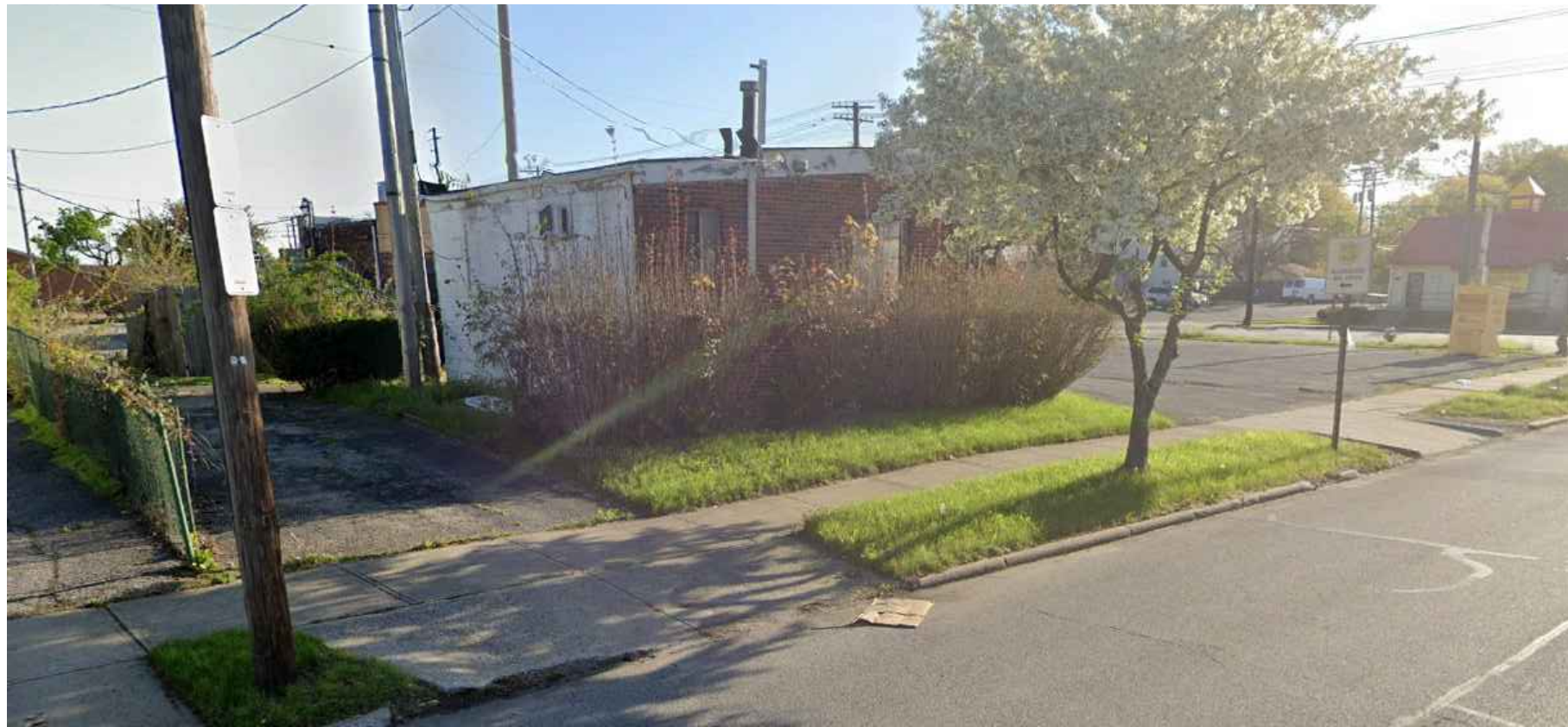
BUILDING  
 DEMOLITION

3886 LEE ROAD  
 CLEVELAND, OH

EXISTING  
 CONDITIONS  
 PHOTOGRAPHS

PROJECT NO: 21053 DATE: 4/7/21

SHEET NO: P-1.1



LOOKING NORTHEAST



LOOKING NORTHWEST



**J. MICHAEL MEYER**

**ARCHITECT**

4918 CLEVELAND RD. EAST  
 HURON, OHIO 44839  
 330.618.5455  
 mm.architect@roadrunner.com

REV. DATE DESCRIPTION

**BUILDING  
 DEMOLITION**

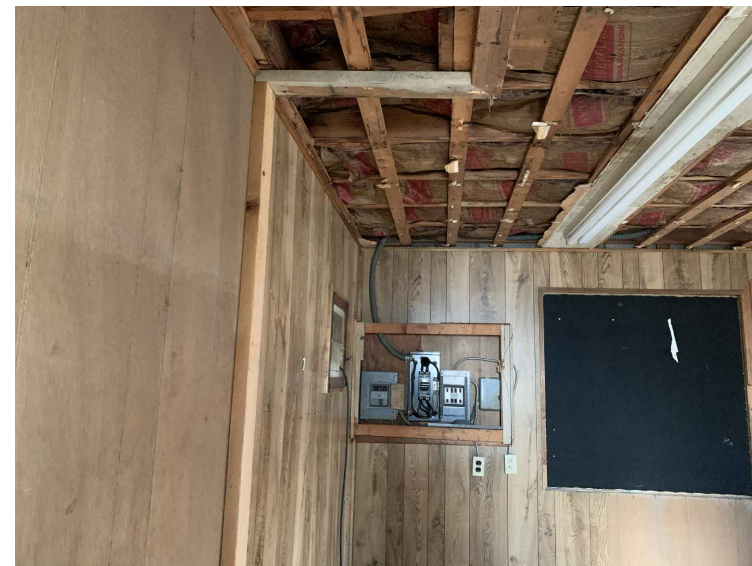
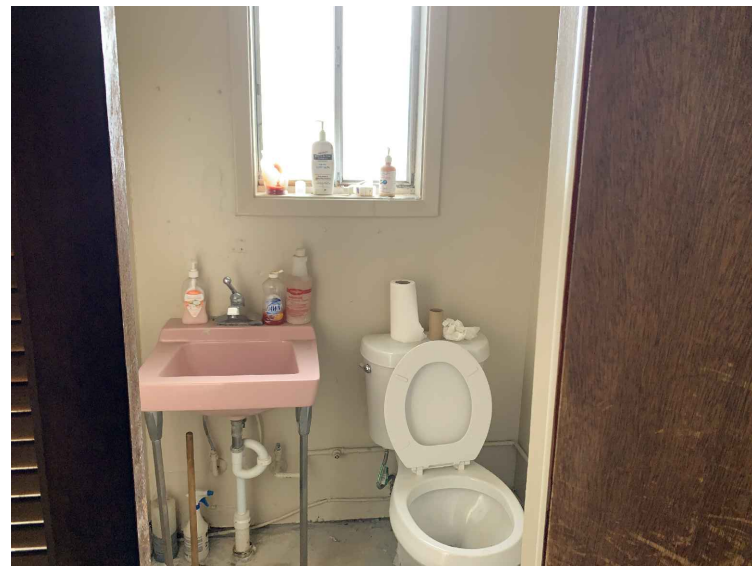
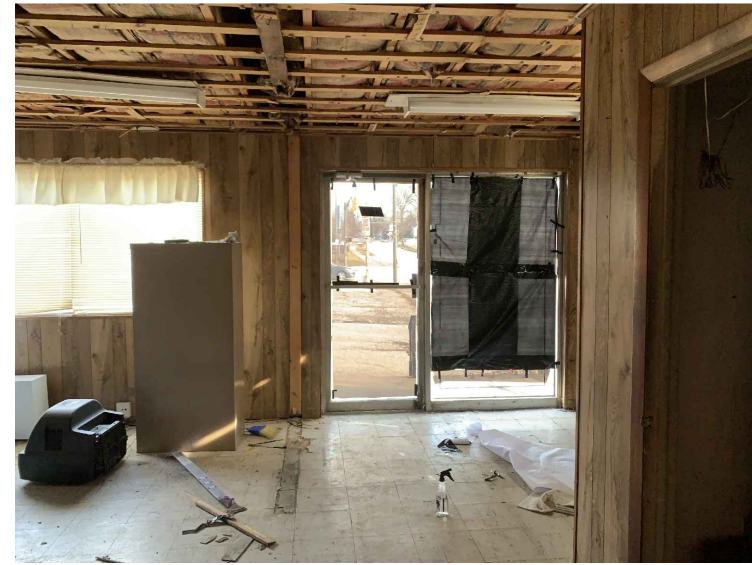
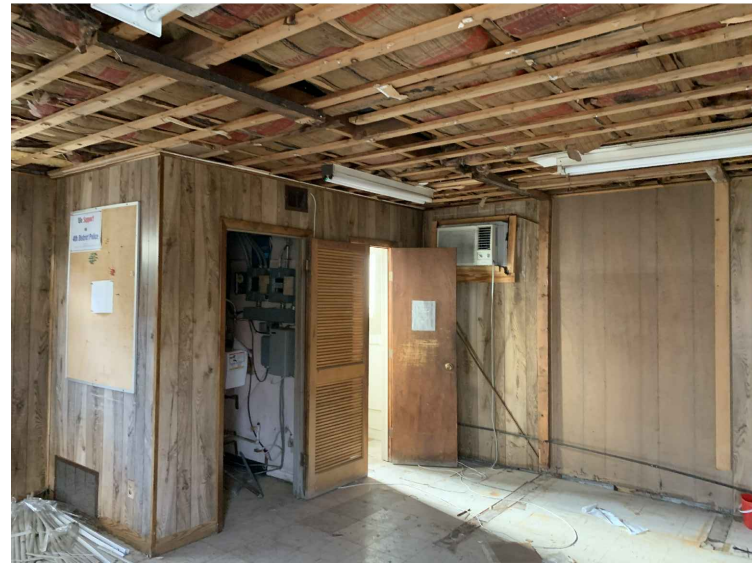
3886 LEE ROAD  
 CLEVELAND, OH

**EXISTING  
 CONDITIONS  
 PHOTOGRAPHS**

PROJECT NO:  
 21053

DATE:  
 4/7/21

SHEET NO:  
**P-1.2**



TYPICAL INTERIOR CONDITIONS



**J. MICHAEL MEYER**  
**ARCHITECT**  
 4918 CLEVELAND RD. EAST  
 HURON, OHIO 44839  
 330.618.5455  
 mm.architect@roadrunner.com

REV. DATE DESCRIPTION

**BUILDING  
 DEMOLITION**

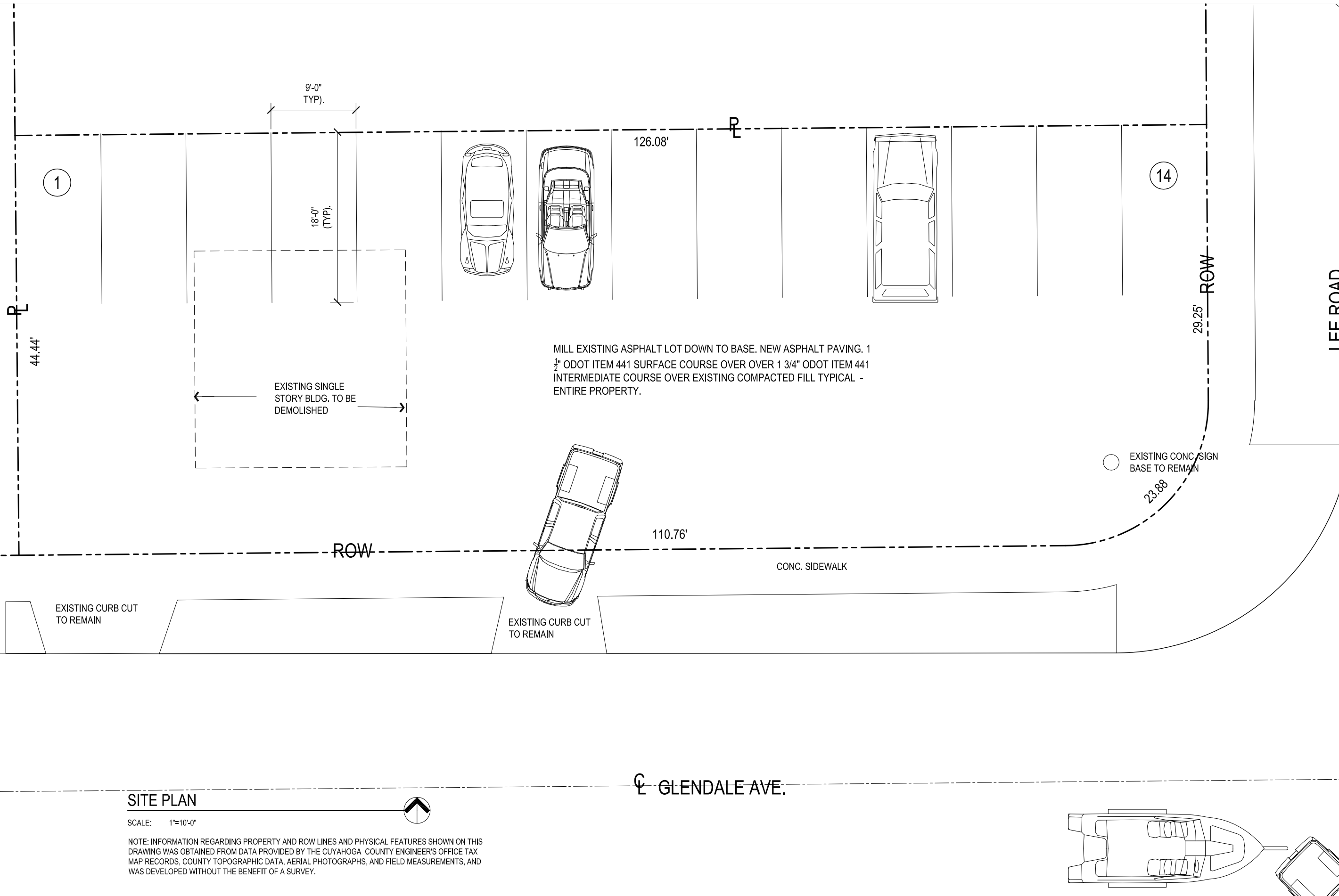
3886 LEE ROAD  
 CLEVELAND, OH

**EXISTING  
 CONDITIONS  
 PHOTOGRAPHS**

PROJECT NO: 21053 DATE: 4/7/21

SHEET NO: **P-1.2**





MILL EXISTING ASPHALT LOT DOWN TO BASE. NEW ASPHALT PAVING. 1 1/2" ODOT ITEM 441 SURFACE COURSE OVER OVER 1 3/4" ODOT ITEM 441 INTERMEDIATE COURSE OVER EXISTING COMPACTED FILL TYPICAL - ENTIRE PROPERTY.

EXISTING SINGLE STORY BLDG. TO BE DEMOLISHED

EXISTING CONC. SIGN BASE TO REMAIN

EXISTING CURB CUT TO REMAIN

EXISTING CURB CUT TO REMAIN

**SITE PLAN**

SCALE: 1"=10'-0"

NOTE: INFORMATION REGARDING PROPERTY AND ROW LINES AND PHYSICAL FEATURES SHOWN ON THIS DRAWING WAS OBTAINED FROM DATA PROVIDED BY THE CUYAHOGA COUNTY ENGINEER'S OFFICE TAX MAP RECORDS, COUNTY TOPOGRAPHIC DATA, AERIAL PHOTOGRAPHS, AND FIELD MEASUREMENTS, AND WAS DEVELOPED WITHOUT THE BENEFIT OF A SURVEY.



CL GLENDALE AVE.

LEE ROAD

**J M M**  
**J. MICHAEL MEYER**  
 ARCHITECT  
 4918 CLEVELAND RD. EAST  
 HURON, OHIO 44839  
 330.618.5455  
 mm.architect@roadrunner.com

REV.	DATE	DESCRIPTION

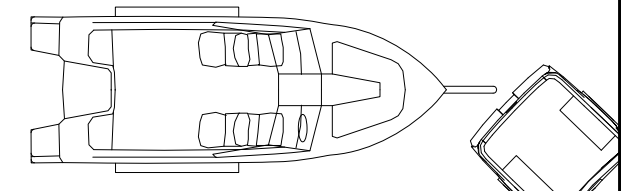
**PARKING FOR SHAKER HAIR & BEAUTY SUPPLY**

3886 LEE ROAD  
 CLEVELAND, OH

**OVERALL SITE PLAN**

PROJECT NO: 21053      DATE: 4/7/21

SHEET NO: **S-1.1**



# Southeast Design Review Case

---



May 7, 2021

SE2021-005 - Ubuntu Park New Construction: Seeking Final Approval

**Project Address: 10299 Shaker Blvd.**

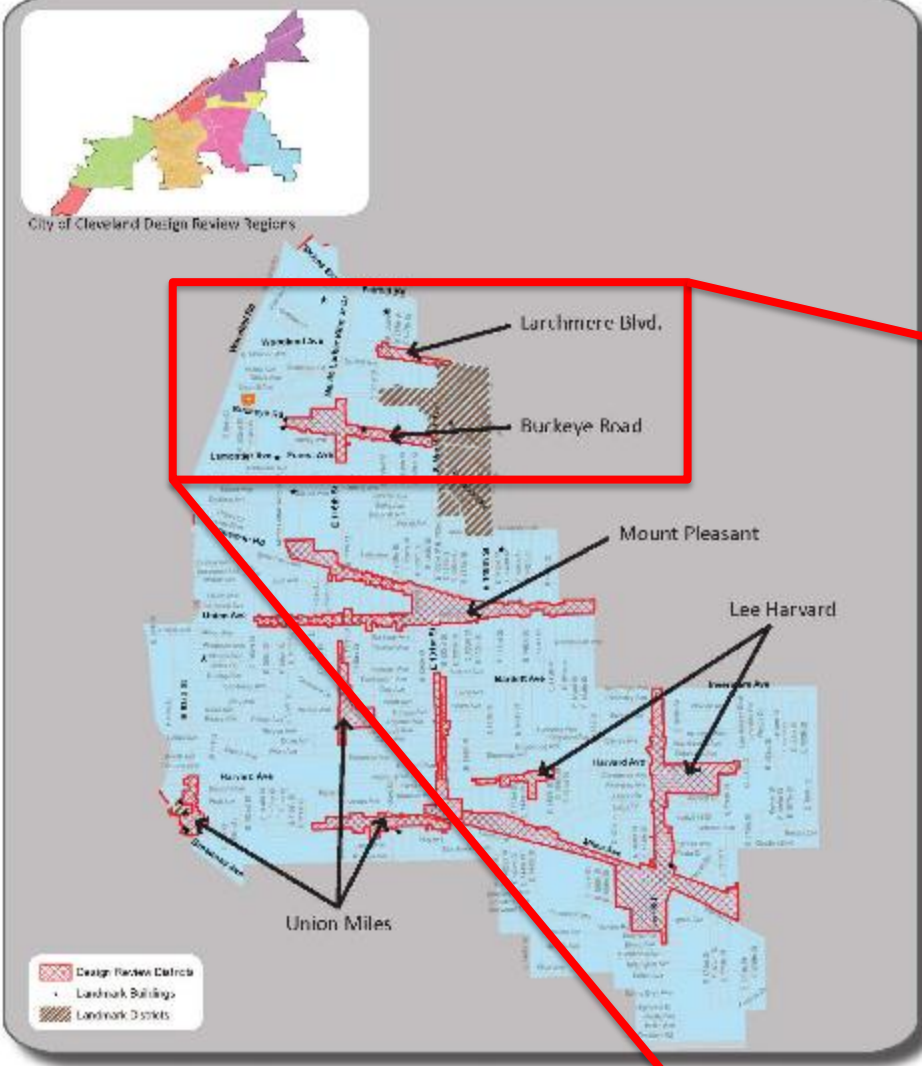
Project Representative: Ryan Bentley, Environmental Design Group



# The Ubuntu Gathering Place

Cleveland City Council May 2021

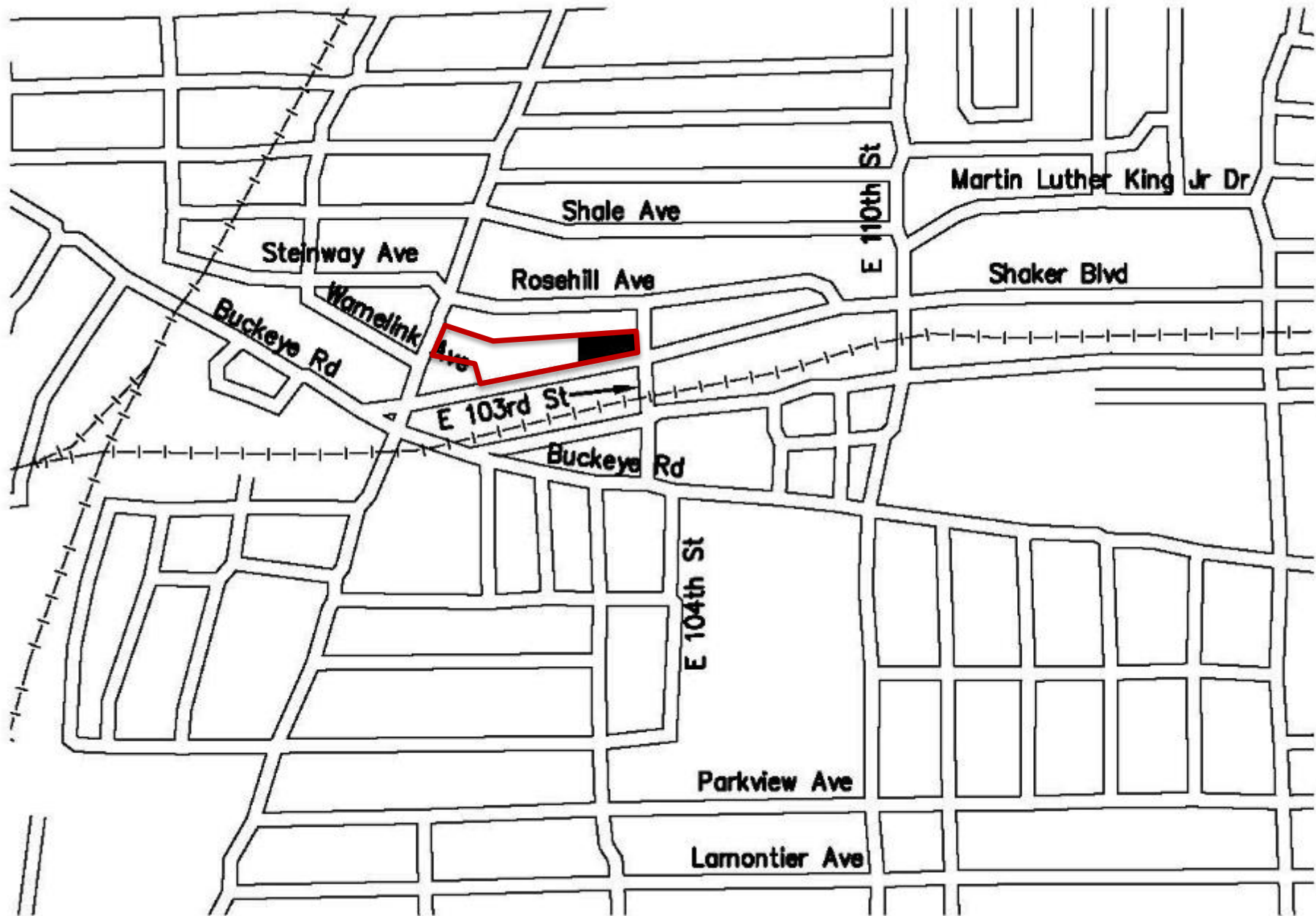




Southeast Design Review Region & Districts



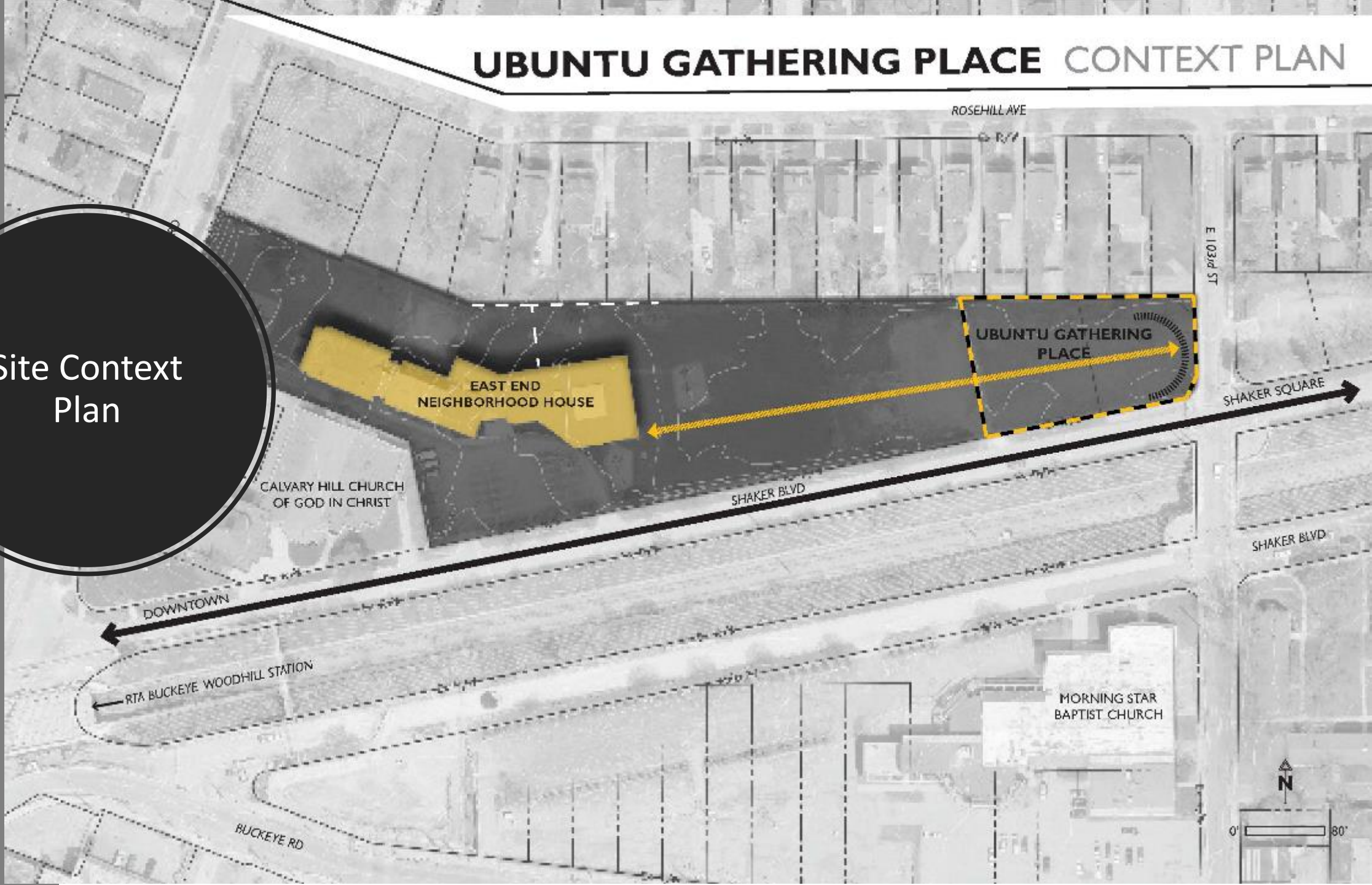
# Location Map



**Location Map**

# UBUNTU GATHERING PLACE CONTEXT PLAN

Site Context Plan





## Existing Conditions



SINCE 1907

East End  
Neighborhood House

# EAST END NEIGHBORHOOD UBUNTU GATHERING PLACE

## Site Plan

- 1 WELCOME SIGN & OBELISK
- 2 ENTRANCE
- 3 I AM BECAUSE WE ARE PLAZA
- 4 CONCRETE WALK
- 5 ART WALLS
- 6 DRY RIVER BED
- 7 BRIDGE
- 8 OUTDOOR EDUCATION
- 9 HEALING HILL
- 10 COMMUNITY VOICE

FUTURE  
PARKING LOT  
WITH BIOSVALE

SHAKER BLVD

E 102nd ST

N

0 20'



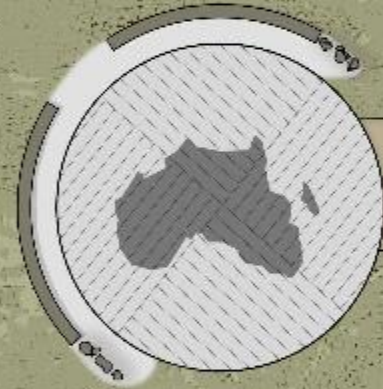


# EAST END NEIGHBORHOOD UBUNTU GATHERING PLACE

Bird's Eye View



Site Plan  
(Phase 1)



Landscape Plan/  
Inspiration  
(Future Phases)



Existing Street Lights

Proposed Mounted Lights

In-ground Uplights

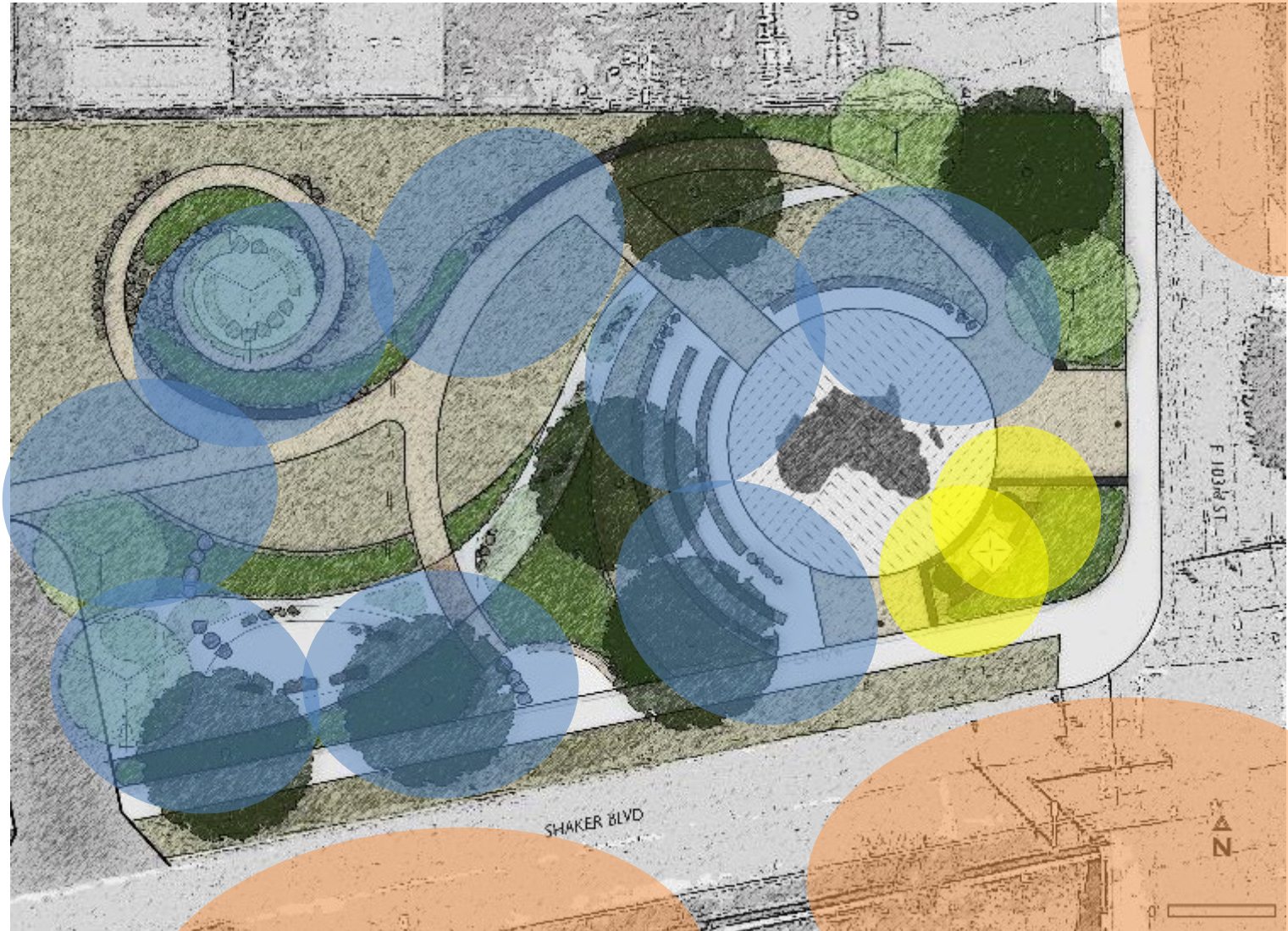
ACCADIA 900 L –  
In-ground Luminaires



Proposed  
Lighting Plan  
(Future Phases)



Novara 450 SL –  
Pole Mounted Luminaire  
12' Height



# Materials, Colors, Finishes, & Amenities (Phase 1)



Unilock Courtstone –  
Dawn Mist & Pebble Taupe

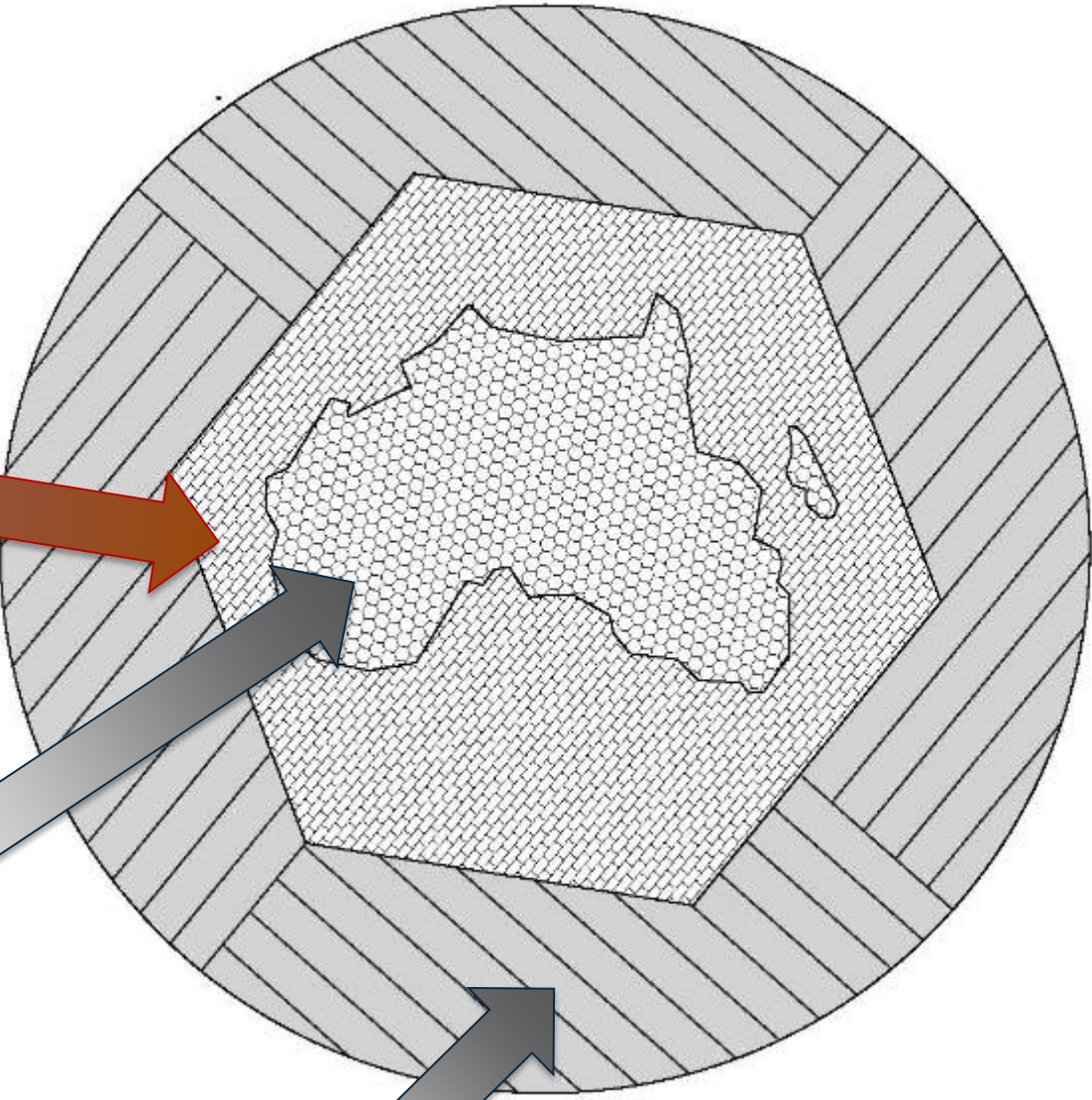


Unilock Umbriano –  
Winter Marvel

HEX



Scored Concrete





Stone Seating on Concrete Pedestal (Phase 1 & Future Phases)



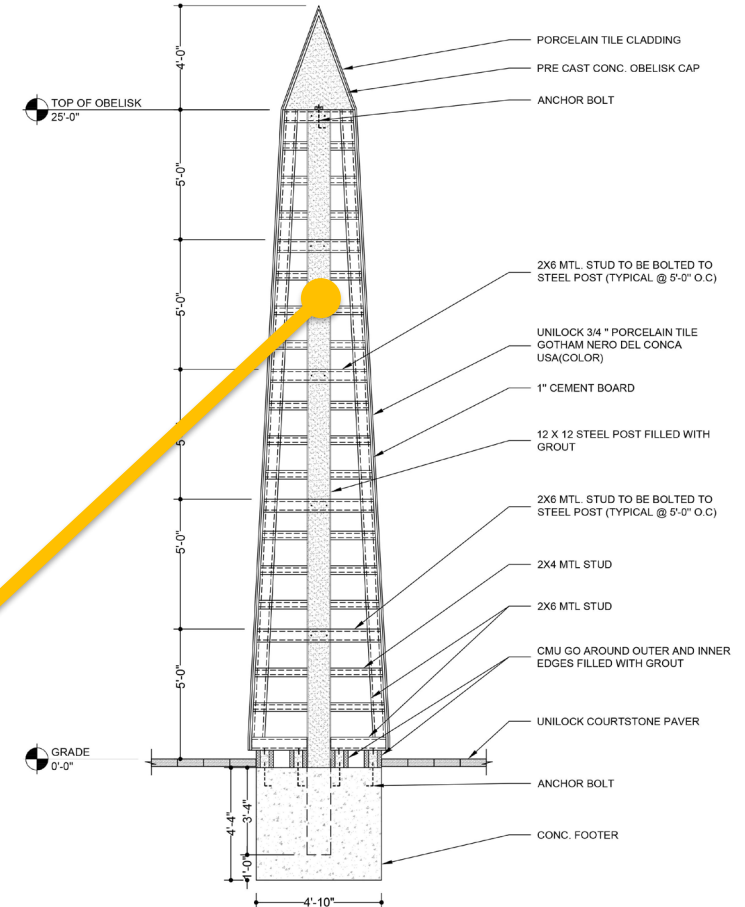
Bike Rack



(4-5' Tall Concrete Wall)



Trash Receptacle



OBELISK SECTION DETAIL

SCALE: 3/8" = 1'-0"



Obelisk Porcelain Tile; Gotham Nero

# Materials, Colors, Finishes, & Amenities (Future Phases)



Questions



May 7, 2021

FW2021-009 – West Park Library Renovation: Seeking Final Approval

**Project Address: 3805 West 157<sup>th</sup> Street**

Project Representative: Laura Rees, Vocon

Note: this project received Schematic Design Approval from the Planning Commission on April 16, 2021.



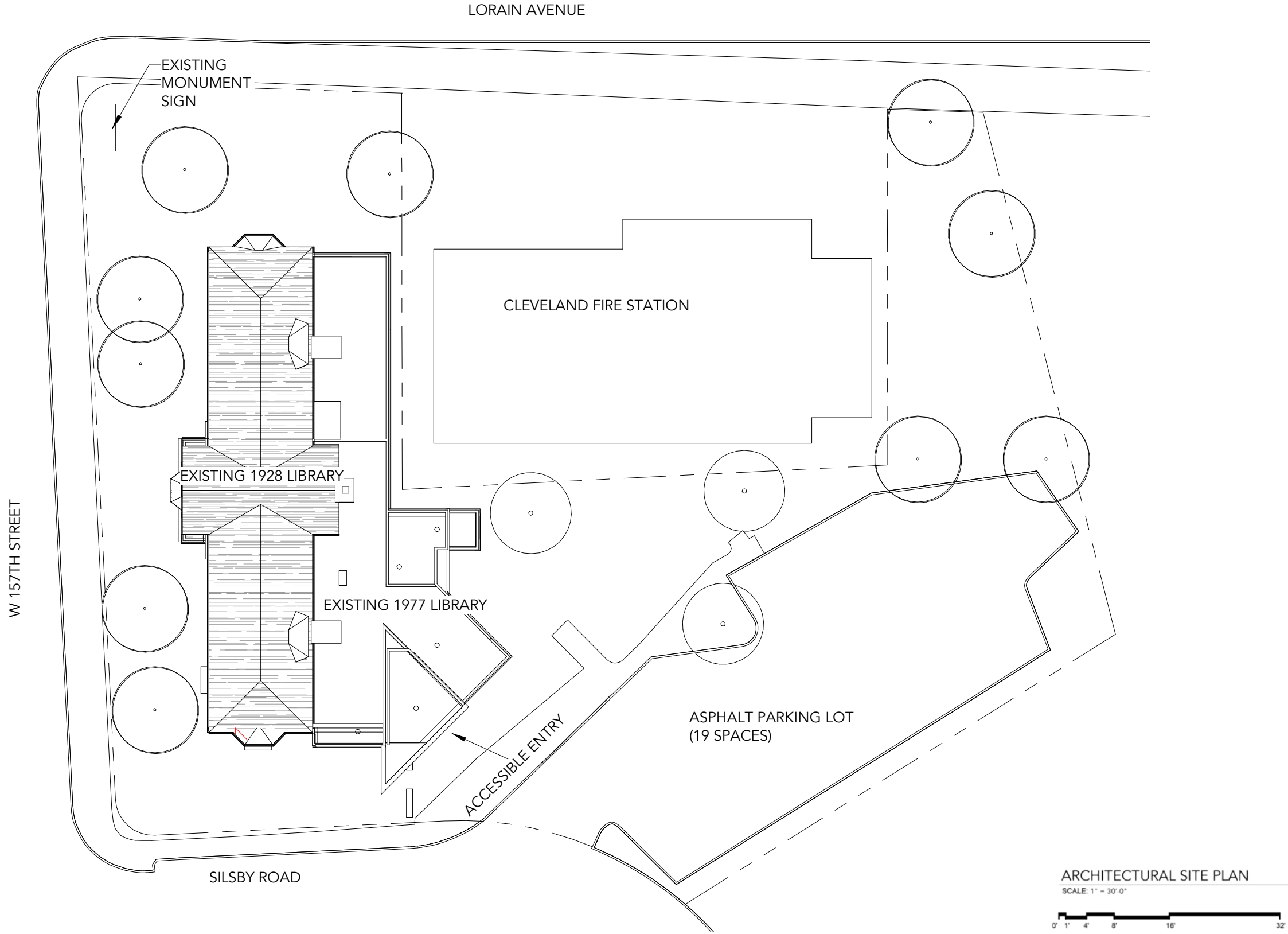
DESIGN REVIEW

MAY 07 2021

# CLEVELAND PUBLIC LIBRARY WEST PARK BRANCH



SITE PLAN | EXISTING



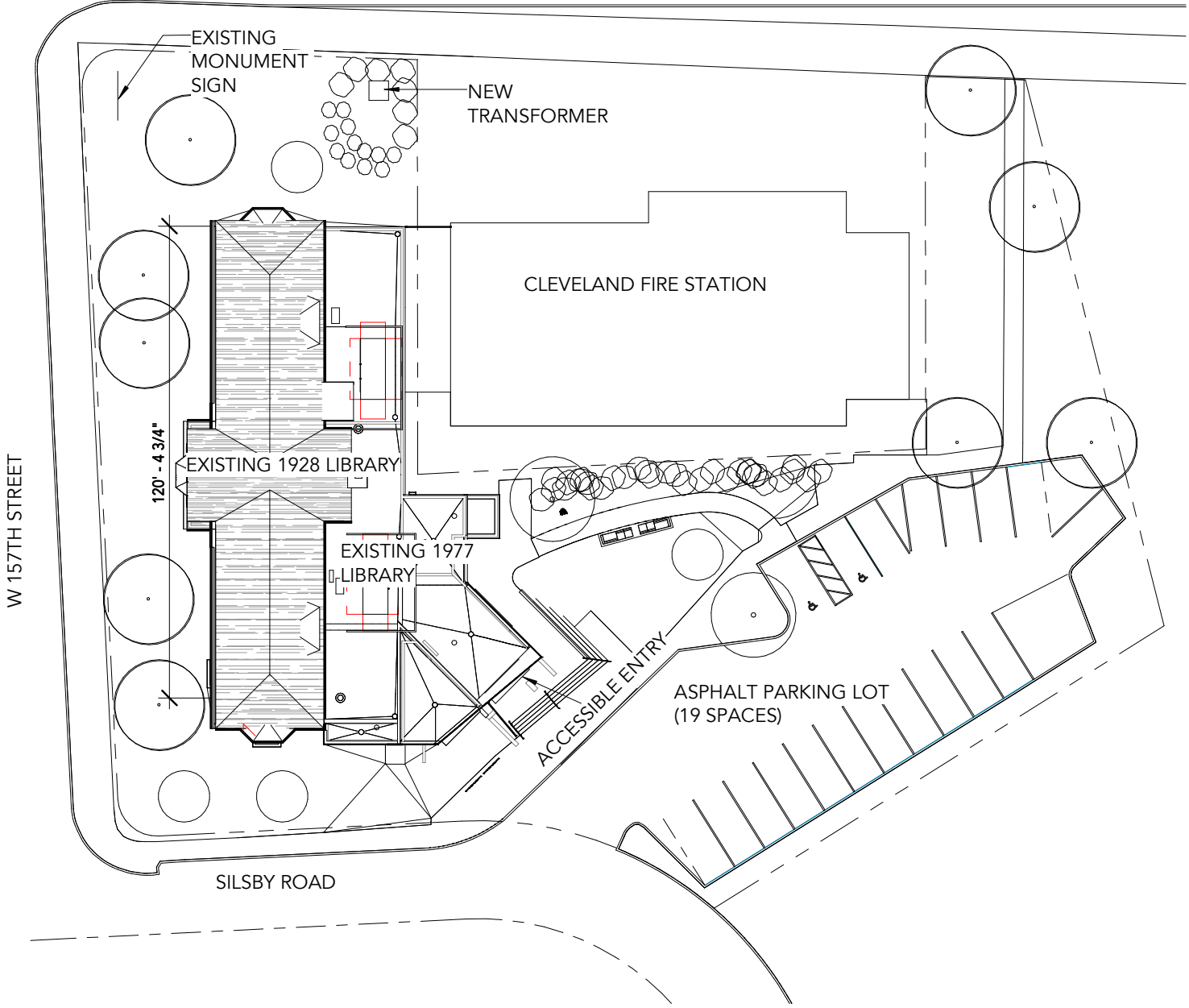
EXISTING EXTERIOR VIEWS | LORAIN ROAD | WEST 157TH



EXISTING EXTERIOR VIEW | SILSBY ROAD



SITE PLAN | PROPOSED



ROOF NOTES:  
 EXISTING FLAT ROOFS TO BE REPLACED WITH NEW SINGLE PLY MEMBRANE ROOF SYSTEM.  
 EXISTING GRADUATED SLATE ROOF TO BE REPLACED WITH NEW STANDARD SLATE ROOF.  
 EXISTING COPPER GUTTERS AND ROOFS TO REMAIN.

ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'-0"



LANDSCAPE SITE PLAN | PROPOSED



DERU landscape architecture  
812 Huron Road E, #411 Cleveland, OH 44115 | 216.466.4355

Landscape Plan  
Cleveland Public Library West Park Branch

LANDSCAPE | PROPOSED



Red Maple



LR - Fruitless Sweetgum



Swamp White Oak



QP - Pin Oak



HP - Hydrangea



HYP - St. Johnswort



JUN - Juniper



PCIA - Mock Orange



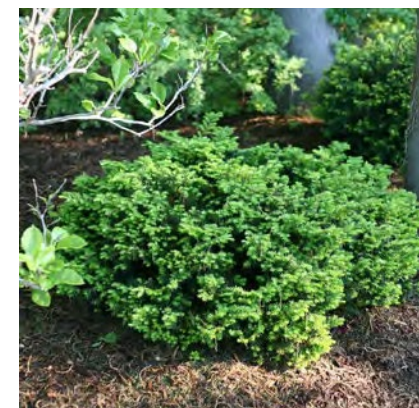
SMP - Lilac



SP - Spirea



THJ - Arborvitae



TME - Everlow Yew



ECH - Coneflower



# LANDSCAPE | PROPOSED

Wausau Tile Long Base Block Bench with Modular Seats      Color: Night



Dero "Bike" Bike Rack      Color: TBD



Dero "Fixit" Bike Repair Station      Color: TBD



DERUlandscape architecture  
812 Huron Road E, #411 Cleveland, OH 44115 | 216.466.4355

Furnishings  
Cleveland Public Library West Park Branch

PROPOSED EXTERIOR VIEW | LORAIN AVENUE



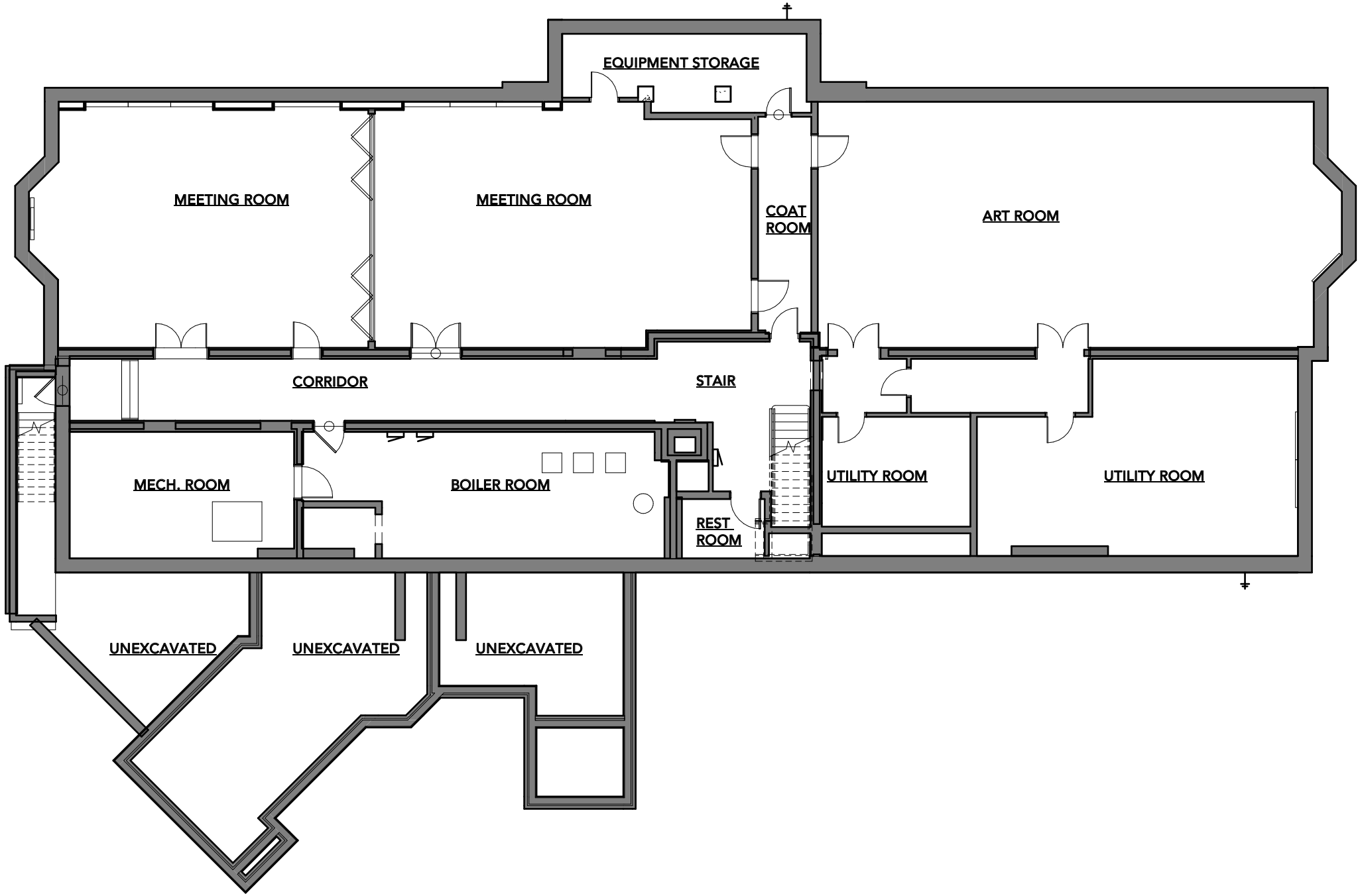
PROPOSED EXTERIOR VIEW | WEST 157TH



PROPOSED EXTERIOR VIEW | SILSBY ROAD

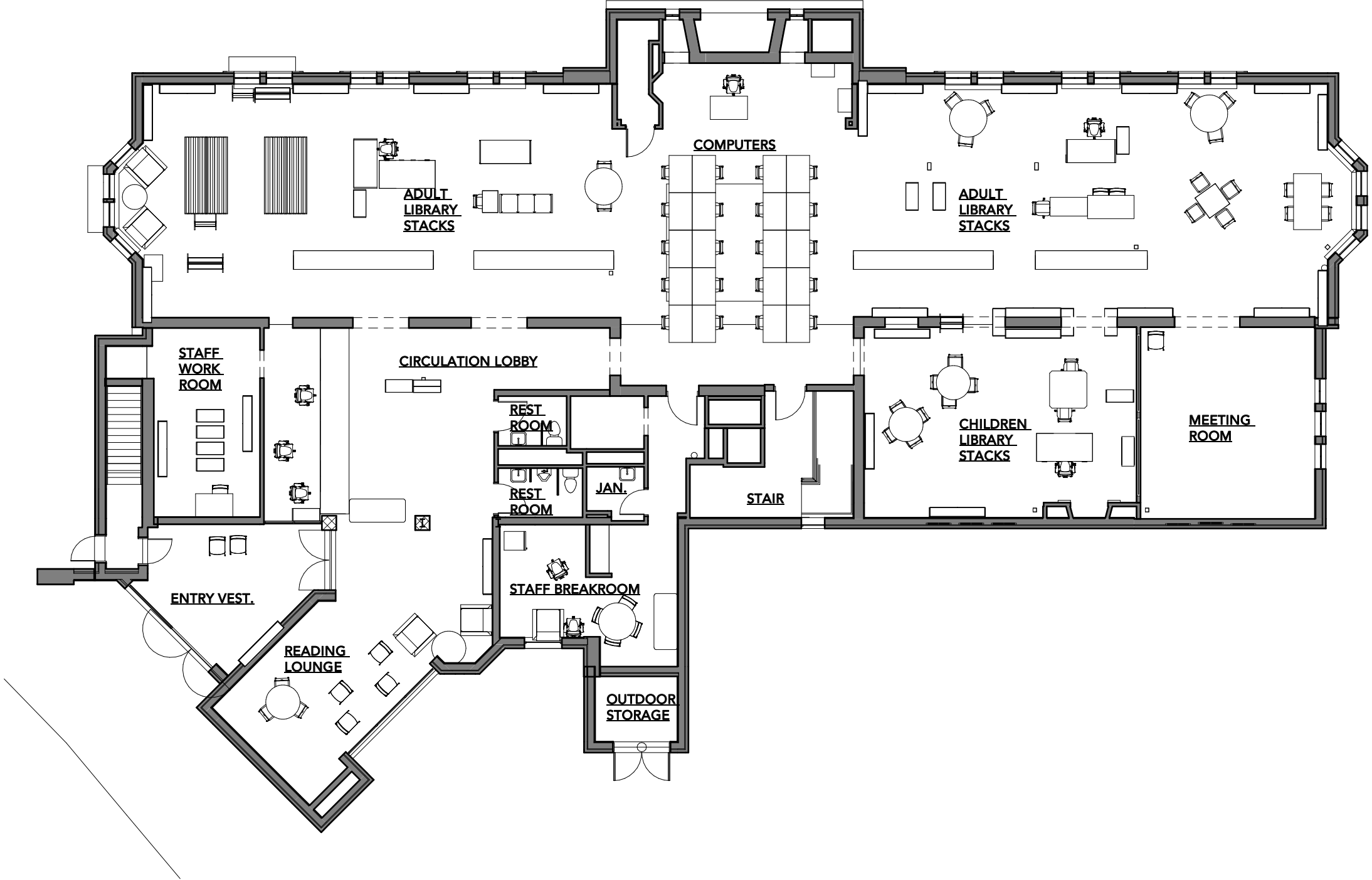


LOWER LEVEL PLAN | EXISTING



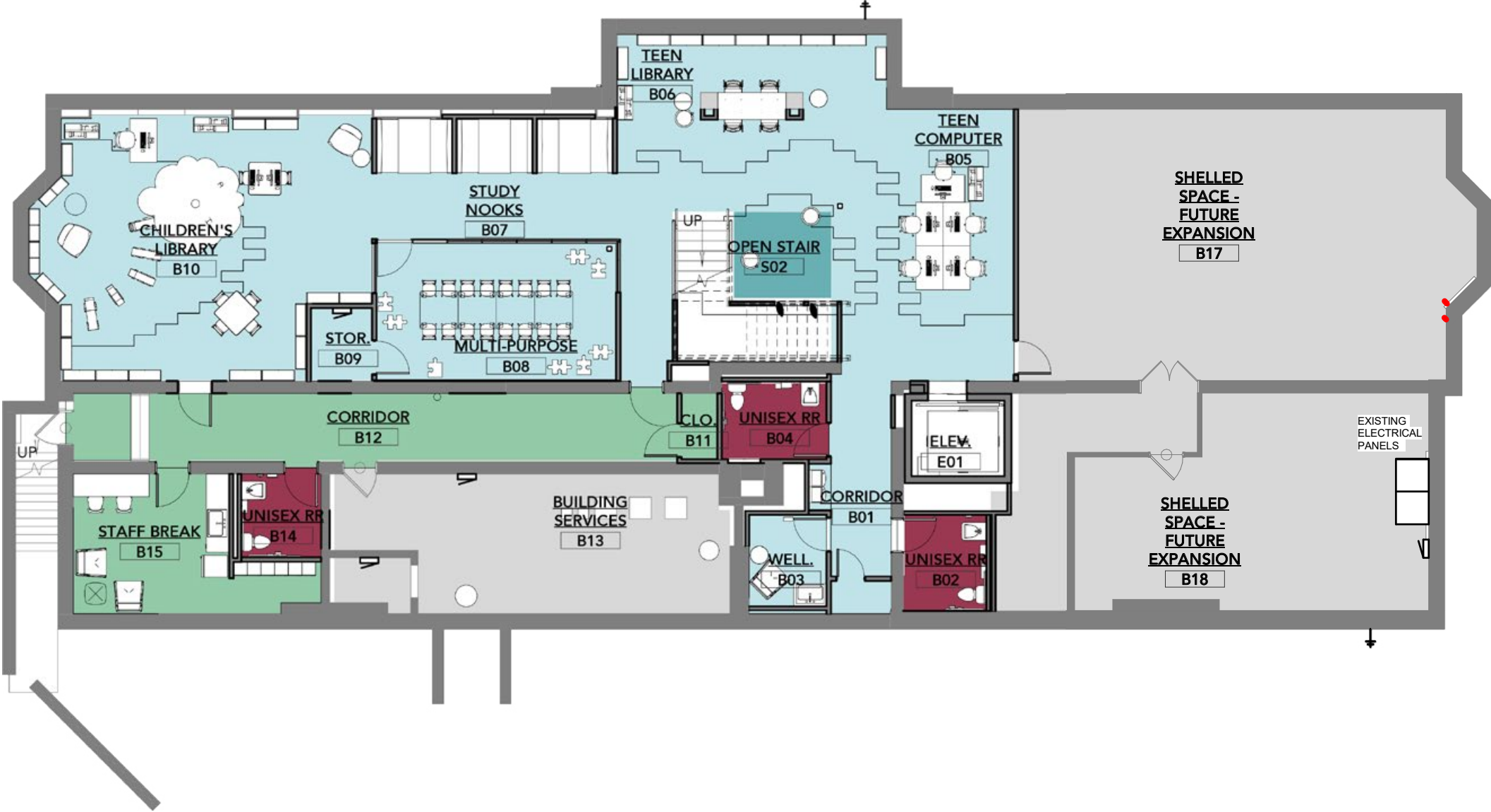
LOWER LEVEL FLOOR PLAN  
SCALE: 3/32" = 1'-0"  
0' 1' 4' 8' 16' 32'

MAIN LEVEL PLAN | EXISTING



MAIN LEVEL FLOOR PLAN  
SCALE: 3/32" = 1'-0"  
0' 1' 4' 8' 16' 32'

LOWER LEVEL PLAN | PROPOSED



LOWER LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"



MAIN LEVEL PLAN | PROPOSED



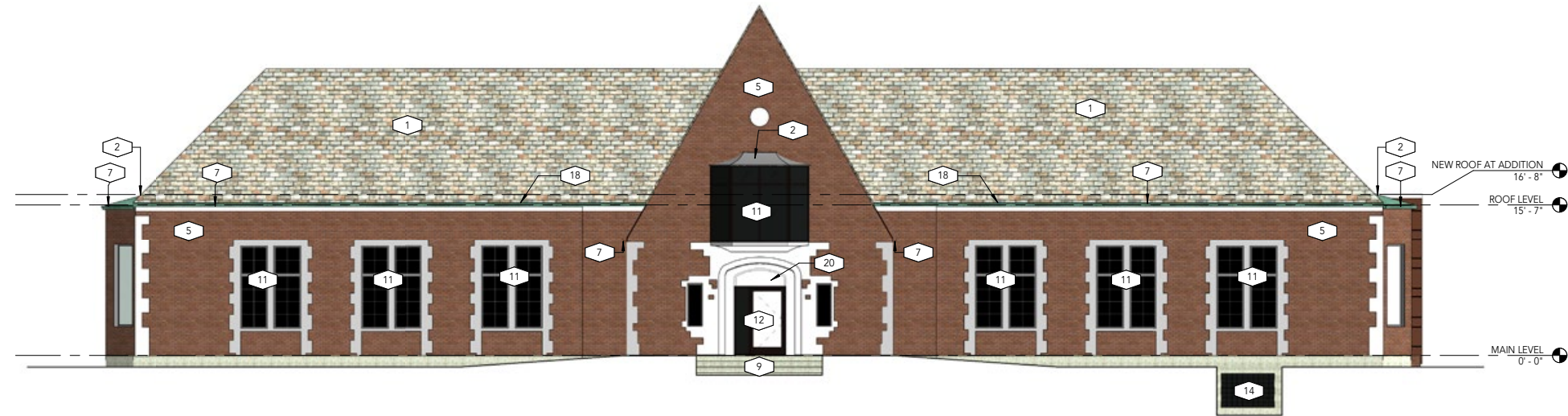
MAIN LEVEL FLOOR PLAN  
SCALE: 3/32" = 1'-0"  
0' 1' 4' 8' 16' 32'



# PROPOSED EXTERIOR ELEVATIONS | LORAIN AVE AND WEST 157TH

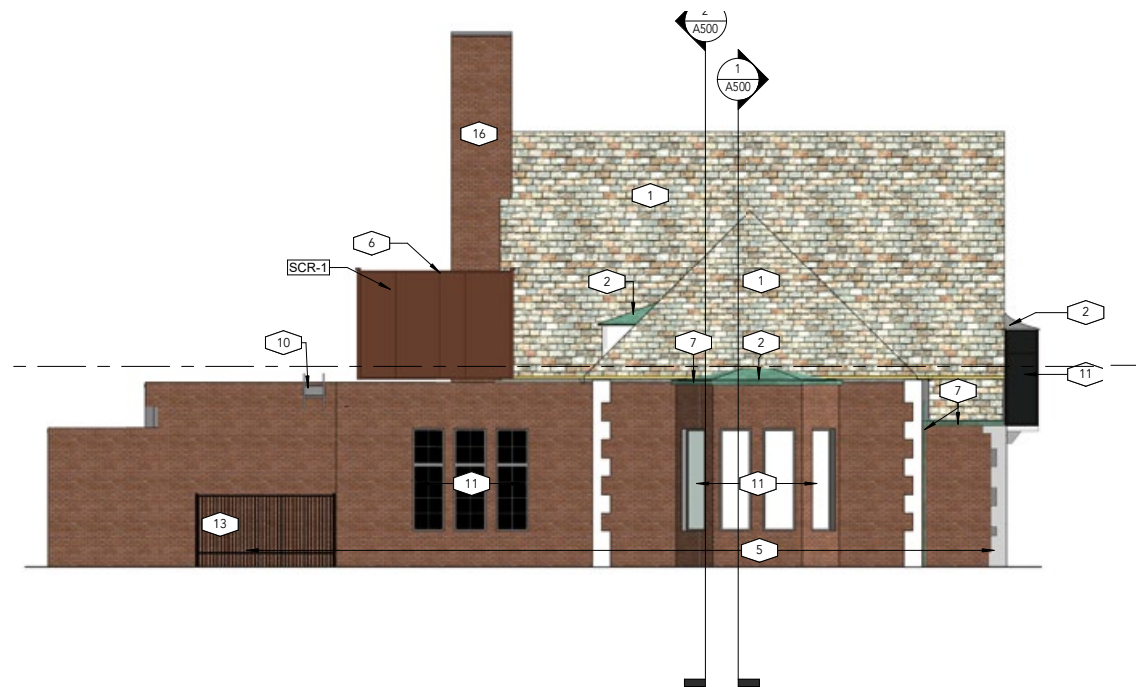
## EXTERIOR CLADDING

<b>[HPL-1]</b>	DESCRIP:	EXTERIOR FACADE PANELS
	MANUF:	TRESPA
	STYLE:	METEON-FACE FASTENED HPL
	COLOR:	SIENNA BROWN, SATIN FINISH
<b>[ACM-1]</b>	DESCRIP:	ALUMINUM COMPOSITE PANEL PORTAL
	MANUF:	ALUCOBOND
	COLOR:	STATUARY BRONZE
	NOTE:	R & R WET SEAL SYSTEM



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

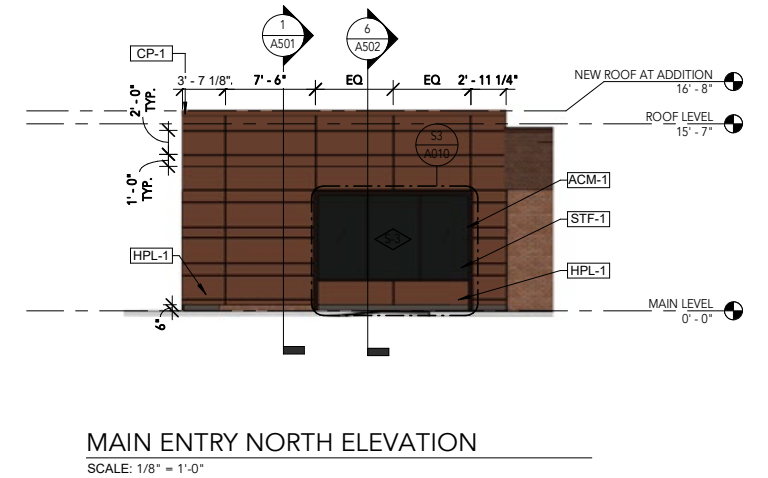
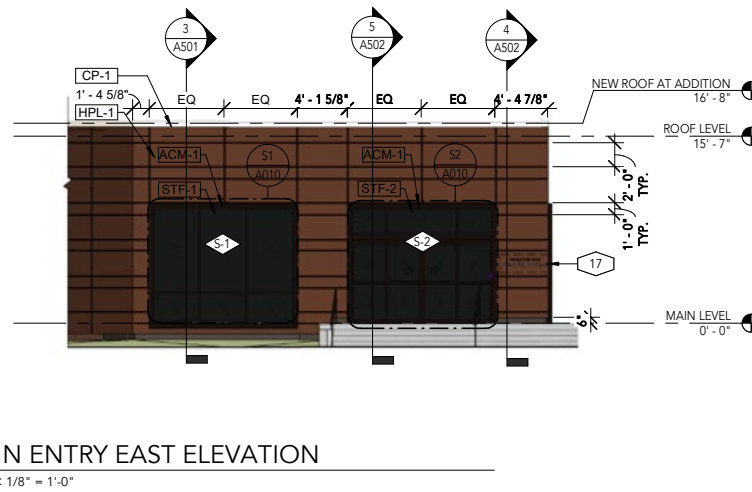
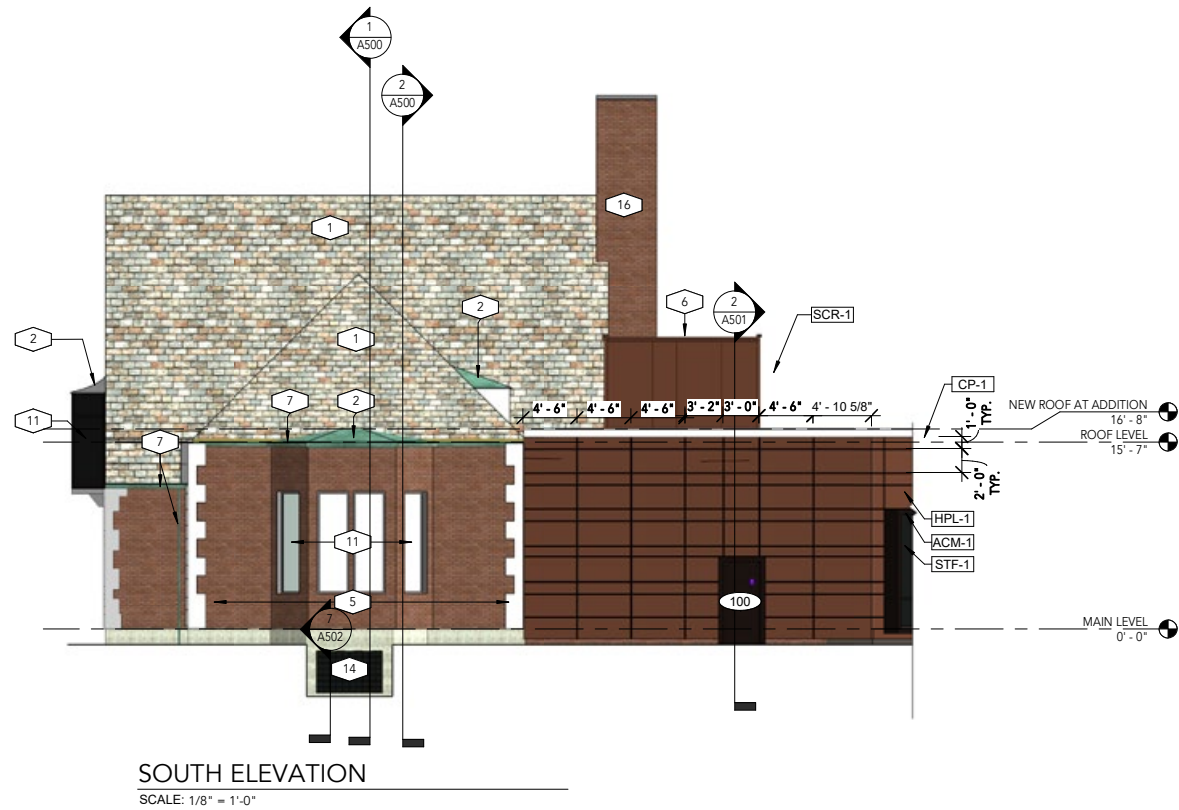
SCALE: 1/8" = 1'-0"

CODED NOTES - EXTERIOR ELEVATIONS	
NUMBER	DESCRIPTION
1	NEW SLATE ROOF ASSEMBLY - REPAIR DECKING AS REQUIRED TO RECEIVE NEW MULTICOLORED VERMONT SLATE OVER .030 EPDM MEMBRANE OVER 3/4" EXTERIOR PLYWOOD ON SLEEPERS
2	EXISTING COPPER STANDING SEAM METAL ROOF TO REMAIN. REPAIR FLASHING AS REQUIRED AND REWORK FOR NEW SLATE ROOF.
3	NEW SHED ROOF AT ELEVATOR HOISTWAY. SEE ROOF PLAN.
4	EXISTING DOOR TO REMAIN, PAINT BRONZE TO MATCH STOREFRONT FINISH
5	EXISTING BRICK WALL AND PARAPET COPING - REPAIR AND REPOINT AS NEEDED. REFER TO BUILDING ASSESSMENT
6	OUTLINE OF NEW RTU - COORDINATE WITH MECHANICAL DRAWINGS.
7	COPPER GUTTERS AND DOWNSPOUT TO REMAIN. REPAIR AS REQUIRED
9	ALTERNATES 1 AND 17, REFER TO LANDSCAPE DRAWINGS AND CIVIL DRAWINGS
10	G.C. TO PROVIDE STEEL ANGLE LADDER STAND OFF BRACKET AT THIS LOCATION
11	EXISTING WINDOW TO REMAIN
12	CPI MANUAL FULL LITE SWING DOOR. COLOR TO MATCH STOREFRONT. REFER TO DOOR SCHEDULE FOR MORE INFORMATION
13	H.M. INSULATED GALVANIZED EXTERIOR DOOR IN ALUMINUM FRAME, CUSTOM COLOR. REFER TO DOOR SCHEDULE FOR MORE INFORMATION.
14	FORMER 5'-6" x 3'-6" BASEMENT WINDOW LOCATION TO BE RESTORED (OPENING SIZE TO BE VERIFIED IN FIELD). REMOVE INTERIOR AND EXTERIOR INFILL, INSTALL NEW CONCRETE AREA WELL W/NEW DRAINAGE, INSTALL GLASS BLOCK AND NEW INTERIOR TRIM AND SILL
16	EXISTING CHIMNEY TO BE CAPPED - REPAIR AND REPOINT AS NEEDED. REFER TO BUILDING ASSESSMENT
17	DECORATIVE PIN-MOUNT SIGNAGE
18	EXISTING COPPER GUTTERS - REPAIR/REWORK FLASHINGS AND INSTALL NEW DEBRIS SCREENS. SEE DETAIL 08/A552
19	BRICK INFILL OF EXISTING WINDOW. EXISTING LINTEL TO REMAIN. BRICK TO ABUT TO EXISTING MASONRY SURROUNDING WINDOW REMOVAL. PREPARED TO RECEIVE MORTAR AND MASONRY INFILL. TO MATCH ADJACENT MASONRY, PROVIDE STRUCTURAL SUPPORT IN LINE WITH EXISTING WALL OF SAME MATERIAL FOR SECURING MASONRY INFILL.
20	INFILL PANEL ABOVE DOOR
21	BRICK INFILL (STACK BOND HEADER) OF EXISTING DOOR. EXISTING LINTEL TO REMAIN. BRICK TO ABUT TO EXISTING MASONRY. PREPARED TO RECEIVE MORTAR AND MASONRY INFILL. SALVAGED MASONRY TO MATCH ADJACENT MASONRY, PROVIDE STRUCTURAL SUPPORT IN LINE WITH EXISTING WALL OF SAME MATERIAL FOR SECURING MASONRY INFILL.

# PROPOSED EXTERIOR ELEVATIONS | SILSBY ROAD

EXTERIOR CLADDING	
<b>[HPL-1]</b>	DESCRIP: EXTERIOR FACADE PANELS MANUF: TRESPA STYLE: METEON-FACE FASTENED HPL COLOR: SIENNA BROWN, SATIN FINISH
<b>[ACM-1]</b>	DESCRIP: ALUMINUM COMPOSITE PANEL PORTAL MANUF: ALUCOBOND COLOR: STATUARY BRONZE NOTE: R & R WET SEAL SYSTEM

CODED NOTES - EXTERIOR ELEVATIONS	
NUMBER	DESCRIPTION
1	NEW SLATE ROOF ASSEMBLY - REPAIR DECKING AS REQUIRED TO RECEIVE NEW MULTICOLORED VERMONT SLATE OVER .030 EPDM MEMBRANE OVER 3/4" EXTERIOR PLYWOOD ON SLEEPERS
2	EXISTING COPPER STANDING SEAM METAL ROOF TO REMAIN. REPAIR FLASHING AS REQUIRED AND REWORK FOR NEW SLATE ROOF.
3	NEW SHED ROOF AT ELEVATOR HOISTWAY. SEE ROOF PLAN.
4	EXISTING DOOR TO REMAIN, PAINT BRONZE TO MATCH STOREFRONT FINISH
5	EXISTING BRICK WALL AND PARAPET COPING - REPAIR AND REPOINT AS NEEDED. REFER TO BUILDING ASSESSMENT
6	OUTLINE OF NEW RTU - COORDINATE WITH MECHANICAL DRAWINGS.
7	COPPER GUTTERS AND DOWNSPOUT TO REMAIN. REPAIR AS REQUIRED
9	ALTERNATES 1 AND 17, REFER TO LANDSCAPE DRAWINGS AND CIVIL DRAWINGS
10	G.C. TO PROVIDE STEEL ANGLE LADDER STAND OFF BRACKET AT THIS LOCATION
11	EXISTING WINDOW TO REMAIN
12	CPI MANUAL FULL LITE SWING DOOR. COLOR TO MATCH STOREFRONT. REFER TO DOOR SCHEDULE FOR MORE INFORMATION
13	H.M. INSULATED GALVANIZED EXTERIOR DOOR IN ALUMINUM FRAME, CUSTOM COLOR. REFER TO DOOR SCHEDULE FOR MORE INFORMATION.
14	FORMER 5'-6" x 3'-6" BASEMENT WINDOW LOCATION TO BE RESTORED (OPENING SIZE TO BE VERIFIED IN FIELD). REMOVE INTERIOR AND EXTERIOR INFILL, INSTALL NEW CONCRETE AREA WELL W/NEW DRAINAGE, INSTALL GLASS BLOCK AND NEW INTERIOR TRIM AND SILL
16	EXISTING CHIMMNEY TO BE CAPPED - REPAIR AND REPOINT AS NEEDED. REFER TO BUILDING ASSESSMENT
17	DECORATIVE PIN-MOUNT SIGNAGE
18	EXISTING COPPER GUTTERS - REPAIR/REWORK FLASHINGS AND INSTALL NEW DEBRIS SCREENS. SEE DETAIL 08/A552
19	BRICK INFILL OF EXISTING WINDOW. EXISTING LINTEL TO REMAIN. BRICK TO ABUT TO EXISTING MASONRY SURROUNDING WINDOW REMOVAL. PREPARED TO RECEIVE MORTAR AND MASONRY INFILL. TO MATCH ADJACENT MASONRY, PROVIDE STRUCTURAL SUPPORT IN LINE WITH EXISTING WALL OF SAME MATERIAL FOR SECURING MASONRY INFILL.
20	INFILL PANEL ABOVE DOOR
21	BRICK INFILL (STACK BOND HEADER) OF EXISTING DOOR. EXISTING LINTEL TO REMAIN. BRICK TO ABUT TO EXISTING MASONRY. PREPARED TO RECEIVE MORTAR AND MASONRY INFILL. SALVAGED MASONRY TO MATCH ADJACENT MASONRY, PROVIDE STRUCTURAL SUPPORT IN LINE WITH EXISTING WALL OF SAME MATERIAL FOR SECURING MASONRY INFILL.



vocon.

**LET YOUR  
SPACES SPEAK.**

# Far West Design Review Case

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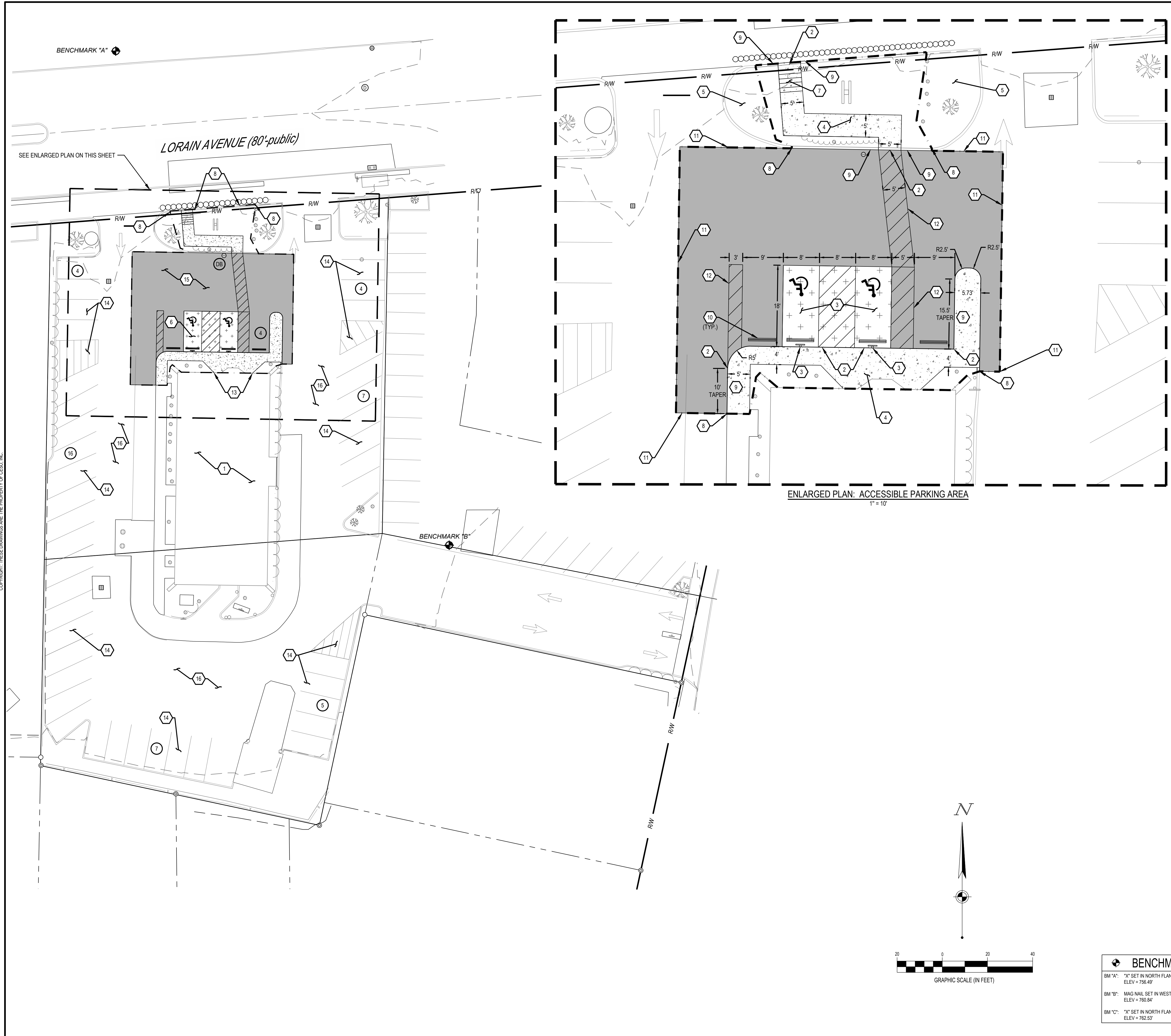


May 7, 2021

FW2020-019 - Arby's Restaurant Renovation: Seeking Conceptual Approval

**Project Address: 17325 Lorain Avenue**

Project Representative: Joseph Jorge, CESO



WALL TYPES	
MARK	DESCRIPTION
W-1	DINING ROOM WALLS REFER TO 1/A1.0
W-2	KITCHEN WALLS REFER TO 2/A1.0
W-3	RESTROOM WALLS REFER TO 3/A1.0

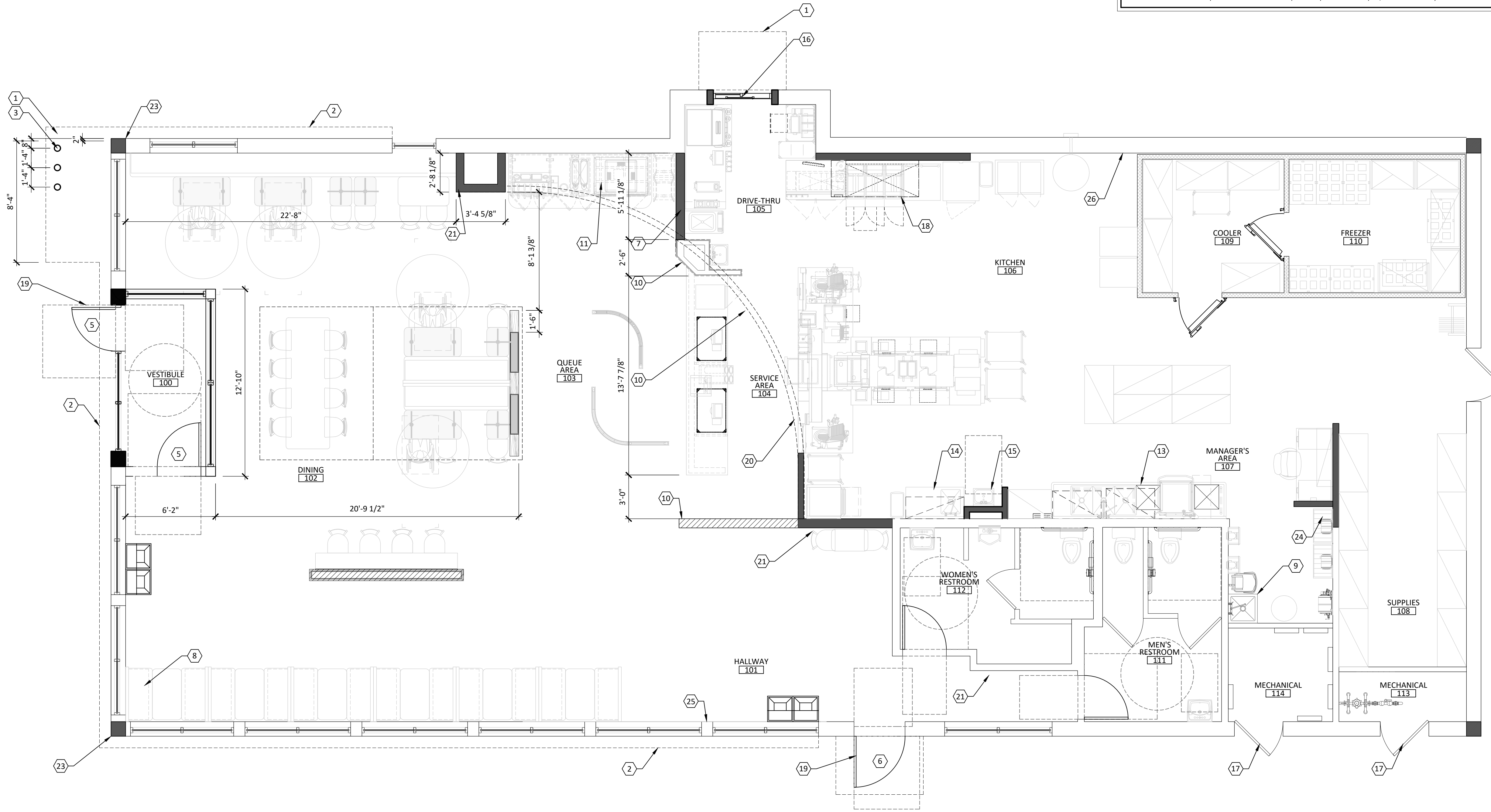
WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL/PARTITION
	PARTIAL HEIGHT WALL

SYMBOL LEGEND	
	FLOOR PLAN CODED NOTE (SEE SCHEDULE ON THIS SHEET)
	DOOR TAG (SEE SCHEDULE ON SHEET A8.1)
	WALL TYPE TAG (SEE SCHEDULE ON THIS SHEET)
	EQUIPMENT TAG (SEE SCHEDULE ON THIS SHEET)

ROOM FINISH SCHEDULE						
NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	COMMENTS
100	VESTIBULE	CT	CT	VARIES	ACT	REFER TO DECOR DRAWINGS
101	HALLWAY	CT	CT	VARIES	ACT	REFER TO DECOR DRAWINGS
102	DINING	CT	CT	VARIES	ACT	REFER TO DECOR DRAWINGS
103	QUEUE AREA	CT	CT	VARIES	ACT	REFER TO DECOR DRAWINGS
104	SERVICE AREA	(E) QT	(E) QT	(E) FRP	VFP	CLEAN AND PAINT (E) FRP
105	DRIVE THRU	(E) QT	(E) QT	(E) FRP	VFP	CLEAN AND PAINT (E) FRP
106	KITCHEN	(E) QT	(E) QT	(E) FRP	(E) VFP	CLEAN AND PAINT (E) FRP
107	MANAGER'S AREA	(E) QT	(E) QT	(E) FRP	(E) VFP	CLEAN AND PAINT (E) FRP
108	SUPPLIES	(E) QT	(E) QT	(E) FRP	(E) VFP	CLEAN AND PAINT (E) FRP
109	COOLER	CONC.	INSULATED METAL PANEL			EXISTING TO REMAIN
110	FREEZER	CONC.	INSULATED METAL PANEL			EXISTING TO REMAIN
111	MEN'S RESTROOM	CT	CT	CT	VFP	REFER TO DECOR DRAWINGS
112	WOMEN'S RESTROOM	CT	CT	CT	VFP	REFER TO DECOR DRAWINGS
113	MECHANICAL	(E) QT	(E) QT	(E) FRP	(E) ACT	REFER TO DECOR DRAWINGS
114	MECHANICAL	(E) QT	(E) QT	(E) FRP	(E) ACT	REFER TO DECOR DRAWINGS

CT = CERAMIC TILE, REFER TO DECOR DRAWINGS FOR LAYOUT AND SPECIFICATIONS  
 QT = QUARRY TILE, SURE STEP RED Q-30  
 FRP = FIBER REINFORCED PANEL, PANOLAM WHITE, PEBBLED, INSTALL WITH MANUFACTURER STANDARD TRIM AND ACCESSORIES  
 ACT = ACOUSTIC CEILING TILE, ARMSTRONG 1728 AD, ADOBE, 24" x 24" IN 15/16" PRELUDE XL ADOBE GRID  
 VFP = VINYL FACED PANEL, U.S. GYPSUM PRODUCTS, 24" x 48", STIPPLE SHELL, SQUARE EDGE IN 15/16" GRID

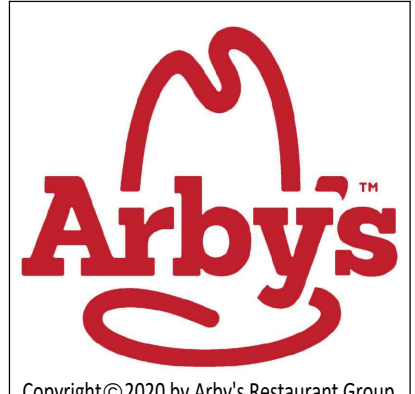
- | CODED NOTES (X) |   |
|-----------------|---|
| 1.              | CANOPY. PROVIDE IN-WALL BLOCKING. REFER TO CANOPY VENDOR DRAWINGS.  |
| 2.              | ACCENT BAND ABOVE. REFER TO CANOPY VENDOR DRAWINGS.   |
| 3.              | CANOPY POSTS. TYP. OF 3. REFER TO CANOPY VENDOR DRAWINGS.   |
| 4.              | CANOPY POST FOUNDATION.   |
| 5.              | ACCESSIBLE ENTRANCE. G.C. TO VERIFY ACCESSIBLE ROUTE FROM PUBLIC R.O.W. AND ACCESSIBLE PARKING SPACES TO EXTERIOR VESTIBULE DOOR. PROVIDE SIGNAGE INDICATING ACCESSIBLE ENTRANCE. SIGNAGE TO MEET ADAAG/ANSI AND LOCAL MUNICIPALITY REQUIREMENTS. |
| 6.              | PROVIDE SIGNAGE DIRECTING PATRONS TO AN ACCESSIBLE ENTRANCE/EXIT. SIGNAGE TO MEET ADAAG/ANSI AND LOCAL MUNICIPALITY REQUIREMENTS.   |
| 7.              | SODA LINE IN WALL, BY SODA VENDOR. RUN DOWN IN WALL, COME THROUGH WALL UNDER COUNTERTOP.  |
| 8.              | INSTALL NEW OWNER FURNISHED WALL MOUNTED TELEVISION. G.C. TO INSTALL FRT BLOCKING IN WALL. COORDINATE FINAL MOUNTING HEIGHT WITH DECOR DRAWINGS.  |
| 9.              | EXISTING MOP SINK LOCATION.   |
| 10.             | INSTALL CERAMIC TILE ON THIS WALL. REFER TO DECOR DRAWINGS.   |
| 11.             | INSTALL SODA MACHINE REFER TO PLUMBING DRAWINGS.  |
| 12.             | NEW MENU BOARD.   |
| 13.             | INSTALL 3 COMP SINK/WARE WASHER.  |
| 14.             | NEW PREP SINK.  |
| 15.             | NEW HAND SINK. REFER TO PLUMBING DRAWINGS.  |
| 16.             | NEW DRIVE THRU WINDOW.  |
| 17.             | EXISTING DOOR TO REMAIN.  |
| 18.             | NEW ZERO CLEARANCE HOOD ABOVE WITH NEW WALL BEHIND HOOD. 20 GA. STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD OVER 3-5/8" 16 GA METAL STUDS @ 16" O.C. STAINLESS STEEL SHEET OVER CEMENT BOARD TO EXTEND 18" IN ALL DIRECTIONS.                    |
| 19.             | NEW ADA COMPLIANT DOOR.   |
| 20.             | NEW BULK HEAD REFER TO DECOR DRAWINGS FOR FINISH.   |
| 21.             | INFILL WALL WITH NEW 2X WOOD FRAMING. ALIGN WITH ADJACENT CONSTRUCTION.   |
| 22.             | PATCH AND REPAIR EXISTING SUBSTRATE AND FINISHES AS REQUIRED FOR NEW WORK.  |
| 23.             | PROVIDE NEW 2X WOOD FRAMING WITH R-19 BATT INSULATION AND SUBSTRATE TO ALIGN WITH ADJACENT CONSTRUCTION. REFER TO STRUCTURAL AND A4.1 / A4.2.   |
| 24.             | NEW HAND SINK REFER TO REMAIN.  |
| 25.             | SURFACE MOUNTED TYPE ABC FIRE EXTINGUISHER PROVIDED BY KES, MOUNT @ 44" AFF. COORDINATE FINAL LOCATIONS AND QUANTITY WITH FIRE MARSHAL.   |
| 26.             | TYPE K FIRE EXTINGUISHER PROVIDED BY KES, COORDINATE FINAL LOCATIONS AND QUANTITY WITH FIRE MARSHAL. LOCATE WITHIN 30'-0" OF HOOD.  |



**1**  
A1.1  
1/4" = 1'-0"  
**ARCHITECTURAL FLOOR PLAN**

**red**  
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**ARBY'S RESTAURANT #**  
**BUILDING REMODEL - CONVERSION**  
17325 Lorain Ave.  
Cleveland, Ohio 39035  
FOR  
ARBY'S RESTAURANT GROUP, INC.  
1155 PERIMETER CENTER WEST, LEVEL 12, ATLANTA, GA 30338

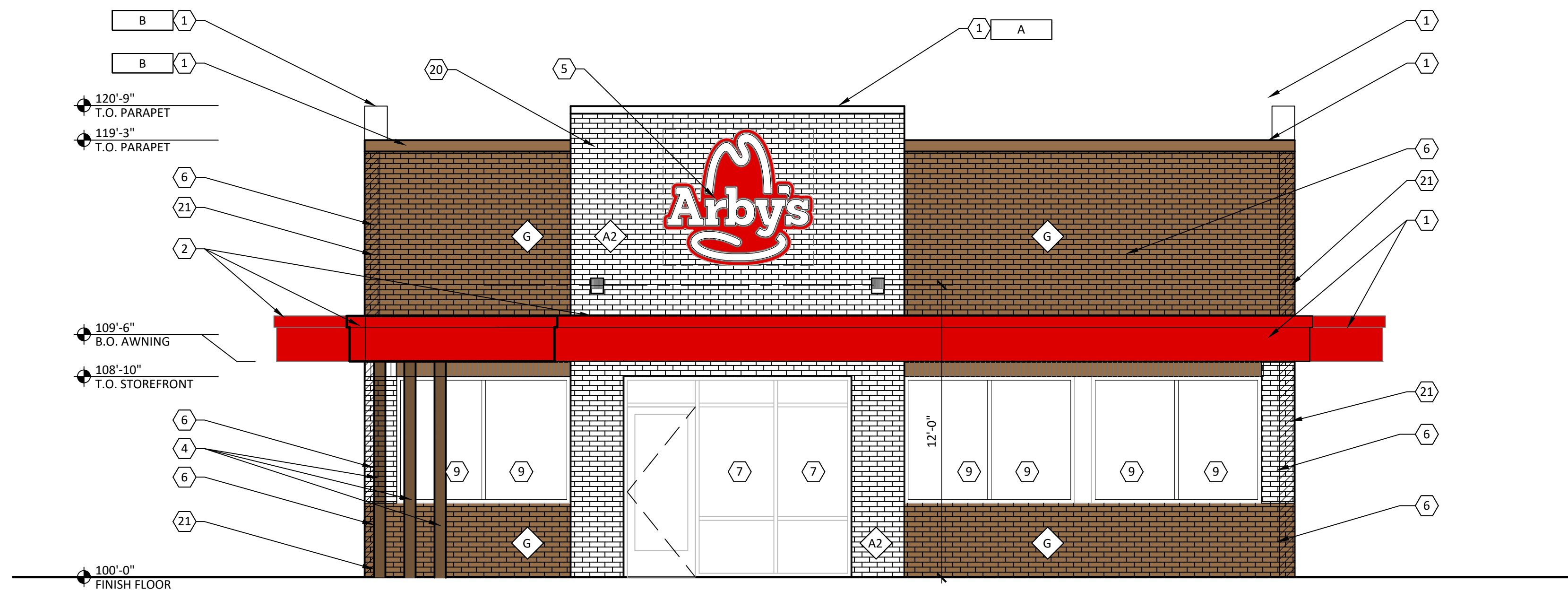
PROJECT NUMBER:  
ARG479

ISSUE DATE  
SD MAR 12, 2020

ARCHITECTURAL  
FLOOR PLAN

SHEET:

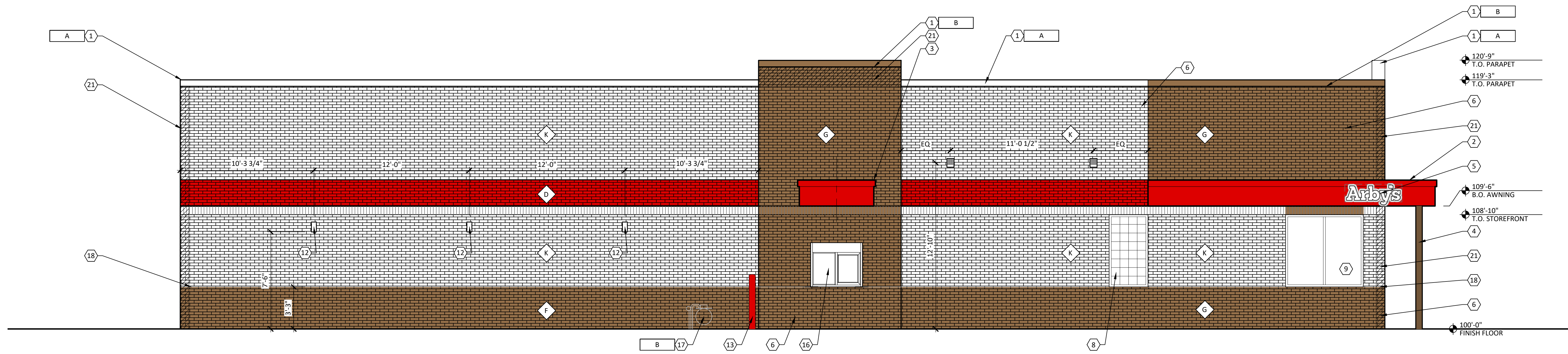
**A1.1**



CODED NOTES (X) (ALL CODED NOTES MAY NOT BE USED)	
1. NEW PRE-FINISHED METAL COPING.	12. NEW WALL MOUNTED LIGHT FIXTURE.
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.	13. PAINT EXISTING BOLLARD.
3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.	14. NEW WALL PACK. REFER TO ELECTRICAL DRAWINGS.
4. PRE-FABRICATED METAL POST FOR CANOPY.	15. NEW DRIVE-THRU WINDOW, MODIFY EXISTING OPENING TO ACCOMMODATE NEW DRIVE THRU WINDOW.
5. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.	16. NEW DOOR IN EXISTING FRAME.
6. PAINT EXISTING BRICK WALL SYSTEM.	17. PAINT GAS METER.
7. NEW STOREFRONT.	18. NEW PAINT LINE.
8. EXISTING GLASS BLOCK TO REMAIN.	19. PAINT DOWN SPOUT.
9. EXISTING STOREFRONT TO REMAIN.	20. NEW BRICK VENEER. REFER TO FINISH SCHEDULE
10. EXISTING DOOR AND FRAME TO REMAIN. PAINT FUNCTIONAL GRAY.	21. HATCH AREA INDICATES AREA OF INFILL BRICK VENEER TO ALIGN WITH EXISTING CONSTRUCTION. PAINT TO MATCH ADJACENT SURFACE. REFER TO FINISH SCHEDULE
11. NEW STOREFRONT. FINISH TO MATCH EXISTING. REFER TO SHEET AB.1.	

FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
<b>FINISHES</b>			
A1	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH - PAINT PER FINISH TAG GROUT: CEMEX 36-A MOCHA, TYPE N
A2	BELDEN BRICK	ALASKA WHITE	TEXTURE: VELOUR GROUT: CEMEX GRAY TYPE N 1000
B	NOT USED	---	---
C	NOT USED	---	---
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
<b>METALS</b>			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
<ol style="list-style-type: none"> <li>PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. "F".</li> <li>MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.</li> <li>ALUMINUM STOREFRONT TO MATCH EXISTING.</li> <li>ALL GLAZING TO BE 1" INSULATED GLAZING.</li> <li>ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)</li> <li>SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.</li> <li>REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.</li> </ol>			

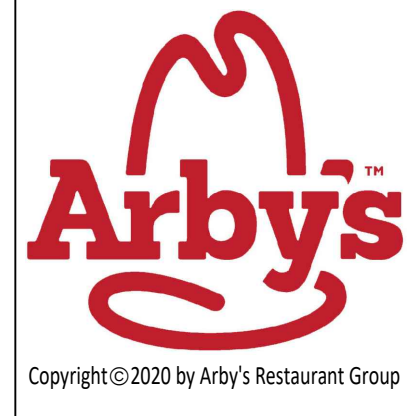
1  
A2.1  
1/4" = 1'-0"



2  
A2.1  
1/4" = 1'-0"

**red**  
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17325 Lorain Ave.  
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1155 PERIMETER CENTER WEST, LEVEL 12., ATLANTA, GA. 30338

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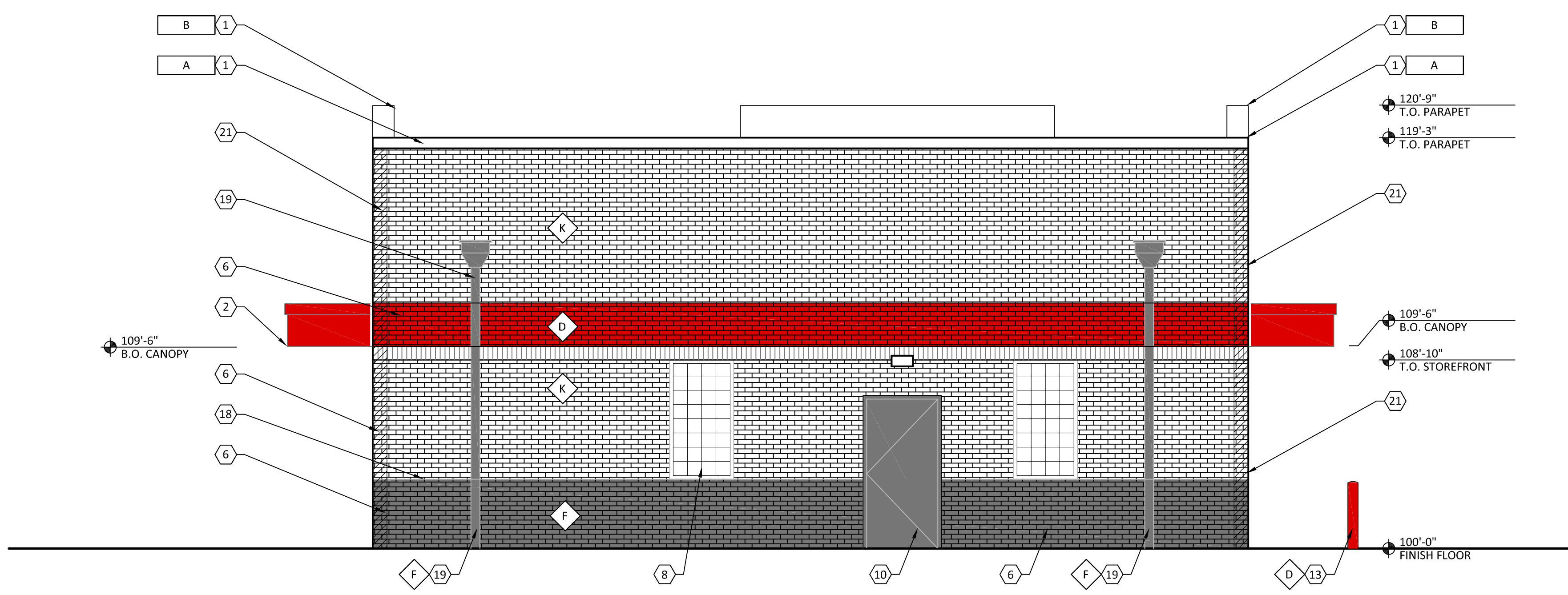
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EXTERIOR ELEVATIONS

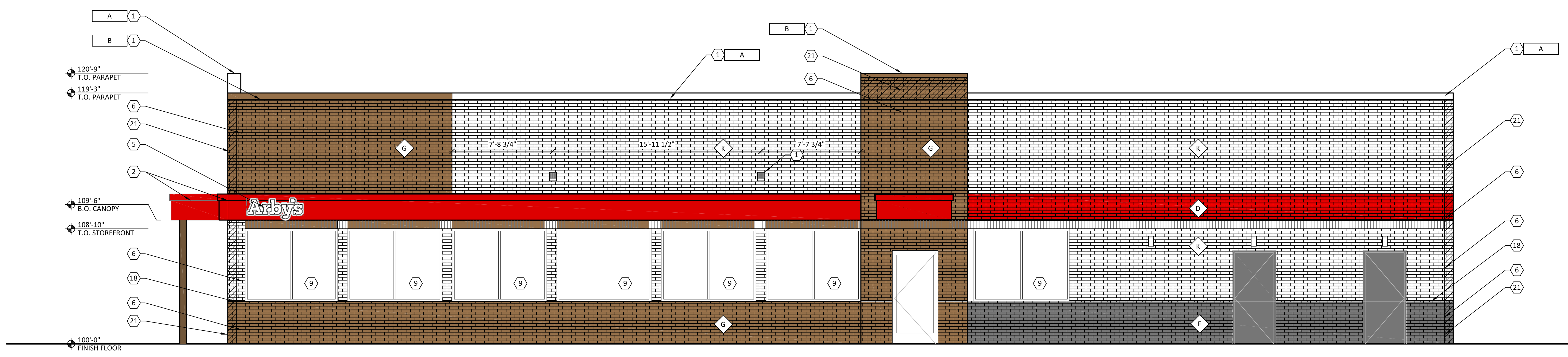
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**A2.1**

CODED NOTES (X) (ALL CODED NOTES MAY NOT BE USED)	
1. NEW PRE-FINISHED METAL COPING.	12. NEW WALL MOUNTED LIGHT FIXTURE.
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.	13. PAINT EXISTING BOLLARD.
3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.	14. NEW WALL PACK. REFER TO ELECTRICAL DRAWINGS.
4. PRE-FABRICATED METAL POST FOR CANOPY.	15. NEW DRIVE-THRU WINDOW, MODIFY EXISTING OPENING TO ACCOMMODATE NEW DRIVE THRU WINDOW.
5. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.	16. NEW DOOR IN EXISTING FRAME.
6. PAINT EXISTING BRICK WALL SYSTEM.	17. PAINT GAS METER.
7. NEW STOREFRONT.	18. NEW PAINT LINE.
8. EXISTING GLASS BLOCK TO REMAIN.	19. PAINT DOWN SPOUT.
9. EXISTING STOREFRONT TO REMAIN.	20. NEW BRICK VENEER. REFER TO FINISH SCHEDULE
10. EXISTING DOOR AND FRAME TO REMAIN. PAINT FUNCTIONAL GRAY.	21. HATCH AREA INDICATES AREA OF INFILL BRICK VENEER TO ALIGN WITH EXISTING CONSTRUCTION. PAINT TO MATCH ADJACENT SURFACE. REFER TO FINISH SCHEDULE
11. NEW STOREFRONT. FINISH TO MATCH EXISTING. REFER TO SHEET A8.1.	



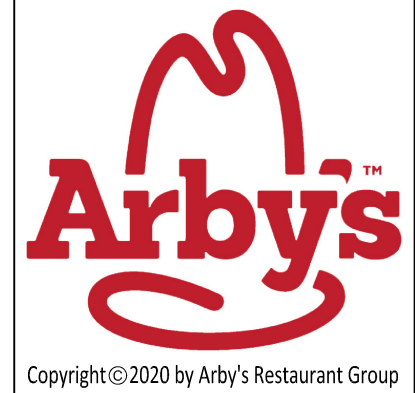
1  
A2.2  
REAR ELEVATION  
1/4" = 1'-0"



2  
A2.2  
SIDE ELEVATION  
1/4" = 1'-0"

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FOR  
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1.155 PERIMETER CENTER WEST, LEVEL 12, ATLANTA, GA 30338

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EXTERIOR ELEVATIONS

SHEET:  
**A2.2**



## CODED NOTES

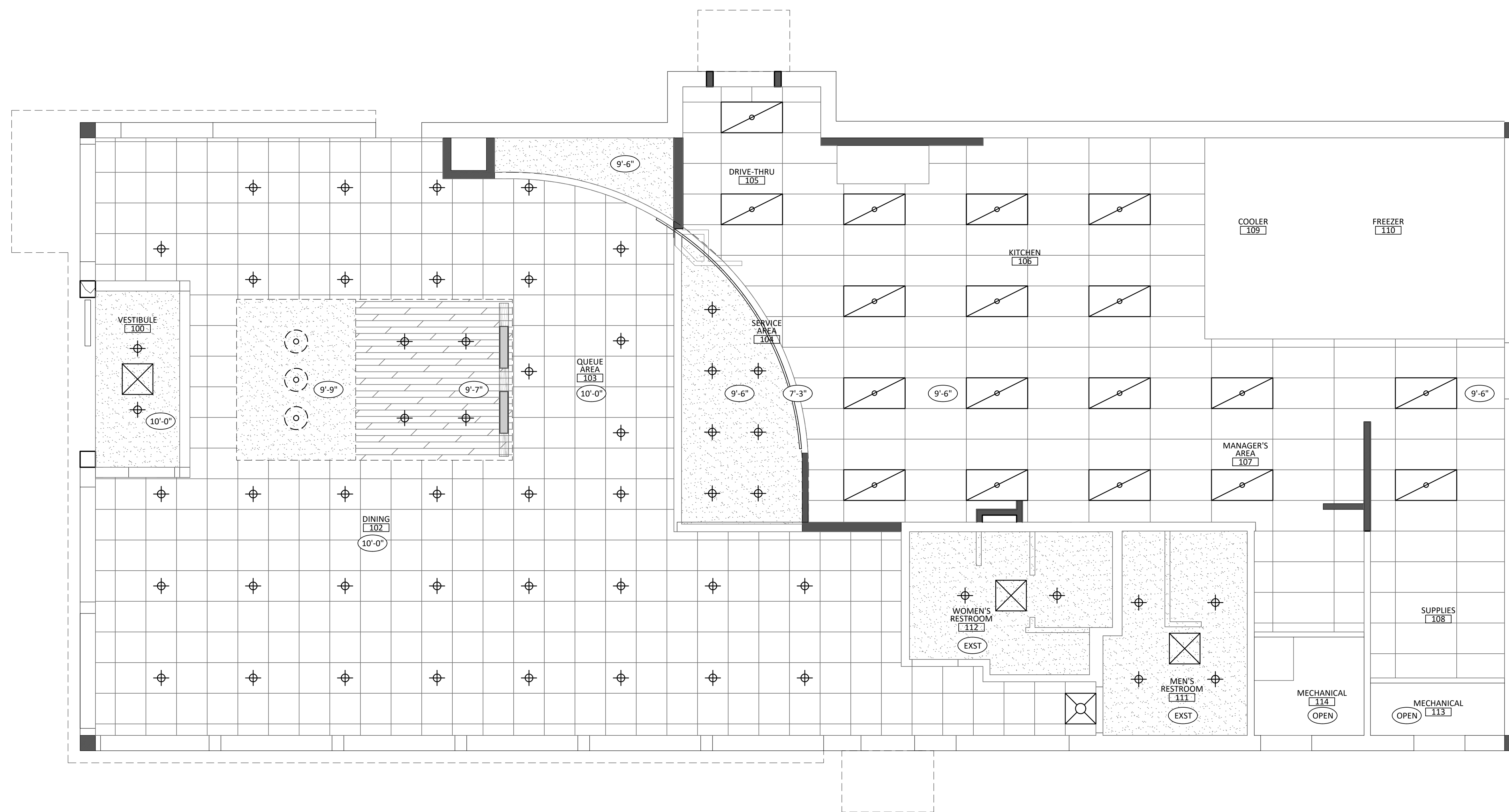
- 2x2 SUSPENDED VINYL FACED CEILING TILE IN NEW GRID. REFER TO DECOR DRAWINGS.
- 2x4 GRID AND SUSPENDED U.S. GYPSUM VINYL FACED CEILING TILE WITH STIPPLE SHELL AND SQUARE EDGE IN NEW 15/16" GRID
- METAL CANOPY. REFER TO CANOPY VENDOR DRAWINGS.
- METAL ACCENT BAND. REFER TO CANOPY VENDOR DRAWINGS.
- MODIFY EXISTING BULKHEAD. REFER TO DECOR DRAWINGS FOR FINISH.
- PROVIDE STAINLESS STEEL PANEL ON BULKHEAD WITHIN 18" OF HOOD AS REQUIRED.
- NEW KITCHEN HOOD, REFER TO MECH.
- NEW INTERIOR MENU BOARD.
- TRELLIS, REFER TO DECOR DRAWINGS.
- PENDANT FIXTURES TO BE CENTERED OVER TABLES. REFER TO DECOR DRAWINGS.
- NEW SPEAKERS TYP. OF SIX (6).
- NOT USED.
- SOFFIT, REFER TO DECOR DRAWINGS.
- REPLACE EXISTING LIGHT FIXTURE. COORDINATE WITH OWNER AND REFER TO ELECTRICAL DRAWINGS.
- REPLACE EXISTING DIFFUSER W/ NEW, COORDINATE WITH OWNER AND REFER TO MECHANICAL DRAWINGS.

## RCP LEGEND

	ACOUSTICAL CEILING TILE AND GRID, REFER TO DECOR DRAWINGS
	GYPSUM BOARD CEILING, REFER TO DECOR DRAWINGS
	WOOD CEILING, REFER TO DECOR DRAWINGS
	EMERGENCY EXIT SIGN, CENTER ABOVE DOOR
	EMERGENCY LIGHT, EMERGENCY EXIT LIGHT REFER TO ELECTRICAL DRAWINGS
	LAY-IN FLUORESCENT LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	RECESSED CAN LIGHT, REFER TO ELECTRICAL DRAWINGS
	PENDANT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	WALL SCONCE, REFER TO ELECTRICAL DRAWINGS
	SUPPLY AIR DIFFUSER, REFER TO MECHANICAL DRAWINGS
	RETURN AIR GRILLE, REFER TO MECHANICAL DRAWINGS
	SPEAKER, REFER TO ELECTRICAL DRAWINGS

## RCP GENERAL NOTES

- CENTER ACOUSTIC CEILING SYSTEM GRID WITHIN EACH ROOM UNLESS NOTED OTHERWISE.
- SEE MECHANICAL AND ELECTRICAL SHEETS FOR HVAC DEVICE AND LIGHT FIXTURE LOCATIONS.
- EXPOSED INSULATION TO HAVE A FLAME SPREAD RATING OF 25 OR LESS & A SMOKE DEVELOPMENT RATING OF 450 OR LESS PER OBC 719.3
- CONCEALED INSULATION TO HAVE A FLAME SPREAD RATING OF 25 OR LESS & A SMOKE DEVELOPMENT RATING OF 450 OR LESS PER OBC 719.2
- MATERIALS IN PLENUM SPACES SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE - DEVELOPED INDEX OF NOT MORE THAN 50 PER OMC 602.2.1.
- GENERAL CONTRACTOR TO COORDINATE FRAMING AROUND HVAC DUCTS, PIPES, CONDUITS AND OTHER ITEMS LOCATED ABOVE FINISHED CEILING
- SEE ELECTRICAL DRAWINGS FOR SWITCHING AND CIRCUIT INFORMATION.
- REPLACE DIRTY OR DAMAGED CEILING TILES THROUGHOUT SPACE WITH SALVAGED CEILING TILES FROM EXISTING ROOM RECEIVING NEW CEILING TILE AND GRID.
- CENTER RECESSED CAN LIGHT IN CEILING TILE UNLESS NOTED OTHERWISE.
- HEADERS ARE GWB OVER MTL. STUD AND EXTEND 6" BELOW THE LOWEST CEILING
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION
- SIGNAGE AND CANOPIES SHOWN FOR LOCATION ONLY, AND ARE TO BE FILED UNDER SEPARATE PERMIT
- REFER TO DECOR DRAWINGS FOR ALL PENDANT AND DECORATIVE LIGHT FIXTURE LOCATIONS.
- REFER TO THE DECOR DRAWINGS PRIOR TO FRAMING THE BULKHEAD OVER THE SEATING AREA. DIMENSIONS ARE SUBJECT TO CHANGE BASED ON SEATING LAYOUT.



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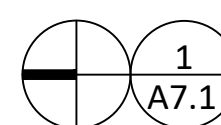
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ISSUE	DATE
SD	MAR 12, 2020

REFLECTED  
CEILING PLAN

SHEET:

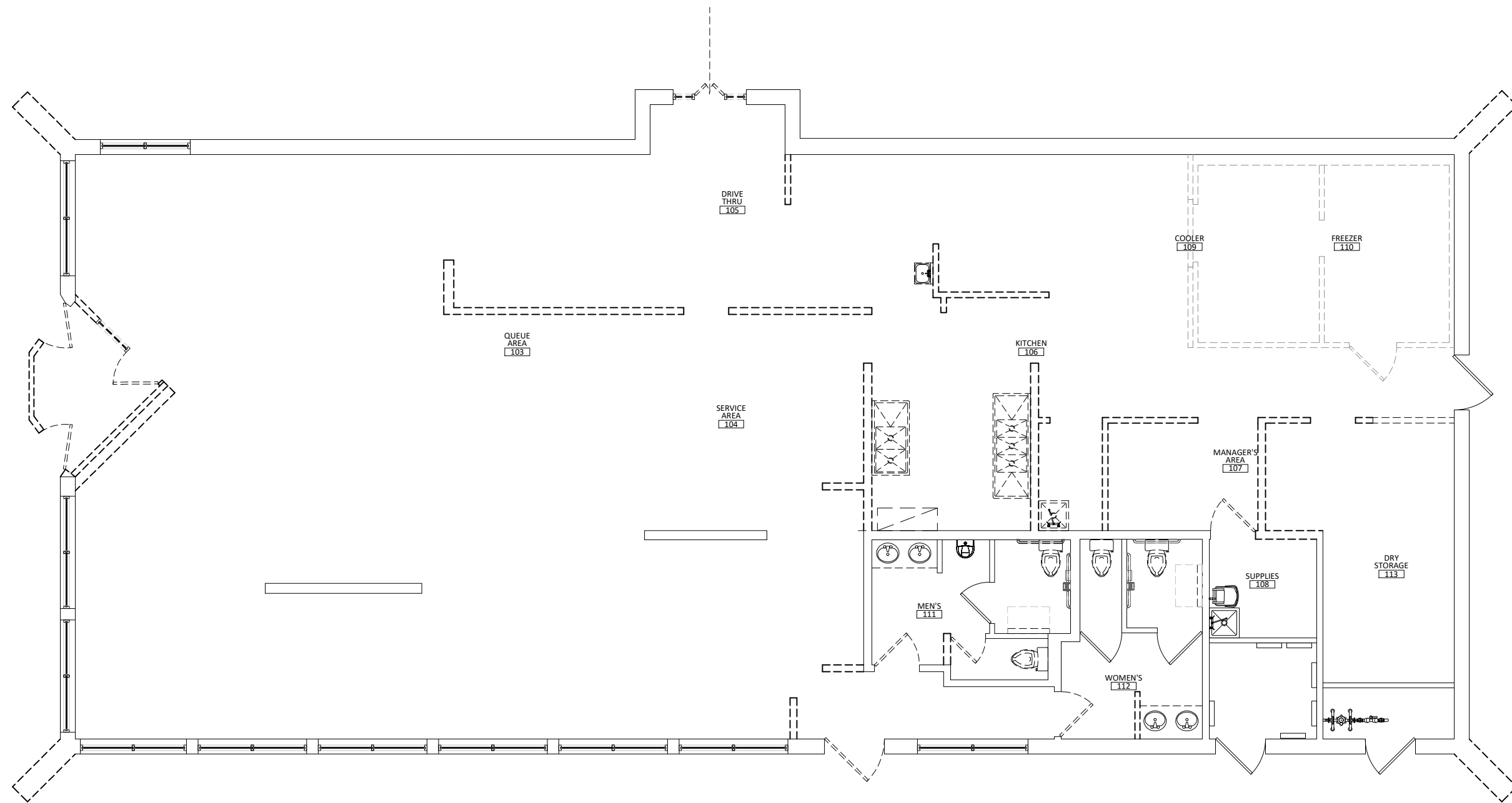
A7.1



## REFLECTED CEILING PLAN

1/4" = 1'-0"

1  
A7.1



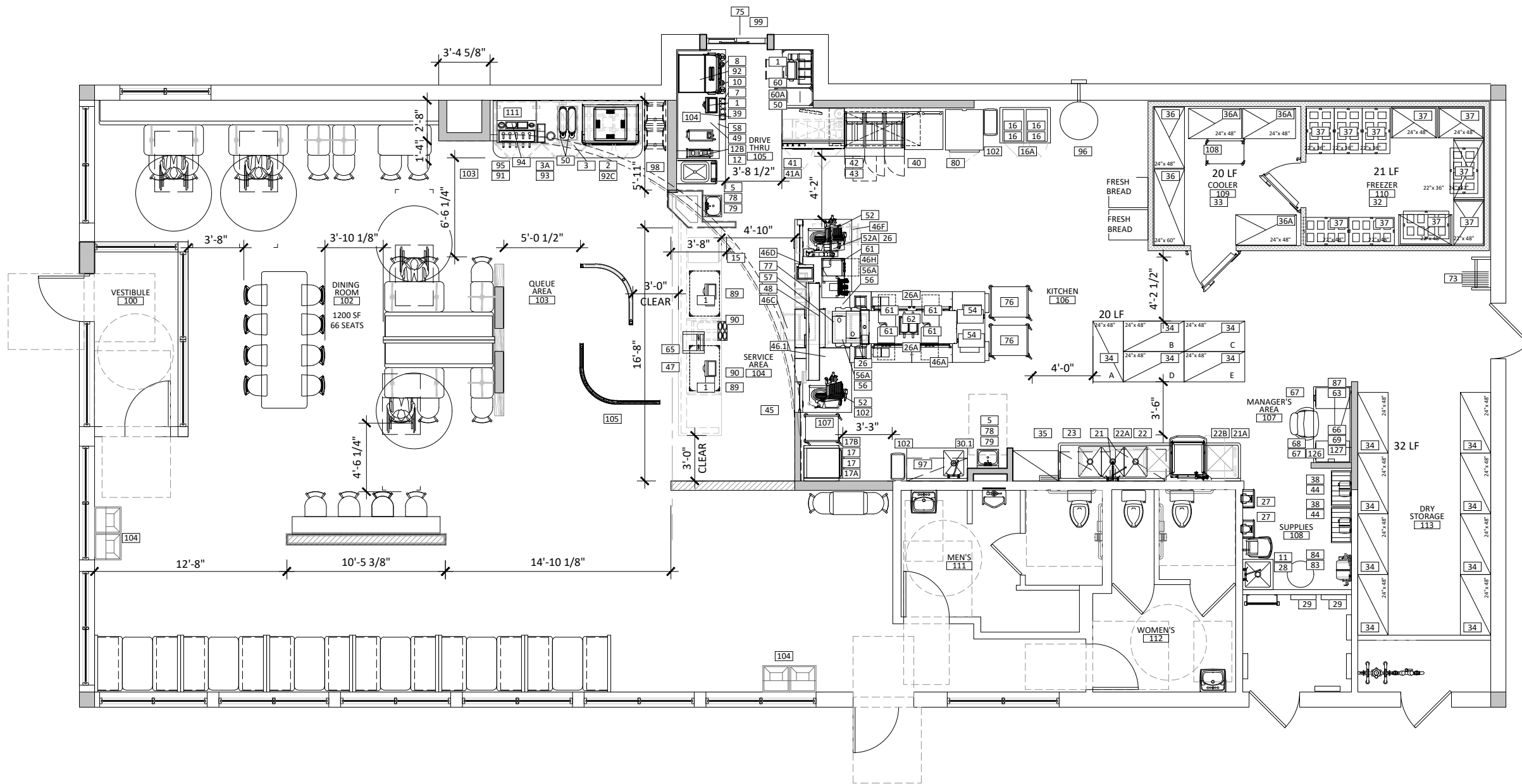
PRELIMINARY KITCHEN TEST-FIT NOTICE:

THIS PROPOSED PRELIMINARY KITCHEN AND SEATING LAYOUT IS FOR TEST-FIT PURPOSES ONLY, AND IS REPRESENTATIVE AS TO HOW OUR KITCHEN AND SEATING MAY LAYOUT IN THE PROPOSED TENANT SPACE. THIS PRELIMINARY KITCHEN AND SEATING LAYOUT IS SUBJECT TO REVIEW, CHANGES, AND APPROVAL BY ARBY'S OPERATIONS TEAM. IN ADDITION, THIS PRELIMINARY KITCHEN AND SEATING LAYOUT MAY REQUIRE REVISIONS BY THE ARCHITECT OF RECORD TO CONFORM TO ALL REQUIRED LOCAL, STATE, AND FEDERAL CODES, ORDINANCES OR OTHER CONDITIONS.

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ARBY'S RESTAURANT  
PRELIMINARY  
DEMO PLAN

CLEVELAND OH  
03.05.2020



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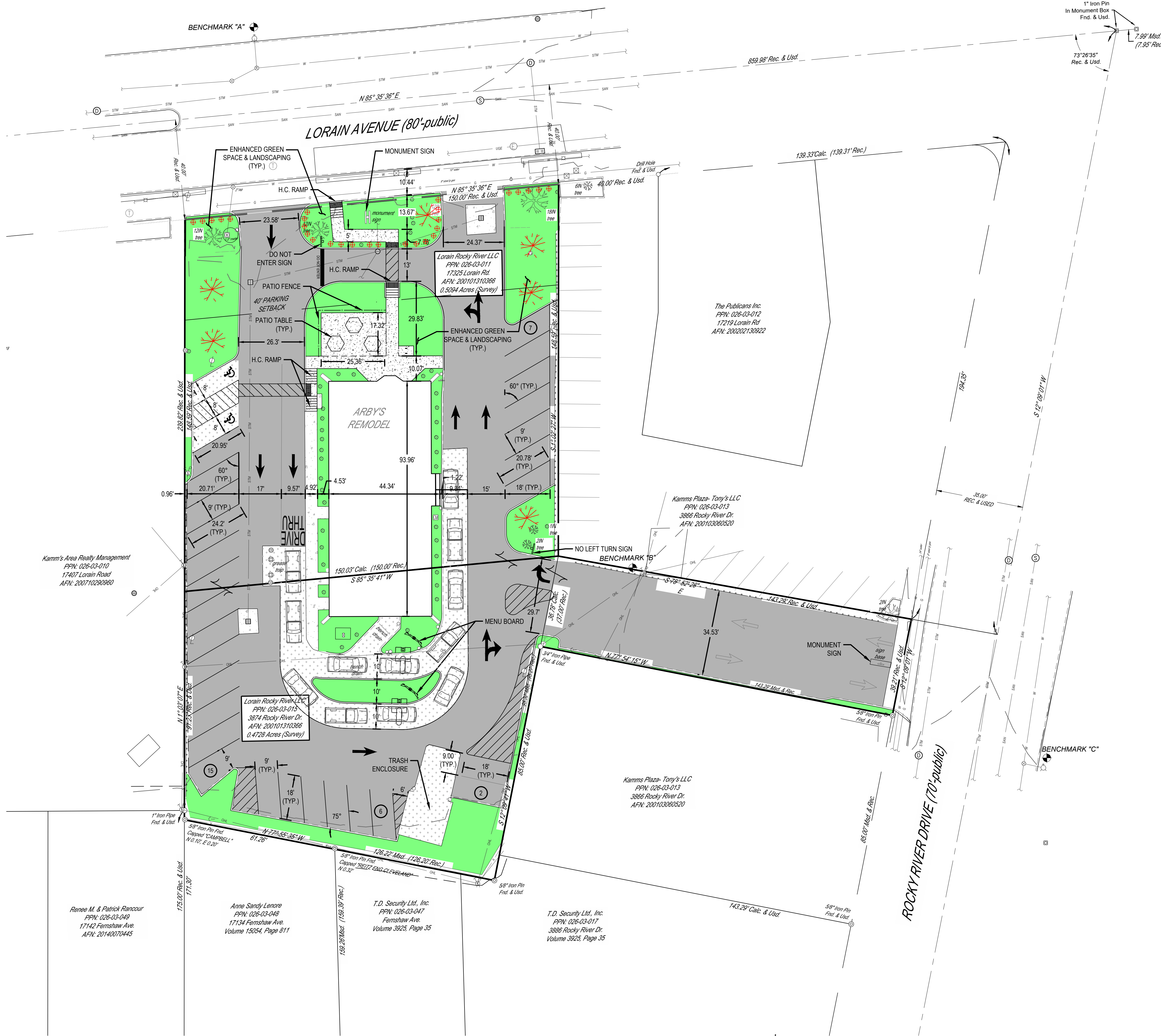
**ARBY'S RESTAURANT  
PRELIMINARY  
KITCHEN / SEATING LAYOUT**

CLEVELAND OH  
03.05.2020

3	1	SELF SERVE BEVERAGE COUNTER	KES / DECOR	
3A	1	BAIN MARIE	VOLLRATH 1.25 QT BAIN MARIE 78710	INTEGRATED INTO #3 SELF-SERVE BEVERAGE COUNTER
5	3	WALL MOUNTED HAND SINK	KROWNE HS-2	
5	OPTL	WALL MOUNTED HAND SINK	ADVANCED TABCO, 7-PS-60	
7	4	CUP DISPENSER	SAN JAMAR C241OC	INTEGRATED INTO #58 DRIVE-THRU BEVERAGE COUNTER
8	1	8 HEAD DRIVE-THRU DRINK DISPENSER W/ OVERHEAD ICE MAKER ABOVE (SEE #92)	CORNELIUS IDC255 PRO FAST GATE - 8 HEAD, 7 OPTIFIL VALVES & 1 VARIETY VALVE (10 FLAVORS)	INCLUDED IN BEVERAGE PACKAGE
10	1	LID HOLDER	INCLUDED WITH #8	MOUNTED ON ITEM #8
11	1	MOP HOLDER	BY OWNER	
12	1	SHAKE MACHINE	ELECTRO FREEZE CS704	
12	OPTL	SHAKE MACHINE	TAYLOR MODEL 60	DIFFERENT ELECTRICAL REQUIREMENTS THAN ELECTRO-FREEZE CS704
12B	1	DISPOSABLE CUP DISPENSER	SAN JAMAR C8504WFDARB	
14	1	AUTO GREETER (NOT SHOWN)	ERC/PANISONIC - ULTRADTAGARB	
15	1	SAFE - (4) TILLS	TIDEL TILL STORAGE VAULT AND SIDE VAULT, SERIES 4	FOR CORPORATE STORES ONLY
16	4	COOK & HOLD CABINET	ALTO-SHAAM - 300TH-ARB1-SS (WITH SITESAGE SPOD)	16-13/16"W X 25-3/16"D X 18-15/16"H
16	OPTL	COOK & HOLD CABINET	FWE-LCHR-1220-4 (WITH SITESAGE SPOD)	18"W X 26"D X 20.5"H
16A	1	COOK & HOLD STAND	KES	44.5" W x 41 1/2" T MOBILE STAND TO HOLD (4) #16
17	2	DIGITAL COUNTERTOP ELECTRIC CONVECTION OVEN	CADCO, MODEL XAFT-115A	28 1/8"D x 23 5/8"W x 16 7/8"H
17A	1	OVEN STAND	KES	28" W x 41 1/2" T MOBILE STAND, TO HOLD (2) #17
17B	1	OVEN TIMER	A.J. ANTUNES SOLAR TIMER MODEL #TTS-8 OT	
19	OPTL	3 COMPARTMENT SINK	KES, CUSTOM FAB ITEM	INCLUDES LEVER DRAINS AND PRE-RINSE WASH ASSEMBLY; THIS ITEM REPLACES #22A WHEN WAREWASHER #22 IS NOT USED
21	LOT	SHELVING ABOVE 3 COMPARTMENT SINK	SMART WALL SYSTEM, ARBSWDM	
21A	OPTL	SHELVING ABOVE CLEAN DISH TABLE	METRO ARBCS30SW	
22	1	WAREWASHER	HOBART MODEL AM15-42	
22	OPTL	WAREWASHER	ECOLAB QSR TSC	DIFFERENT ELECTRICAL REQUIREMENTS THAN HOBART MODEL AM15-42
22A	1	3 COMPARTMENT SINK WITH WAREWASHING SOILED TABLE	KES, CUSTOM FAB	INCLUDES LEVER DRAINS AND PRE-RINSE WASH ASSEMBLY
22B	OPTL	CLEAN LANDING DISHTABLE	KES, CUSTOM FAB	
23	1	KNIFE RACK	SAN JAMAR, SAF-T-KNIFE STATION, STK1008	15"X15"X4.25", INCLUDED IN SMALLWARES PACKAGE
26	3	BEEF PORTION SCALE	SMALLWARE ITEM	SEE SMALLWARES LIST
26A	2	BEEF PORTION SCALE	SMALLWARE ITEM	SEE SMALLWARES LIST
27	2	TANKLESS WATER HEATER	RINNAI CU199i	SEE PLUMBING DRAWINGS
28	1	MOP SINK	REFER TO PLUMBING DRAWINGS	
28A	1	MOP BUCKET	BY OWNER	
29	LOT	ELECTRIC PANELS	REFER TO ELECTRICAL DRAWINGS	
30.1	1	PREP TABLE W/ BACKSPLASH & PREP SINK	KES, CUSTOM FAB ITEM, INCLUDES (1)B231 FAUCET WITH 12" SPOUT AND (1) LEVER WASTE DRAIN	48" x 34" x 36"H, 16" A.F.F. (CW & HW), 8" A.F.F. (W)
31	1	DRIVE THRU TIMER (NOT SHOWN)	HYPERACTIVE QTIMER SYSTEM	
32	1	WALK-IN FREEZER	ICS	
33	1	WALK-IN COOLER	ICS	
34	LOT	DRY STORAGE SHELVING, BRIGHT ZINC FINISH	METRO REFER TO PLAN FOR LOCATION, QUANTITY, & SIZE OF SHELVING UNITS	SEE PLAN FOR SHELF LOCATION, ALL SHELVING UNITS TO BE (5) TIERED. PROVIDE 86" POSTS.
35	LOT	DISH DRYING RACK	METRO REFER TO PLAN FOR LOCATION, QUANTITY, & SIZE OF SHELVING UNITS	SEE PLAN FOR SHELF LOCATION, ALL SHELVING UNITS TO BE (5) TIERED. PROVIDE 86" POSTS.
36	LOT	COOLER SHELVING- METROSEAL II, EPOXY COATED	METRO REFER TO PLAN FOR LOCATION, QUANTITY, & SIZE OF SHELVING UNITS	SEE PLAN FOR SHELF LOCATION, ALL SHELVING UNITS TO BE (4) TIERED. PROVIDE 74" POSTS.
36A	1	BEEF TEMPERING COOLER SHELVING - METROSEAL III, EPOXY COATED FRAME,	METRO - SUPER ERECTA PRO SHELF, REMOVABLE POLYMER SHELF MAT, METROSEAL III, EPOXY COATED FRAME, (2) 24 X 48 - 10 TIER SHELVING UNIT	SEE PLAN FOR SHELF LOCATION
37	LOT	FREEZER SHELVING- METRO	METRO REFER TO PLAN FOR LOCATION, QUANTITY, & SIZE OF SHELVING UNITS	SEE PLAN FOR SHELF LOCATION, ALL SHELVING UNITS TO BE (4) TIERED. PROVIDE 74" POSTS.
38	LOT	BAG-N-BOX SHELVING	MANITOWOC, TOP PUMP MOUNT BACKROOM PACKAGE, AR-10-2-2W-TPM	INCLUDED IN BEVERAGE PACKAGE, 80H x 28"W x 20"D, 4H, EPOXY COATED, SEE PLAN FOR SHELF LOCATION
39	1	WIRELESS DRIVE THRU ORDER SYSTEM	HM ELECTRONICS, MODEL #HME EOS HD DIGITAL SYSTEM, C40000-5-HS3-AR-NS SYSTEM	WITH (5) ALL-IN-ONE HEADSETS
40	1	FRY BASKET TABLE	KES, CUSTOM FAB ITEM	30" W x 30" D
41	1	FRY DUMP	MARSHALL AIR THERMOGLO, MODEL RR5-48.5TLB (RR5-48.5TR FOR REVERSE LAYOUT)	59"H X 48.625"W X 32.75"D, 20 AMP, NEMA 6-20, W/ BUILT-IN FRY STATION TIMER, PROVIDE STAINLESS STEEL BACK PANEL
41A	1	FRY CARTON SHELF	METRO (1) 12" x 36" SHELF WITH (4) 6" POSTS BRIGHT ZINC FINISH	SIT ON TOP OF FRY DUMP
42	1	EXHAUST HOOD	CAPTIVE-AIRE, BD-2 SERIES, SEE MECHANICAL PLANS	60" x 28" x 47"h, STAINLESS STEEL W/ UL LISTING, FILTERS, 4" BACKSPACER, PROVIDE COMPLETE FIRE SUPPRESSION SYSTEM, ANSUL SYSTEM
43	1	3 BANK FRYER W/ NATURAL GAS	HENNY PENNY, EVOLUTION ELITE, 3 WELL OPEN FRYER, EEG-243.41ARB GAS WITH DIRECT-CONNECT	GAS BURNERS, NATURAL OR LIQUID PETROLEUM GAS, 225,000 BTU/HR, (66.2KW), 1" GAS CONNECTION, 14" A.F.F. G.C TO HOOK UP QUICK DISCONNECT (SUPPLIED BY KES), INCLUDE DORMONT GAS HOSE KIT #16100-KIT-48. ALSO INCLUDE DIRECT-CONNECT KIT TO ALLOW HOOK-UP TO DARLING 1500 H UNIT. HOLD UNIT OFF WALL 4".
43	OPTL	3 BANK FRYER W/ NATURAL GAS	FRYMASTER, FPGL330CAARB	
44	2	COLD CARBONATOR	MCCANN E SERIES	INCLUDED IN BEVERAGE PACKAGE, PROVIDE SHELF AND MOUNTING BRACKETS. LOCATE SHELF ON WALL ADJACENT TO WATER FILTER.
45	1	MENU BOARD	HOWARD, 11 PANEL, PLATINUM MODULAR LED MENU BOARD SYSTEM	COORDINATE WITH MENU BOARD OPTION IS BEING INSTALLED (CURVED OR STRAIGHT)
45	OPTL	MENU BOARD	VISUAL GRAPHIC SYSTEMS, INC., 11 PANEL, MENU BOARD SYSTEM	COORDINATE WITH MENU BOARD OPTION IS BEING INSTALLED (CURVED OR STRAIGHT)
46.1	1	186" LINEAR DUAL LINE PRODUCTION COUNTER	KES, CUSTOM FAB ITEM	125 AMP PANEL, POWER TO SUB PANEL BY G.C.
46A	1	60" ROLL-IN COLD WELL UNIT	BEVERAGE AIR, SPE 24-60M	
46C	1	UNDERCOUNTER REFRIGERATED DRAWERS	BEVERAGE-AIR, MODEL UCRD27A-23-ARB	INTEGRATED INTO #46 SLICER COUNTER
46D	-	TO-GO BAG HOLDER		INTEGRATED INTO #46 SLICER COUNTER
46F	-	WARMER DRAWER (FUTURE ADDITION)	APW WYOTT, MODEL #HDDi-1B, 1-DRAWER	INTEGRATED INTO #46, SLICER COUNTER, INSTALLED ON SITE BY EQUIPMENT INSTALLER
46H	1	BACKLINE TIMER	A.J. ANTUNES SOLAR TIMER MODEL #TTS-8 PT	MOUNTED ON SLICER COUNTER (ITEM #46) NEAR THE CHEESE PUMP (ITEM #56)
46M	-	TURNOVER DISPLAY	KES, CUSTOM FAB ITEM	INTEGRATED INTO #46 SLICER COUNTER

49	OPTL	COFFEE/TEA MAKER	BUNNOMATIC INFUSION TEA AND COFFEE BREWER #ITCB-DV 52200.0104 DUAL #ITCB-DV 52200.0105 SINGLE	
50	4	ICE TEA DISPENSER	CURTIS, TCN323	
50	OPTL	ICE TEA DISPENSER	BUNN TDO-N-3.5 39600.0001	
51	OPTL	PREP-SLICER	GLOBE G12A, MEDIUM DUTY SLICER	20 1/8"W x 24 5/8 x 20 1/4" H. THE OWNER CAN CHOOSE TO USE (1) #51 IN PLACE OF THE #52 FOR THE PREP SLICER AT THE PREP TABLE AREA.
52	2	SLICER	GLOBE 4913N	23" W x 26.7" D x 25.1" T
52	OPTL	SLICER	HOBART HS9-1B	24 5/8" W x 30 5/16" D x 29 5/16" T
52A	1	SLICER HEAT LAMP	MARSHAL AIR BW4B-3/DL2	24.875 X 28 X 24.75 STAINLESS STEEL CONSTRUCTION
53	1	PORTION SCALE (NOT SHOWN)	TAYLOR, MODEL #THD32D	SEE SMALLWARES LIST
53A	1	PORTION SCALE (NOT SHOWN)	TAYLOR, MODEL #THD50	SEE SMALLWARES LIST
54	2	VERTICAL TOASTER	ANTUNES VERTICAL CONTACT TOASTER, #VCT2000	23 1/4" H x 21 1/16" W x 14 5/8"D (SECOND TOASTER IS BACKUP, STORED UNDER PREP TABLE)
54	OPTL	MINI VERTICAL TOASTER	ANTUNES MINI VERTICAL CONTACT TOASTER, #MVCT2	25 1/1" H x 14 1/16" W x 14 5/8"D (SECOND TOASTER IS BACKUP, STORED UNDER PREP TABLE)
56	2	DUAL CHEESE PUMP	STAR MFGR. #SPDE-2ARBL	11"W x 21.3"D x 27"H
56A	2	WIRE SOUFFLE CUP HOLDER	QUADRATEC, DISPWAR 0001	COLOR: BLACK
57	1	HEAT N' HOLD	THERMODYNE #150DNL	
58	1	DRIVE-THRU COUNTER (BEVERAGE)	KES, CUSTOM FAB ITEM	86" LONG x 39" DEEP x 36" TALL
60	1	DRIVE-THRU CASHIER STAND	METRO, #ARB3024DT	30" x 24" DRIVE THRU CASHIER STAND
60A	2	WORK SMART DRIVE-THRU STAGING CART	METRO, #ARB1430SC	14" X 30" X 36"H CART ON CASTERS. USED WITH WORK SMART DT CASHIER STAND
60B	1	DRIVE-THRU STATION	METRO, #ARB1430DTBN	24" x 30" DRIVE-THRU STATION
61	5	MICROWAVE OVEN	MENUMASTER COMMERCIAL MODEL MOC24	USED WITH WORK SMART AND FRONT LINE SLICER COUNTER
62	1	HEATED HOLDING	MERCO, MODEL MHA32SST1W	20.4"H X 16.1"W X 14.4"D
62	OPTL	HEATED HOLDING	MARSHALL AIR, CHSF-333PTARB	19.75" H x 15.375" W x 15.625" D
63	1	MUSIC SYSTEM	3-M	
65	1	CASHIER / ORDER TAKING COUNTER	KES, CUSTOM FAB ITEM	
66	1	MANAGER DESK TOP	KES, CUSTOM FAB ITEM	28" X 60" W/ SPLASH GUARD
67	2	2 DRAWER FILE CABINET	BY OWNER	HON #312BLK, BLACK WITH LOCK, INCLUDING CABINET FEET, #A845048 ARG
68	1	DESK CHAIR	BY OWNER	
69	1	BACK OFFICE COMPUTER SYSTEM W/ PRINTER	BY OWNER	
71	1	BULLETIN BOARD (NOT SHOWN)	BY OWNER	24" x 48"
73	1	COAT RACK	METRO, ARBCR	WALL MOUNT COAT RACK, COLOR: GRAY
75	1	AUTOMATIC DRIVE THRU WINDOW	READY ACCESS (1) SINGLE PANEL SLIDER : LEFT TO RIGHT (STANDARD), RIGHT TO LEFT (REVERSE)	COLOR: DARK BRONZE SIZE: 47 1/2" W x 43 1/2"
75	OPTL	AUTOMATIC DRIVE THRU WINDOW	QUIKSERV (1) #SS-4035E (R) [(1) #SS-4035E (L) FOR REVERSE LAYOUT]	COLOR: DARK BRONZE SIZE: 48" W x 41"
76	2	MOBILE BREAD RACK, ON CASTERS	METRO, #DD9678REVCO	30 7/8" x 24" x 74 1/2"H, 12 SHELVES
77	1	AU JUS SERVER	SERVER, MODEL SY 1.0 ARBY'S #85503, 1 GAL AU JUS SERVER	
78	3	PAPER TOWEL DISPENSER	BY OWNER	SEE SHEET A6.1 FOR MOUNTING HEIGHTS, 1 FOR EACH HAND SINK, SEE #5
79	3	LIQUID SOAP DISPENSER	BY OWNER	SEE SHEET A6.1 FOR MOUNTING HEIGHTS, 1 FOR EACH HAND SINK, SEE #5
80	1	SINGLE DOOR UPRIGHT FREEZER	TRAUlsen G12000	
83	1	BULK CO2	NUCO2	WITH ADAPTORS
84	1	WATER BOOST MODULAR FILTER SYSTEM	PENTAIR SHURFLO WB6-M3-22-003-SS	INCLUDED IN BEVERAGE PACKAGE
87	1	MUSIC SYSTEM SHELVING, EPOXY COATED	METRO 1442NK3	(2) 14 X 42 WIRE SHELVES, BOTTOM @ 80" A.F.F. SEE PLAN FOR SHELF LOCATION, EPOXY COATED
89	LOT	FRONT COUNTER SHELVING, BRIGHT ZINC FINISH	INTERMETRO REFER TO PLAN FOR LOCATION, QUANTITY, & SIZE OF SHELVING UNITS	SEE PLAN FOR SHELF LOCATION
90	2	UNDER COUNTER, S/S CUP DISPENSER	KES, CUSTOM FAB ITEM	
91	1	SOUFFLE CUP DISPENSER	TOMLINSON KSF1003SL	CAN USE 3/4 OR 1 OZ PAPER OR PLASTIC CUPS, INTEGRATED WITH ITEM #111
92	2	ICE MAKER	MANITOWOC, IY-0686C-161	UNIT MOUNTS ON DRINK DISPENSER IN DRIVE THRU <8> AND DINING ROOM <2>. REMOTE CONDENSER ON ROOF <92A>, LINE SET RCS6 CONTROL WIRES FROM CONDENSING UNIT TO COIL. FIELD VERIFY LENGTH OF LINE SET REQUIRED.
92A	2	ICE MAKER REMOTE CONDENSING UNIT	MANITOWOC, ICVD-0696	REMOTE CONDENSER FOR ICE MAKER <92> ON DRINK DISPENSER IN DRIVE THRU <8> AND DINING ROOM <2>, LOCATED ON ROOF, REFER TO A1.2 & MEP DRAWINGS FOR LOCATION
92C	OPTL	SELF CONTAINED ICE MAKER	MANITOWOC, INDIGO SEARIES 606 IY-0606A	ICE MACHINE FOR DRINK DISPENSER IN DINING ROOM (2), WHEN SELECTED BY OWNER, REPLACES (1) ICE MAKER <92> AND REMOVES (1) REMOTE CONDENSER <92A>
93	1	STRAW & LID HOLDER	KES, CUSTOM FAB ITEM	
94	2	NAPKIN DISPENSER	PROVIDED BY KES	INTEGRATED WITH #111
95	1	DISPENSER FOR SAUCES	SERVER PRODUCTS SE-5DI (ARBY'S) 07123	INTEGRATED WITH #111, 5 PUMP DISPENSER
96	1	GREASE HOLDING TANK	DARLING INTERNATIONAL, 1500-H DIRECT PUMP	DIRECT CONNECTION WITH THE FRYMASTER / HENNY PENNY FRYER UNITS, SEE <43>.
96	OPTL	GREASE HOLDING TANK	MAHONEY ENVIRONMENTAL, METRO SECURE-TRACK SYSTEM (MST)	DIRECT CONNECTION WITH THE FRYMASTER / HENNY PENNY FRYER UNITS, SEE <43>.
97	4	WALL MOUNTED SHELVING	METRO 24x36, (2) TIER SHELVING, BRIGHT ZINC FINISH	30" WALL MOUNTED STANDARDS
98	2	HIGH CHAIR / BOOSTER SEATS	BY OWNER	
99	1	AIR CURTAIN	QUIKSERV MODEL CHF-25" HEATED-CLR	25"W X 9"D X 14 3/8"H
102	1	TRASH CONTAINER	RUBBERMAID #3540 SLIM JIM WASTE CONTAINER	COLOR: BROWN, ORDER #FG354000 BRN
104	2	DOUBLE TRASH UNIT	SEE DECOR DRAWINGS	
105	LOT	QUEUE RAIL SYSTEM	SEE DECOR DRAWINGS	
107	1	HEAVY DUTY PAN RACKS	WIN-HOLT	
108	1	PREP CART	METRO, MW703	18" X 30"
109	LOT	S/S OUTSIDE CORNER GUARD (NOT SHOWN)	KES, CUSTOM FAB ITEM	2" x 2" x 108" 18 GAUGE. S.S. PROVIDE 2X2 FULL HEIGHT STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN. KITCHEN EQUIPMENT SUPPLIER (KES) TO SUPPLY AND INSTALL ALL S.S. GUARDS.
111	1	CONDIMENT TOPPER	KES, CUSTOM FAB ITEM	HOLDS ITEMS #91, #94 AND #95
123	1	SYSTEMS BOARD (NOT SHOWN)	BY OWNER	36" W X 48" T, WHITE PLASTIC POLY PEG BOARD TO BE MOUNTED ON WALL NEAR MANAGERS DESK
125	LOT	SECURITY CAMERAS	BY OWNER	
126	LOT	Co2 MONITORING SYSTEM	CO2METER RAD-0102	HARDWIRED MONITOR AND REMOTE SENSOR, CONTACT JOSH PRINGLE AT CO2METER.COM, 877.678.4259. MOUNT MONITOR AT 60" AFF. MOUNT REMOTE SENSOR AT 18" AFF.
127	1	SECURED NETWORK ENCLOSURE	CYBER-POWER "CARBON WALL MOUNT ENCLOSURE"; MODEL #CR9U61001	PROVIDED BY OWNER'S POS PROVIDER.

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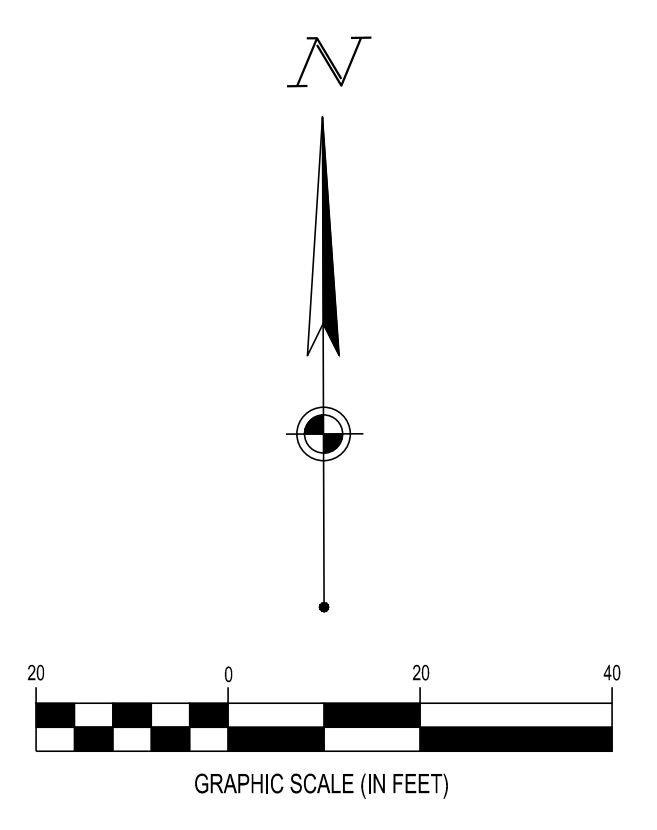


**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE PAVEMENT / WALK
- GREEN SPACE
- CONCRETE CURB
- FENCE
- PAVEMENT/WALK
- PARKING SPACE COUNT
- SIGN
- DETECTABLE WARNING

**PROPOSED SITE LAYOUT DATA:**  
 ADDRESS: 17325 LORAIN AVE., CLEVELAND, OH 44111 (PARCEL NO. 026-03-011)  
 3874 ROCKY RIVER DR., CLEVELAND, OH 44111 (PARCEL NO. 026-03-015)  
 ZONING: LR-C1 LOCAL RETAIL BUSINESS  
 PEDESTRIAN RETAIL OVERLAY STREET FRONTAGE (PRO)  
 TOTAL EXISTING SITE AREA: 0.9822 ACRES  
 EXISTING PARKING: 47 SPACES INCLUDING 4 ADA  
 PROPOSED PARKING: 30 SPACES INCLUDING 2 ADA

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NO.	DATE	REVISION DESCRIPTION

INSPIRE BRANDS  
**ARBY'S RESTAURANT**  
 CLEVELAND, OH

**PROPOSED SITE LAYOUT**

ISSUE:	CONCEPT PLAN
DATE:	03.31.2021
JOB NO.:	757558
DESIGN:	JMJ
DRAWN:	JMJ
CHECKED:	BJH

SHEET NO.  
**PSL-4B**



May 7, 2021

FW2021-010 - Proposed Demolition of a 1-Story Commercial Building: Seeking Final Approval  
per § 341.08 of the Cleveland Codified Ordinances

**Project Address: 14651 Lorain Avenue**

Project Representative: Michael Oestreich, TLM Realty



May 7, 2021

FW2021-011 - Proposed Demolition of a 3-Story Mixed-Use Building: Seeking Final Approval  
per § 341.08 of the Cleveland Codified Ordinances

**Project Address: 14737 Lorain Avenue**

Project Representative: Michael Oestreich, TLM Realty



# Far West Design Review Case

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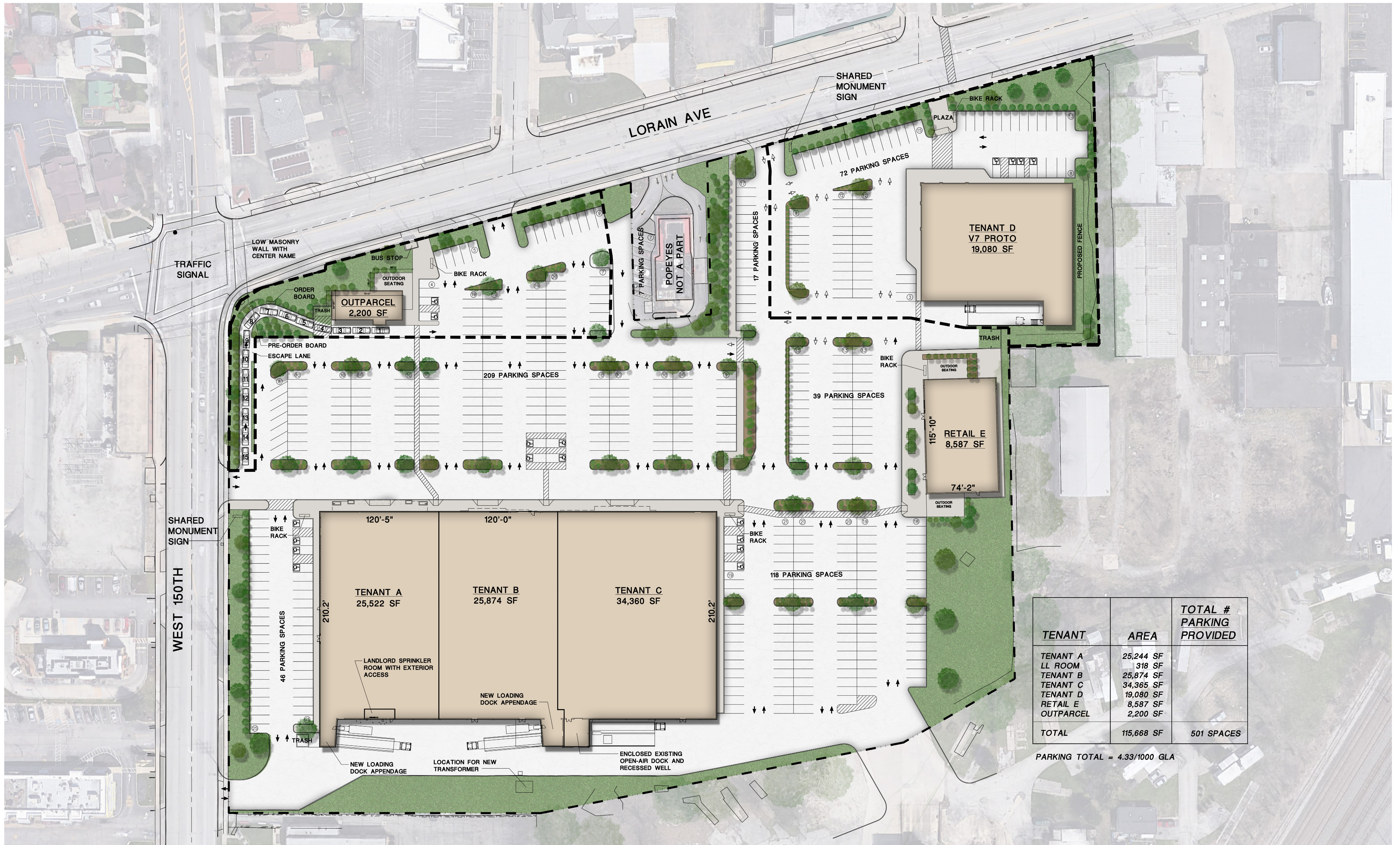


May 7, 2021

FW2021-012 - Former K Mart Site Redevelopment: Seeking Schematic Design Approval

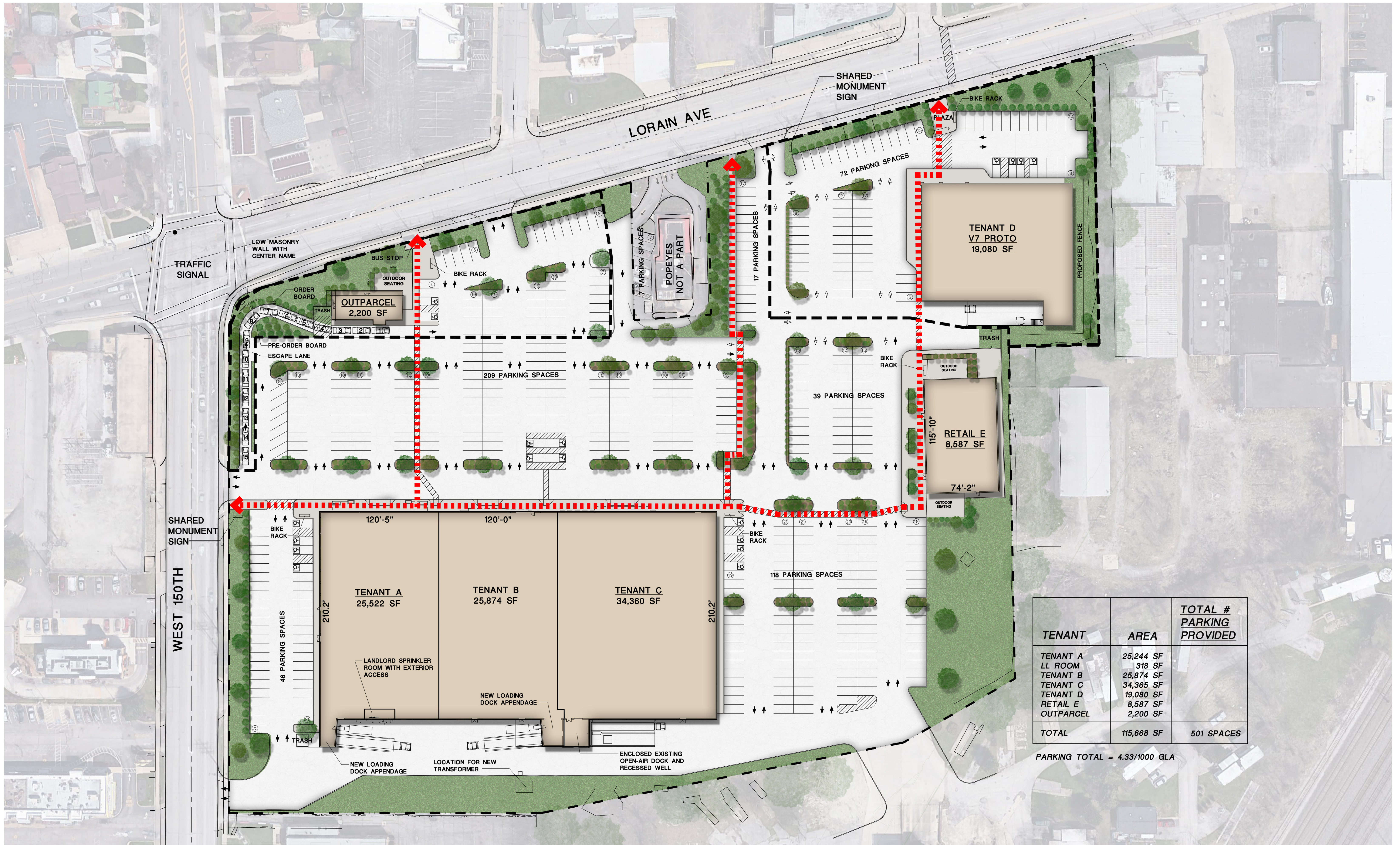
**Project Location: West 150<sup>th</sup> Street and Lorain Avenue**

Project Representative: Michael Oestreich, TLM Realty



TENANT	AREA	TOTAL # PARKING PROVIDED
TENANT A LL ROOM	25,244 SF 318 SF	
TENANT B	25,874 SF	
TENANT C	34,365 SF	
TENANT D	19,080 SF	
RETAIL E OUTPARCEL	8,587 SF 2,200 SF	
<b>TOTAL</b>	<b>115,668 SF</b>	<b>501 SPACES</b>

PARKING TOTAL = 4.33/1000 GLA



TENANT	AREA	TOTAL # PARKING PROVIDED
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<b>TOTAL</b>	<b>115,668 SF</b>	<b>501 SPACES</b>

PARKING TOTAL = 4.33/1000 GLA













































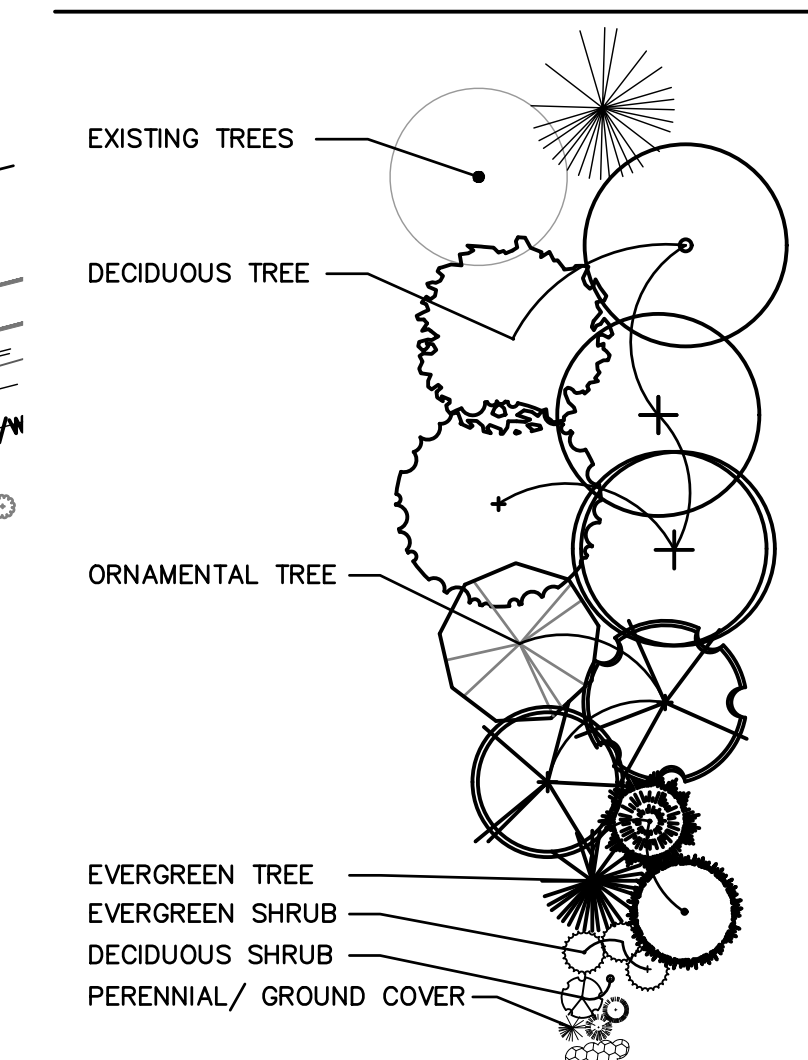




**PLANT LIST - SUMMARY TABLE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	L2.0	L2.1	TOTAL
<b>TREES</b>								
AC FR	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2.5" CAL.	B&B	AS SHOWN	10	0	10
AC RR	ACER RUBRUM 'RED ROCKET'	RED ROCKET MAPLE	2.5" CAL.	B&B	AS SHOWN	13	0	13
CA BE	CARPINUS BETULUS	EUROPEAN HORNBEAM	2.5" CAL.	B&B	AS SHOWN	9	0	9
CA FA	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEAM	2.5" CAL.	B&B	AS SHOWN	3	0	3
CE CA	CERCIS CANADENSIS 'HEARTS OF GOLD'	EASTERN REDBUD	6" HT.	B&B (CLUMP)	AS SHOWN	11	0	11
CR CR	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	8" HT.	B&B	AS SHOWN	5	0	5
GL TR	GLEDITSIA TRIANCANTHOS T.F.I. IMPERIAL	IMPERIAL HONEYLOCUST	2.5" CAL.	B&B	AS SHOWN	15	0	15
JU VI	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5" HT.	B&B	AS SHOWN	6	0	6
MA LO	MALUS 'LOLLIZAM'	LOLLIPOP CRABAPPLE	36" HEAD	B&B	AS SHOWN	15	0	15
MJ	MAGNOLIA 'JANE'	JANE MAGNOLIA	1.5" CAL.	B&B	AS SHOWN	8	0	8
PI AB	PICEA ABIES	NORWAY SPRUCE	6" HT.	B&B	AS SHOWN	3	0	3
ZE SE	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2" CAL.	B&B	AS SHOWN	9	0	9
<b>SHRUBS &amp; PERENNIALS</b>								
BU GV	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	30" HT.	B&B	36" O.C.	185	69	254
CA AC	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	No. 2	CONT.	AS SHOWN	27	104	131
EL AR	ELYMUS ARENARIUS 'BLUE DUNE'	BLUE DUNE LYME GRASS	No. 2	CONT.	AS SHOWN	22	55	77
HE HA	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	No. 2	CONT.	18" O.C.	96	292	388
HY MA	HYDRANGEA MACROPHYLLA 'HORWACK'	PISTACHIO HYDRANGEA	30" HT.	CONT.	36" O.C.	61	21	82
HY LL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30" HT.	CONT.	AS SHOWN	0	10	10
LI MU	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	No. 1	CONT.	18" O.C.	0	10	55
RO CA	ROSA 'CAMPFIRE'	CAMPFIRE ROSE	No. 3	CONT.	36" O.C.	0	5	5
TH CO	THUJA OCCIDENTALIS 'CONGABE'	FIRE CHIEF ARBORVITAE	No. 3	CONT.	36" O.C.	0	40	40
TH EM	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	6" HT.	B&B	36" O.C.	0	45	45
RH AR	RHUS AROMATICA 'ORO-LOW'	ORO-LOW SUMAC	24" HT.	B&B	4" O.C.	87	36	123

**PLANT LEGEND**



**KEY NOTES**

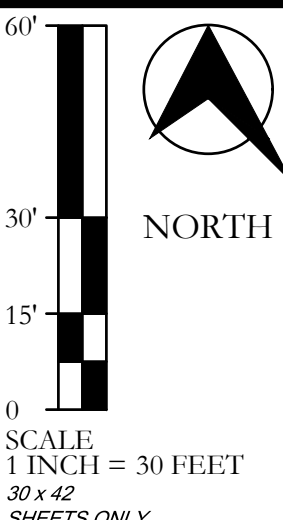
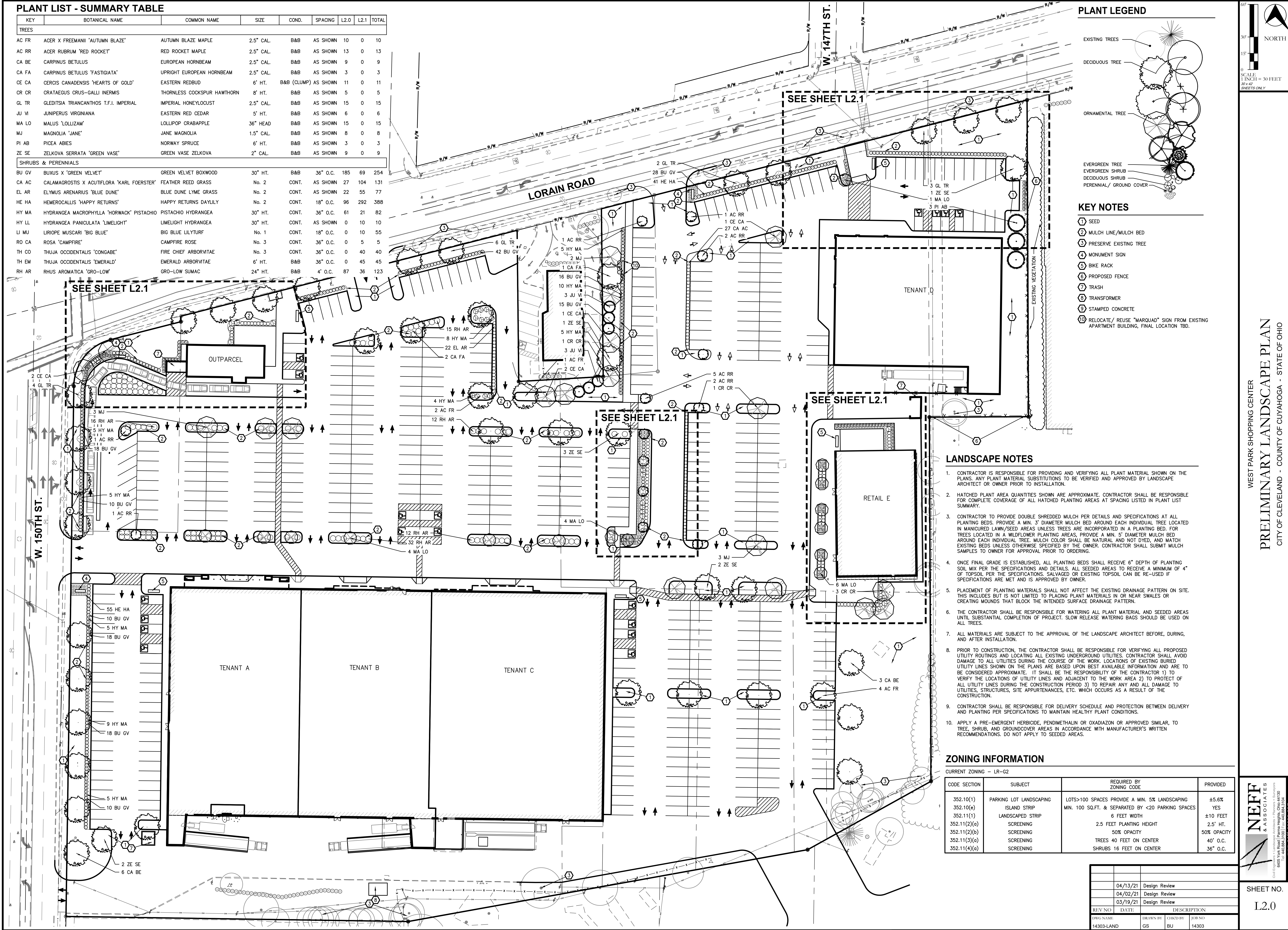
- 1 SEED
- 2 MULCH LINE/MULCH BED
- 3 PRESERVE EXISTING TREE
- 4 MONUMENT SIGN
- 5 BIKE RACK
- 6 PROPOSED FENCE
- 7 TRANSFORMER
- 8 STAMPED CONCRETE
- 9 RELOCATE/ REUSE "MARQUAD" SIGN FROM EXISTING APARTMENT BUILDING, FINAL LOCATION TBD.

**LANDSCAPE NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND VERIFYING ALL PLANT MATERIAL SHOWN ON THE PLANS. ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
2. HATCHED PLANT AREA QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL HATCHED PLANTING AREAS AT SPACING LISTED IN PLANT LIST SUMMARY.
3. CONTRACTOR TO PROVIDE DOUBLE SHREDDED MULCH PER DETAILS AND SPECIFICATIONS AT ALL PLANTING BEDS, PROVIDE A MIN. 3" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE LOCATED IN MANICURED LAWN/SEED AREAS UNLESS TREES ARE INCORPORATED IN A PLANTING BED. FOR TREES LOCATED IN A WILDFLOWER PLANTING AREAS, PROVIDE A MIN. 5" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE. MULCH COLOR SHALL BE NATURAL AND NOT DYED, AND MATCH EXISTING BEDS UNLESS OTHERWISE SPECIFIED BY THE OWNER. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
4. ONCE FINAL GRADE IS ESTABLISHED, ALL PLANTING BEDS SHALL RECEIVE 6" DEPTH OF PLANTING SOIL MIX PER THE SPECIFICATIONS AND DETAILS. ALL SEEDING AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PER THE SPECIFICATIONS. SALVAGED OR EXISTING TOPSOIL CAN BE RE-USED IF SPECIFICATIONS ARE MET AND IS APPROVED BY OWNER.
5. PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE EXISTING DRAINAGE PATTERN ON SITE. THIS INCLUDES BUT IS NOT LIMITED TO PLACING PLANT MATERIALS IN OR NEAR SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL AND SEEDING AREAS UNTIL SUBSTANTIAL COMPLETION OF PROJECT. SLOW RELEASE WATERING BAGS SHOULD BE USED ON ALL TREES.
7. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED UTILITY ROUTINGS AND LOCATING ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
10. APPLY A PRE-EMERGENT HERBICIDE, PENDIMETHALIN OR OXADIAZON OR APPROVED SIMILAR, TO TREE, SHRUB, AND GROUND COVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDING AREAS.

**ZONING INFORMATION**

CODE SECTION	SUBJECT	REQUIRED BY ZONING CODE	PROVIDED
352.10(1)	PARKING LOT LANDSCAPING	LOTS>100 SPACES PROVIDE A MIN. 5% LANDSCAPING	±5.6%
352.10(e)	ISLAND STRIP	MIN. 100 SQ.FT. & SEPARATED BY <20 PARKING SPACES	YES
352.11(1)	LANDSCAPED STRIP	6 FEET WIDTH	±10 FEET
352.11(2)(a)	SCREENING	2.5 FEET PLANTING HEIGHT	2.5' HT.
352.11(2)(b)	SCREENING	50% OPACITY	50% OPACITY
352.11(3)(c)	SCREENING	TREES 40 FEET ON CENTER	40' O.C.
352.11(4)(c)	SCREENING	SHRUBS 16 FEET ON CENTER	36" O.C.

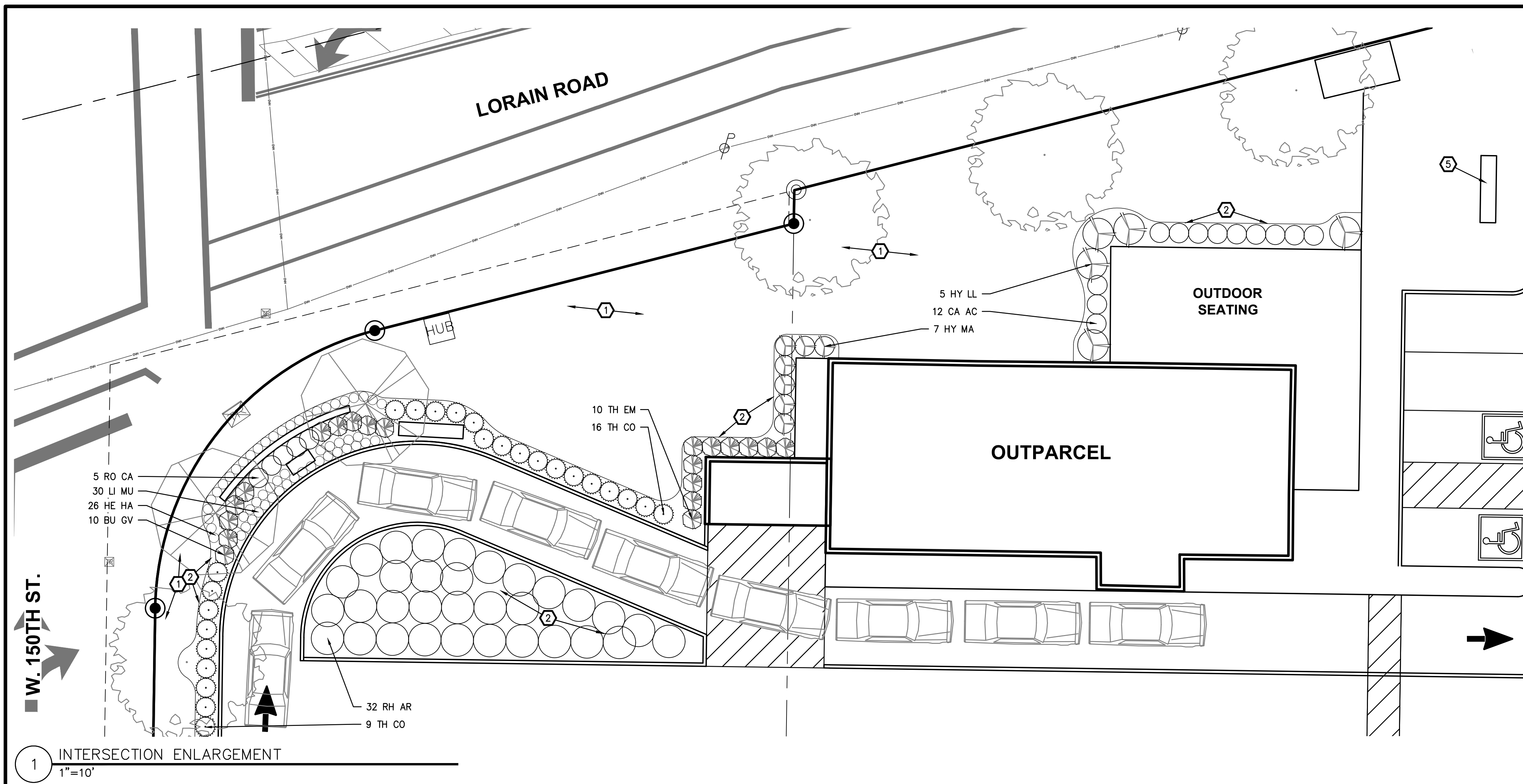


WEST PARK SHOPPING CENTER  
**PRELIMINARY LANDSCAPE PLAN**  
 CITY OF CLEVELAND - COUNTY OF CUYAHOGA - STATE OF OHIO

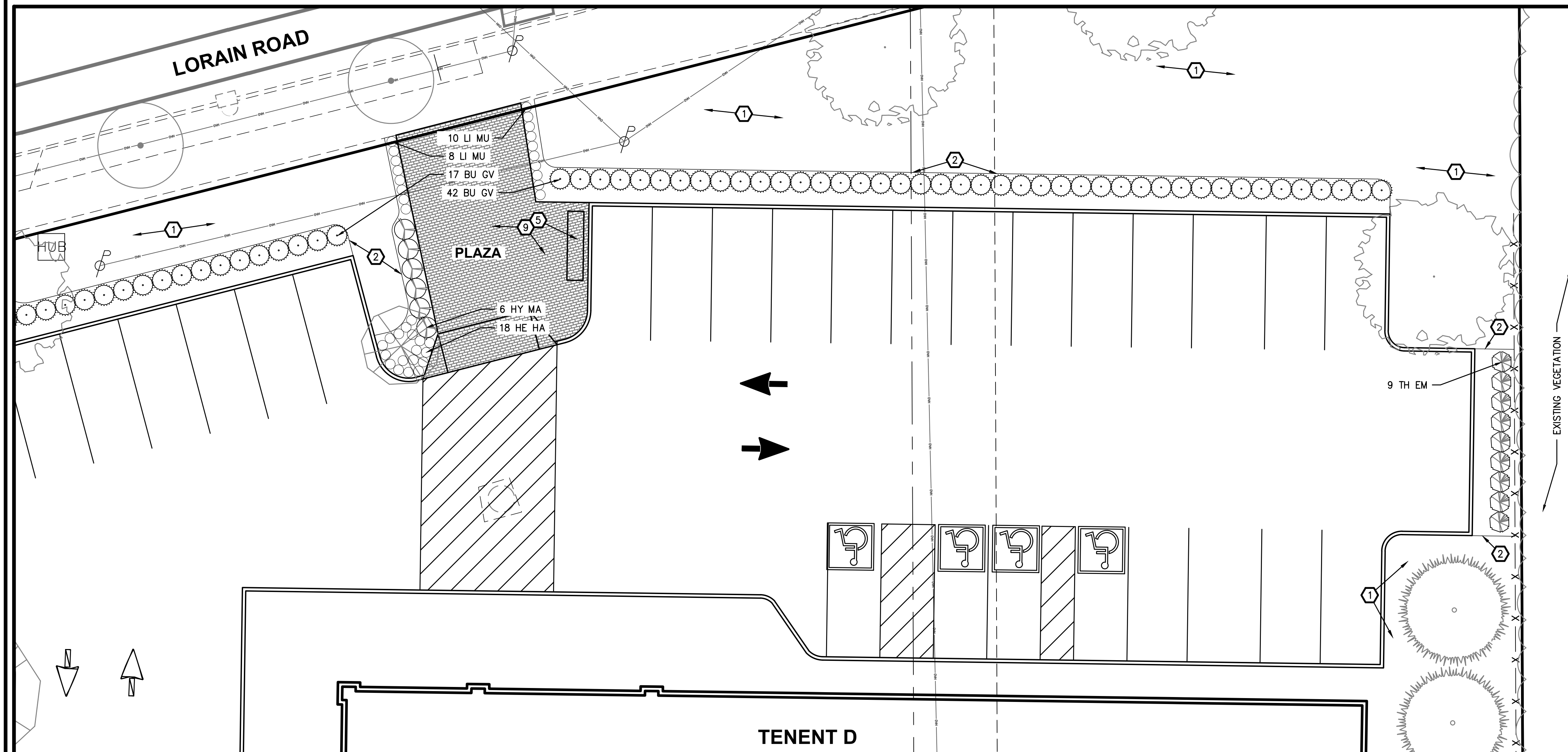
**NEFF**  
 & ASSOCIATES  
 4400 York Road, Suite 440, Cleveland, Ohio 44130  
 Phone: 440.881.5100 Fax: 440.884.0104  
 www.neff.com

DATE	DESCRIPTION
04/13/21	Design Review
04/02/21	Design Review
03/19/21	Design Review

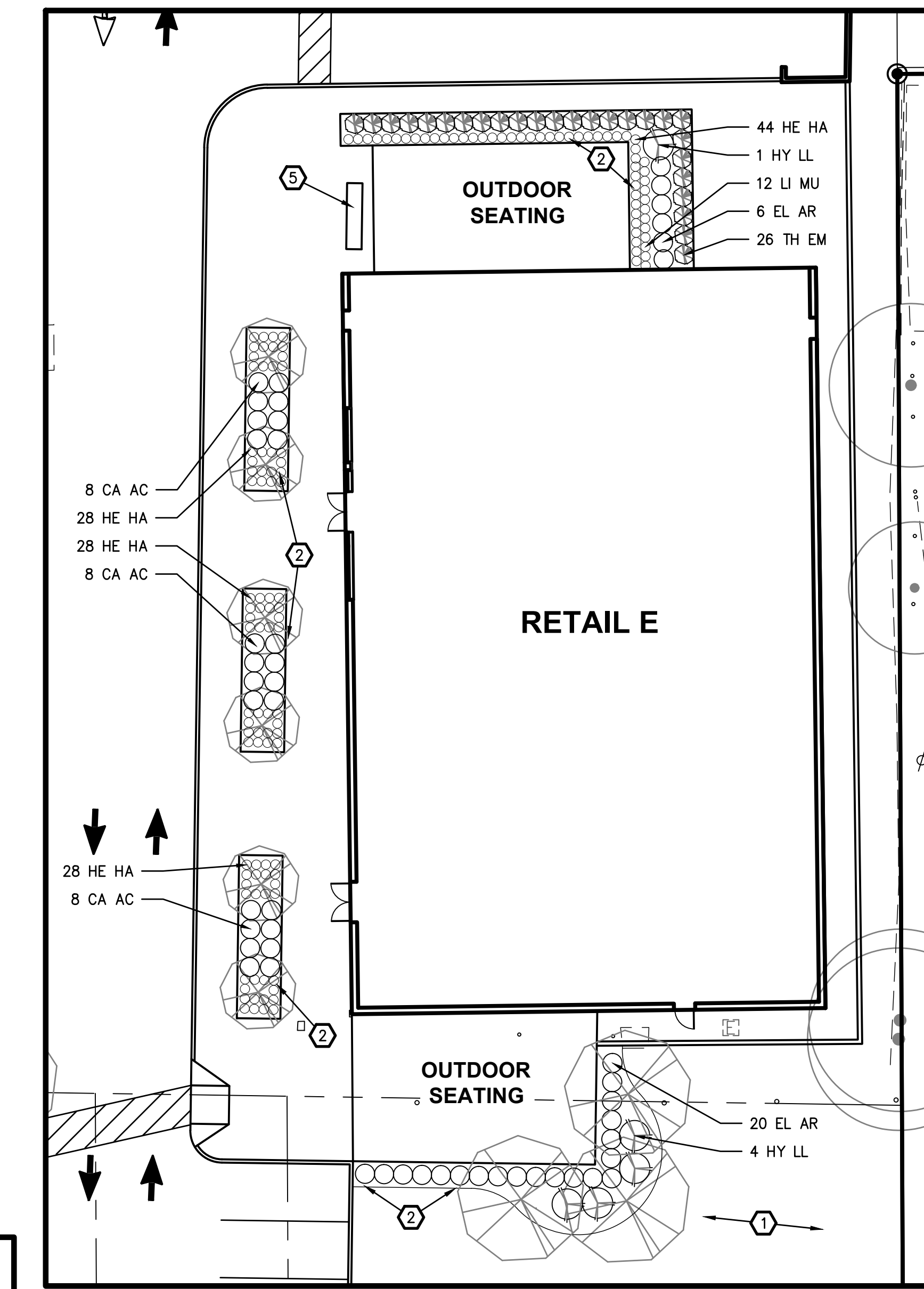
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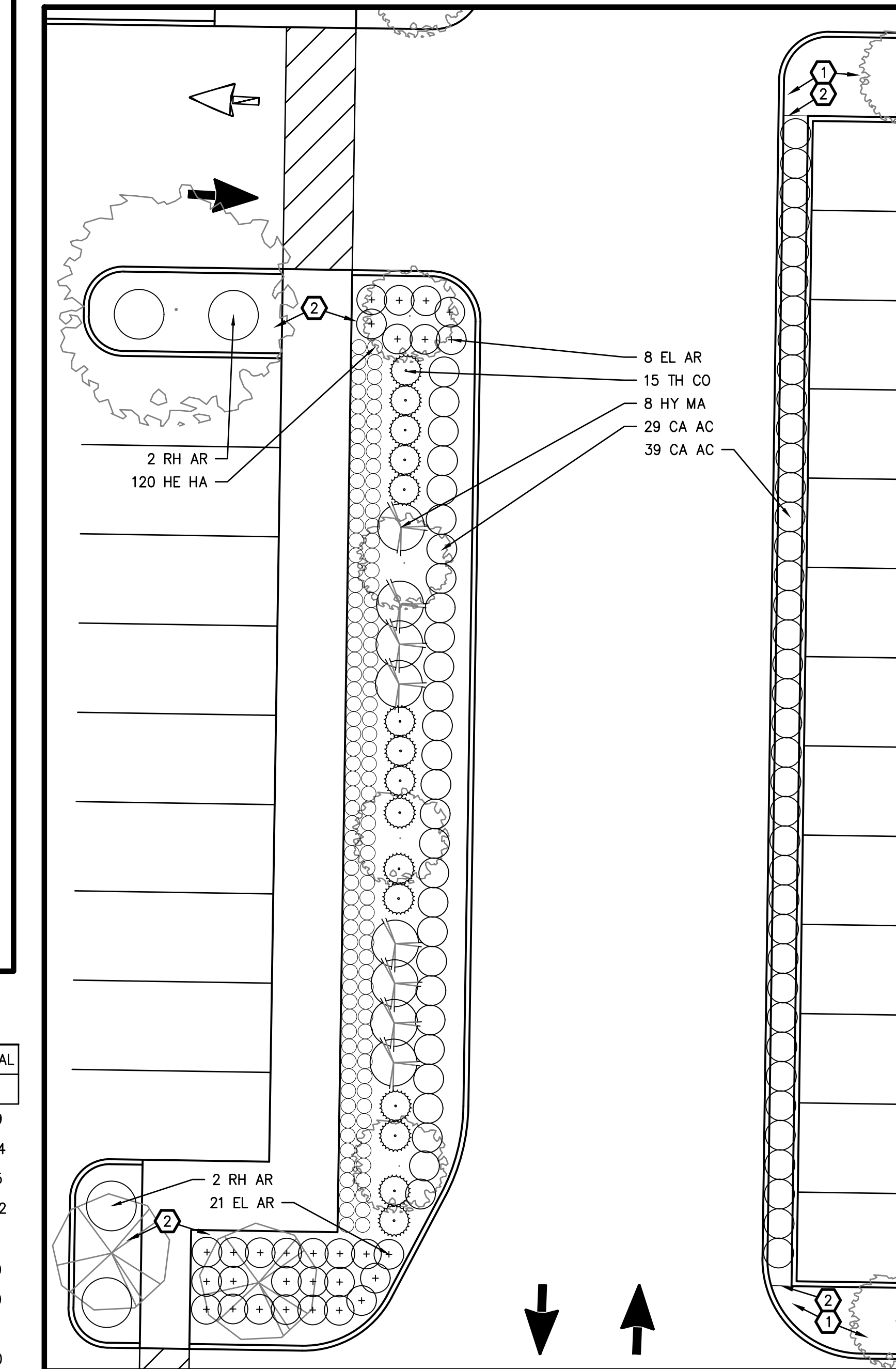
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1"=10'



2 PLAZA ENLARGEMENT  
1"=10'



3 RETAIL E ENLARGEMENT  
1"=16'

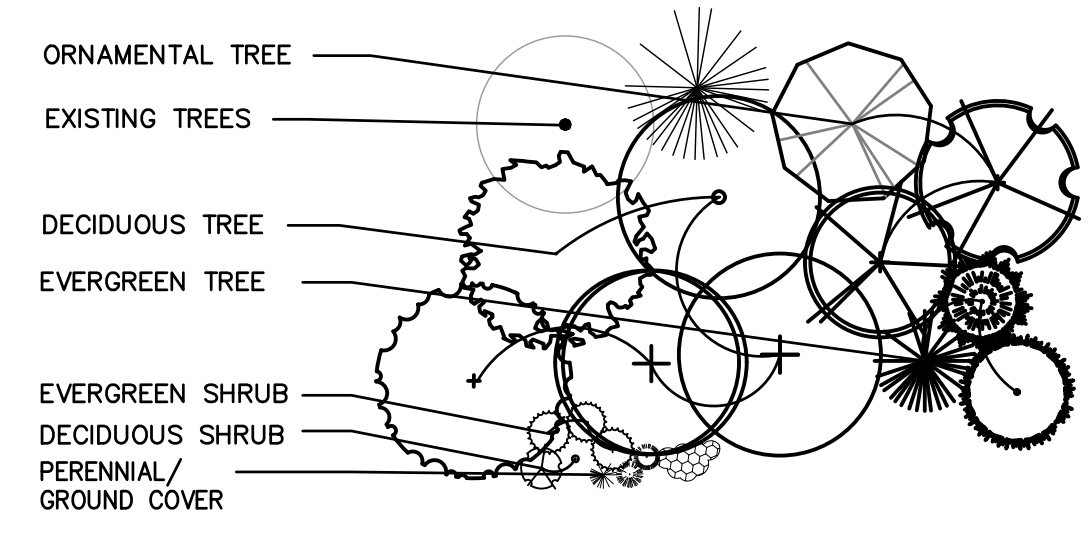


4 PEDESTRIAN WALK ENLARGEMENT  
1"=10'

**KEY NOTES**

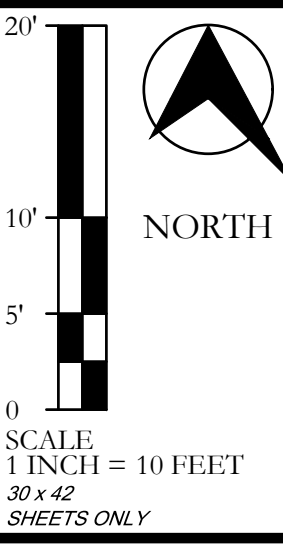
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- 2 MULCH LINE/MULCH BED
- 3 PRESERVE EXISTING TREE
- 4 MONUMENT SIGN
- 5 BIKE RACK
- 6 PROPOSED FENCE
- 7 TRASH
- 8 TRANSFORMER
- 9 STAMPED CONCRETE
- 10 RELOCATE/ REUSE "MARQUAD" SIGN FROM EXISTING APARTMENT BUILDING, FINAL LOCATION TBD.

**PLANT LEGEND**



**PLANT LIST - SUMMARY TABLE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	TOTAL
<b>SHRUBS &amp; PERENNIALS</b>						
BU GV	BUXUS X 'GREEN VELVEI'	GREEN VELVET BOXWOOD	30" HT.	B&B	36" O.C.	69
CA AC	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	No. 2	CONT.	AS SHOWN	104
EL AR	ELYMUS ARENARIUS 'BLUE DUNE'	BLUE DUNE LYME GRASS	No. 2	CONT.	AS SHOWN	55
HE HA	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	No. 2	CONT.	18" O.C.	292
HY MA	HYDRANGEA MACROPHYLLA 'HORWACK' PISTACHIO	PISTACHIO HYDRANGEA	30" HT.	CONT.	36" O.C.	21
HY LL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30" HT.	CONT.	AS SHOWN	10
LI MU	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	No. 1	CONT.	18" O.C.	10
RO CA	ROSA 'CAMPFIRE'	CAMPFIRE ROSE	No. 3	CONT.	36" O.C.	5
TH CO	THUJA OCCIDENTALIS 'CONGABE'	FIRE CHIEF ARBORVITAE	No. 3	CONT.	36" O.C.	40
TH EM	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	6' HT.	B&B	36" O.C.	45
RH AR	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	24" HT.	B&B	4' O.C.	36



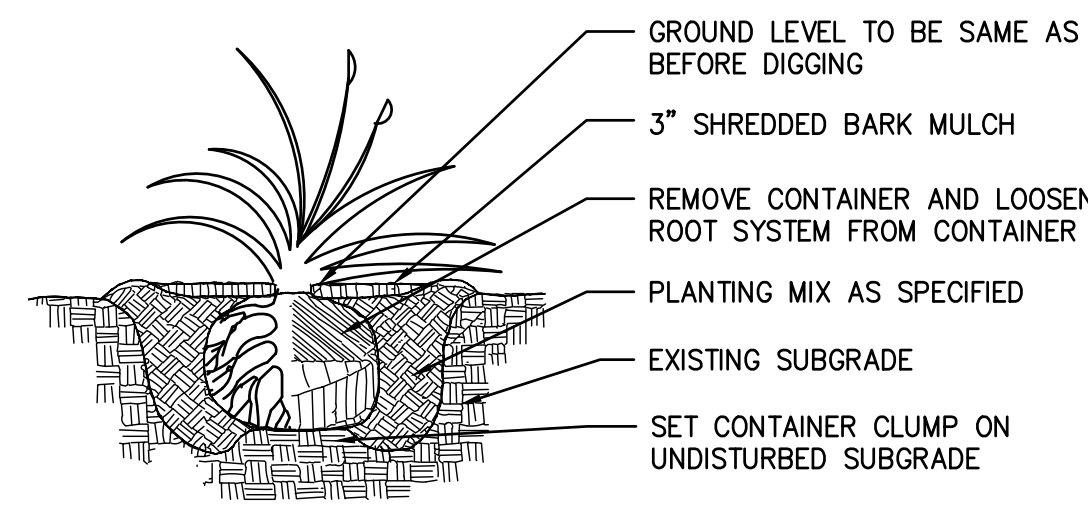
WEST PARK SHOPPING CENTER  
**PRELIMINARY LANDSCAPE ENLARGEMENT PLAN**  
CITY OF CLEVELAND - COUNTY OF CUYAHOGA - STATE OF OHIO



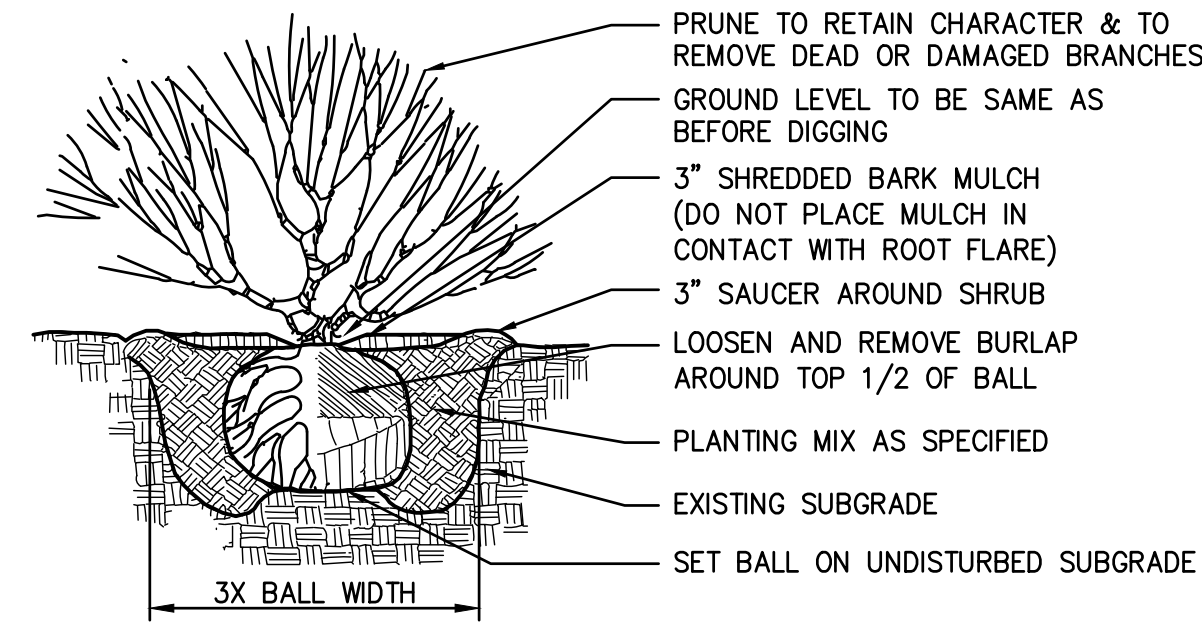
REV. NO.	DATE	DESCRIPTION
04/13/21		Design Review
04/02/21		Design Review
03/19/21		Design Review

SHEET NO.  
I.2.1

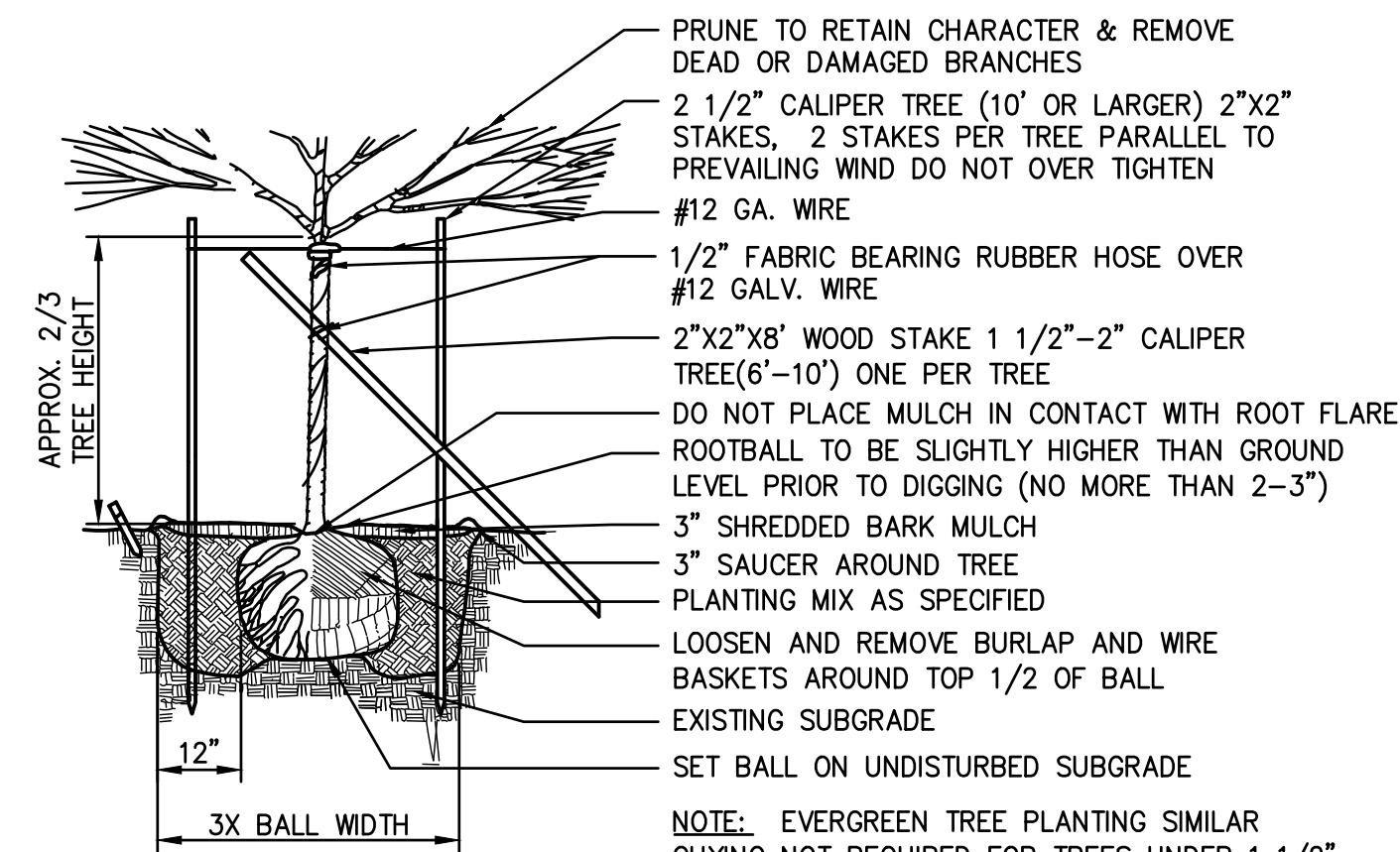
DWG. NAME	DRAWN BY	CHECKED BY	JOB NO.
14303-LAND	GS	BU	14303



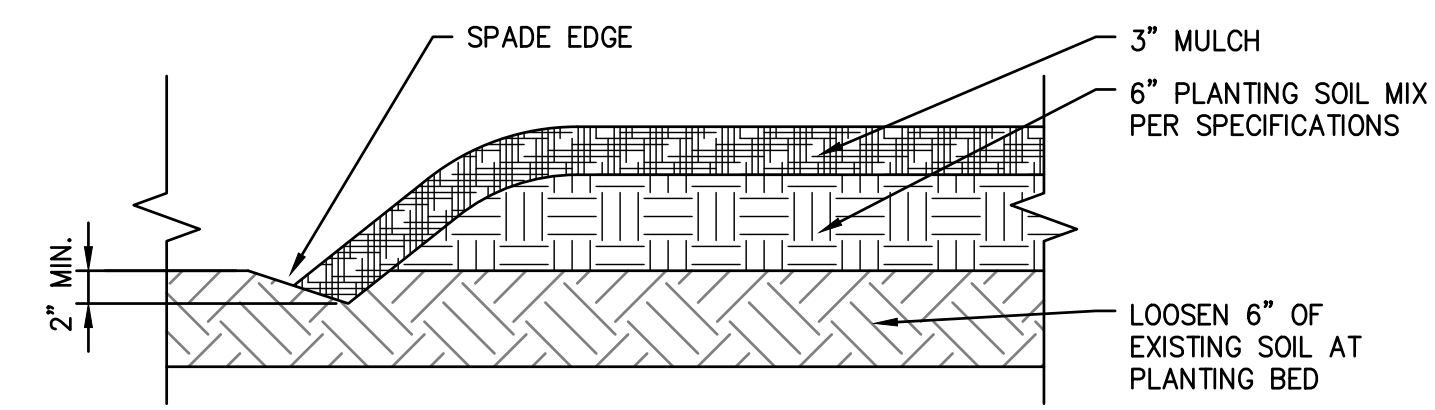
1 TYPICAL PERENNIAL PLANTING DETAIL  
NOT TO SCALE



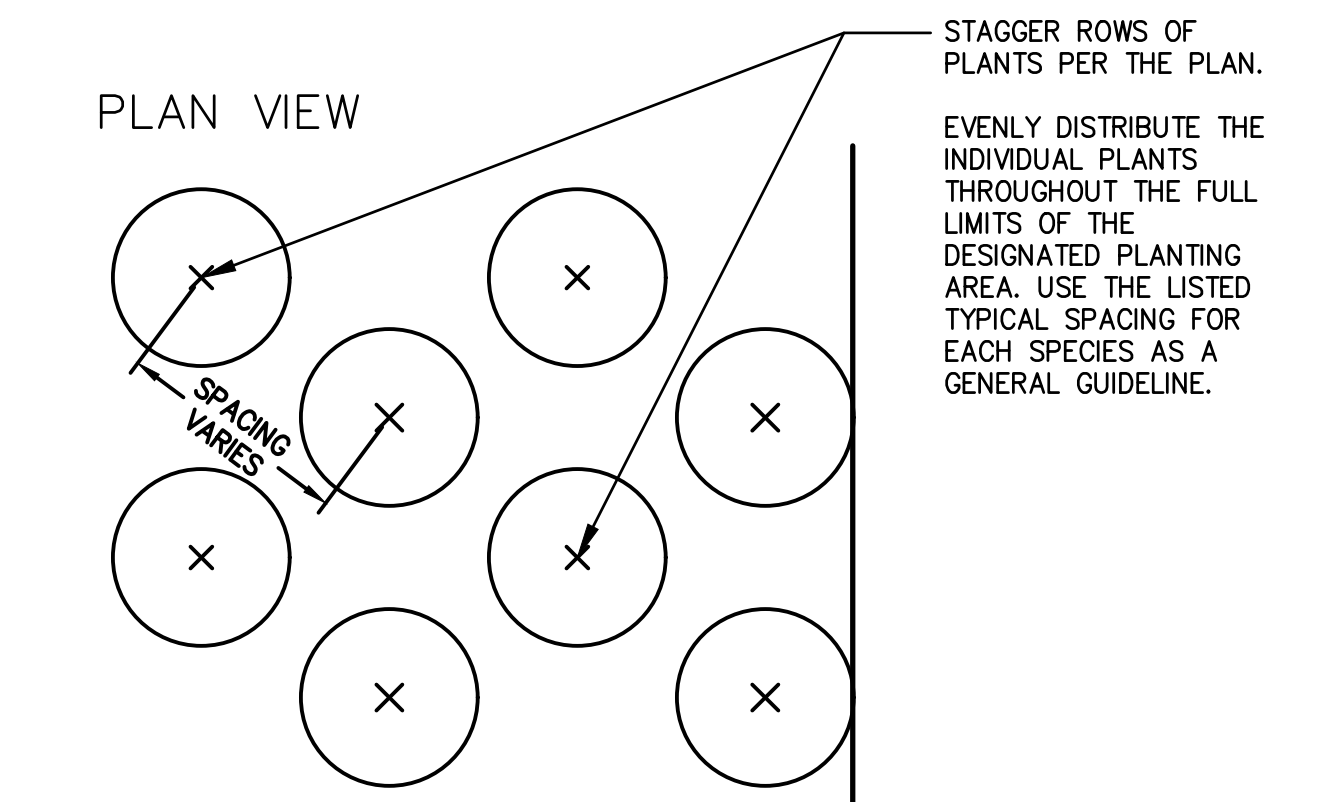
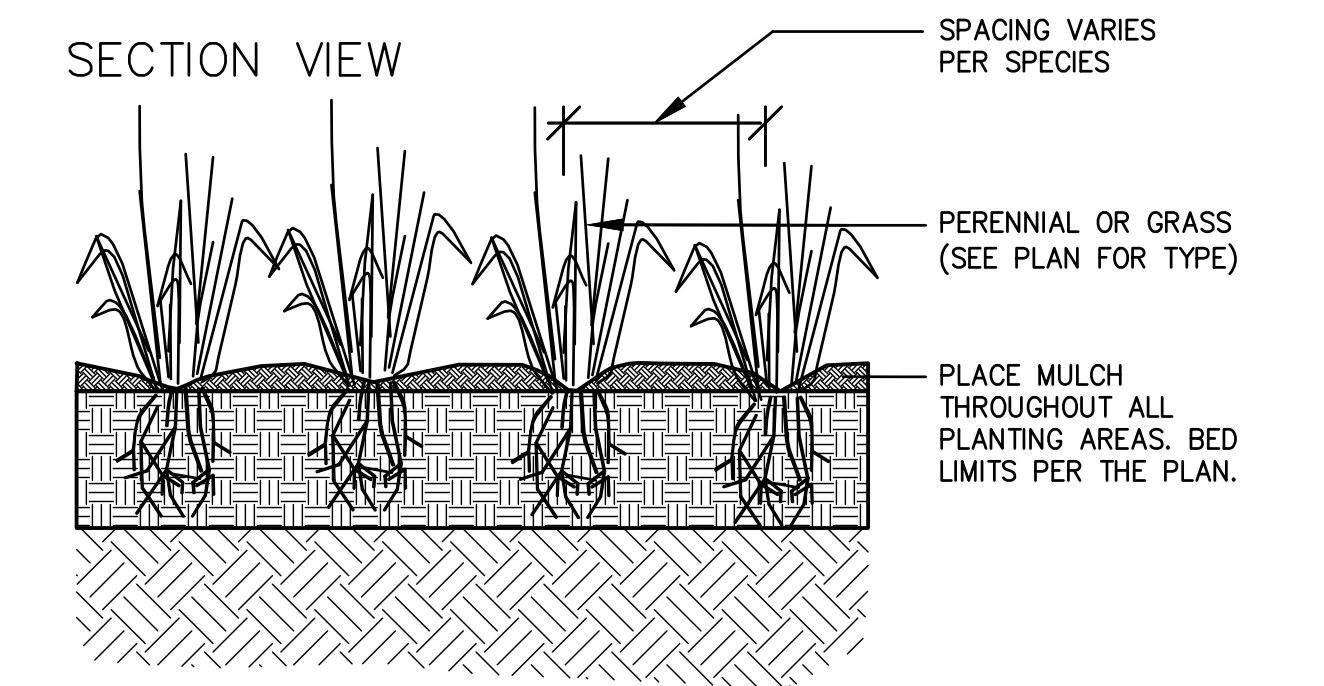
2 TYPICAL SHRUB PLANTING DETAIL  
NOT TO SCALE



3 TYPICAL TREE PLANTING DETAIL  
NOT TO SCALE



4 LANDSCAPE BED EDGE/SOIL DEPTH (TYP.)  
NOT TO SCALE



5 SHRUB AND PERENNIAL SPACING  
NOT TO SCALE

REV NO	DATE	DESCRIPTION	
	04/13/21	Design Review	
	04/02/21	Design Review	
	03/19/21	Design Review	
DWG NAME	DRAWN BY	CHECKED BY	JOB NO
14303-LAND	GS	BU	14303

# PLANT PALETTE: TREES



**AUTUMN BLAZE MAPLE**  
 50 Feet Tall  
 40-50 Feet Wide  
 Red fall color



**RED ROCKET MAPLE**  
 30 Feet Tall  
 8-10 Feet Wide  
 Red fall color



**EUROPEAN HORNBEAM**  
 40-60 Feet Tall  
 30-40 Feet Wide  
 Yellow fall color



**UPRIGHT EUROPEAN HORNBEAM**  
 35 Feet Tall  
 20-30 Feet Wide  
 Yellow fall color



**HEARTS OF GOLD REDBUD**  
 20-25 Feet Tall  
 25-35 Feet Wide  
 Yellow foliage



**THORNLESS COCKSPUR HAWTHORN**  
 20 Feet Tall  
 20-30 Feet Wide  
 Bronze fall color



**IMPERIAL HONEYLOCUST**  
 30-50 Feet Tall  
 30-40 Feet Wide  
 Green foliage



**EASTERN RED CEDAR**  
 30-60 Feet Tall  
 8-25 Feet Wide  
 Green foliage



**NORWAY SPRUCE**  
 40-60 Feet Tall  
 25-30 Feet Wide  
 Green foliage



**LOLIPOP CRABAPPLE**  
 8-10 Feet Tall  
 8-10 Feet Wide  
 Green foliage



**JANE MAGNOLIA**  
 20-25 Feet Tall  
 15-20 Feet Wide  
 Green foliage



**GREEN VASE ZELKOVA**  
 60-80 Feet Tall  
 40-50 Feet Wide  
 Red fall color

# PLANT PALETTE: SHRUBS



**GREEN VELVET BOXWOOD**

*3-4 Feet Tall  
3-4 Feet Wide  
green foliage*



**GRO-LOW SUMAC**

*2-3 Feet Tall  
8-10 Feet Wide  
Red fall color*



**FIRECHEIF ARBORVITAE**

*3-4 Feet Tall  
3-4 Feet Wide  
Red/Green foliage*



**PISTACIO HYDRANGEA**

*2-3 Feet Tall  
3-5 Feet Wide  
Mixed flower*



**LIMELIGHT HYDRANGEA**

*6-8 Feet Tall  
6-8 Feet Wide  
Lime Colored flower*



**CAMPFIRE ROSE**

*3 Feet Tall  
3 Feet Wide  
Pink Flowers*



**EMERALD GREEN ARBORVITAE**

*10 Feet Tall  
3-5 Feet Wide  
Green foliage*

# PLANT PALETTE: PERENNIALS & ORNAMENTAL GRASSES



**BLUE LYME GRASS**

*2-3 Feet Tall  
2-3 Feet Wide  
Blue foliage*



**KARL FOERSTER GRASS**

*4-5 Feet Tall  
3-4 Feet Wide  
White plume*



**HAPPY RETURNS DAYLILY**

*18-24 Inches Tall  
18-24 Inches Wide  
Yellow flower*



**BIG BLUE LILYTURF**

*15-18 Inches Tall  
18-24 Inches Wide  
Purple flower*

# Downtown | Flats Design Review Case

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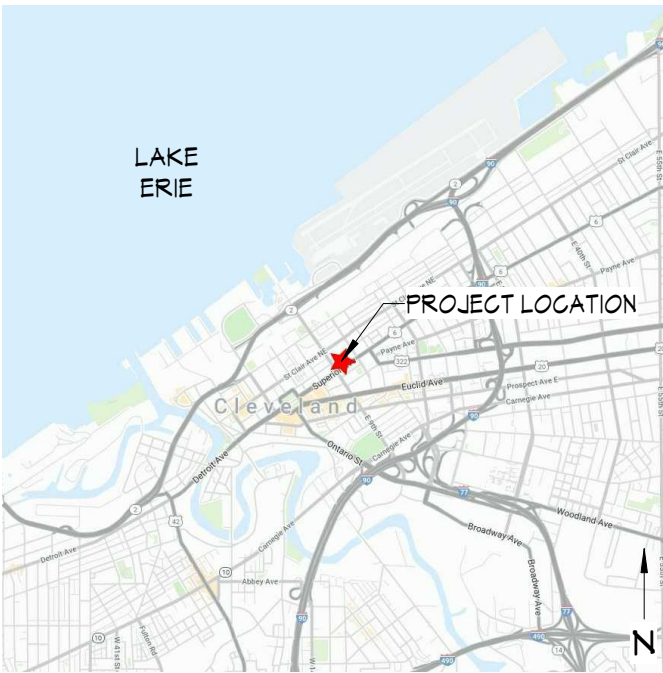


May 7, 2021

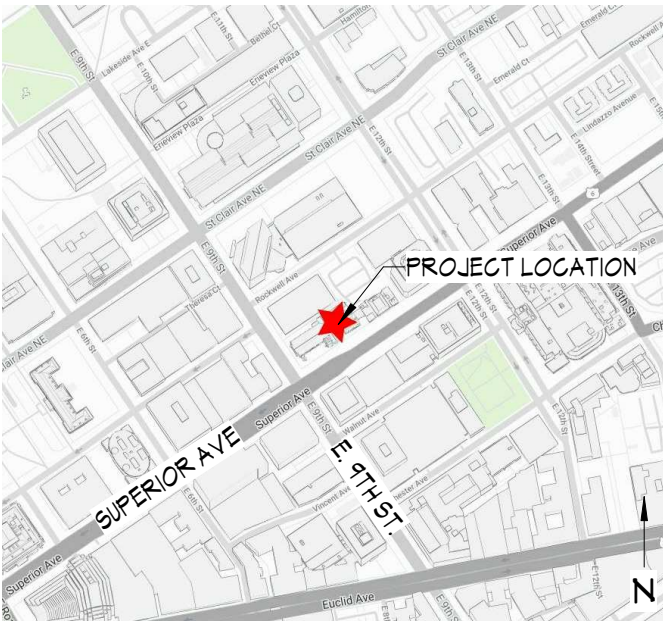
DF2021-009 - St. John's Cathedral Digital Monument Sign: Seeking Final Approval

**Project Address: 1007 Superior Avenue**

Project Representative: Terry Fields, Berardi Partners Architects



CONTEXT MAP



LOCATION MAP

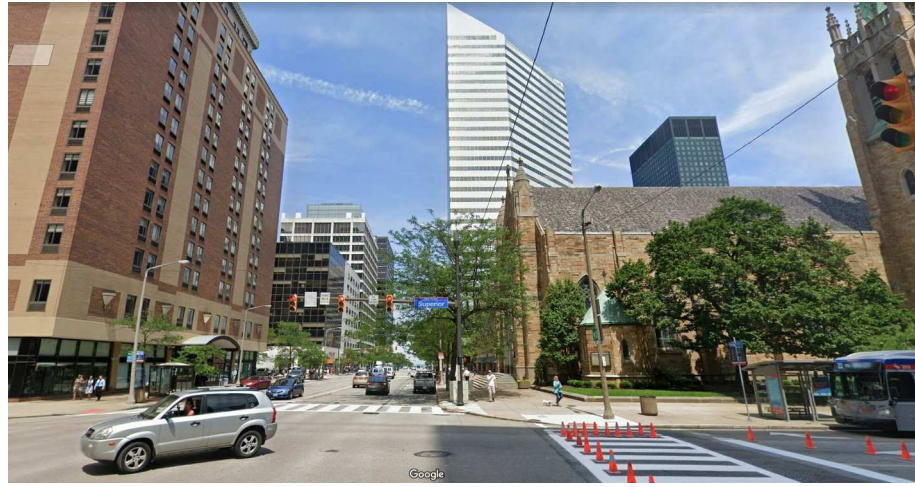
**CONCEPT SUMMARY:**

THE PURPOSE OF THESE DOCUMENTS IS TO LOCATE AND DESCRIBE A NEW MONUMENT ON THE GROUNDS OF ST. JOHN THE EVANGELIST CATHEDRAL

THE MONUMENT WILL BE CONSTRUCTED AND FINISHED TO MATCH THE MATERIALS EXTANT TO THE CATHEDRAL, AND THE MONUMENT WILL FEATURE TWO METHODS OF VISUAL COMMUNICATION.

THE FIRST METHOD WILL BE IN THE FORM OF A CONVENTIONAL SIGN BOARD THAT USE PHYSICAL TEXT TO INDICATE LONGSTANDING INFORMATION SUCH AS SERVICE DATES AND HOURS. THE SECOND METHOD OF COMMUNICATION WILL BE VIA AN EXTERIOR GRADE DIGITAL DISPLAY. THIS DISPLAY IS INTENDED TO HIGHLIGHT CONTEMPORANEOUS ANNOUNCEMENTS AND TO SHOW A STREAM OF SOME EVENTS IN THE CATHEDRAL.

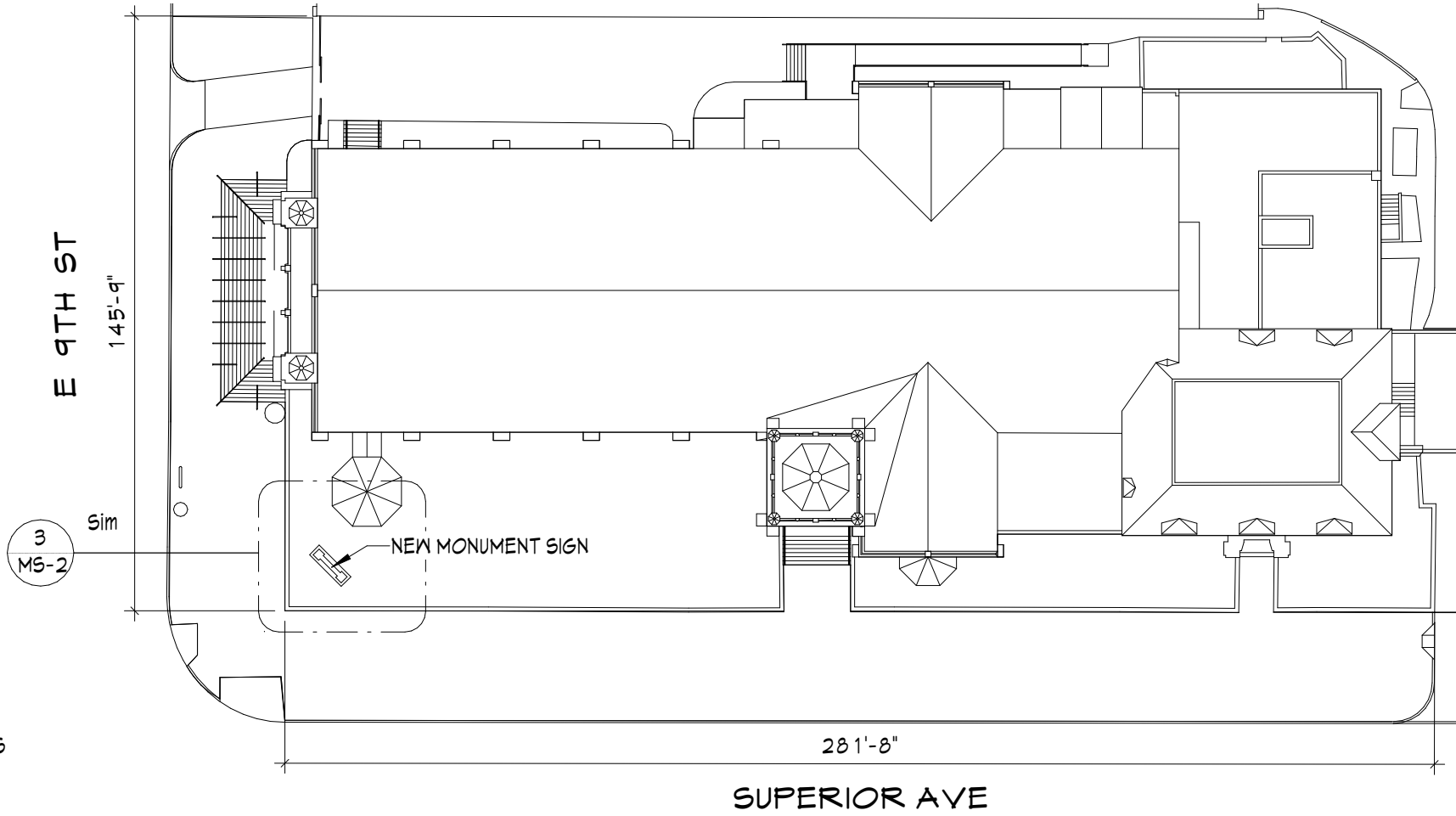
**CONTEXT PHOTOS:**



VIEWING NORTH ALONG 9TH STREET AT SUPERIOR



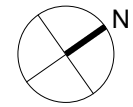
VIEWING EAST ALONG SUPERIOR AT 9TH STREET



1  
MS-1

ARCHITECTURAL SITE PLAN

1" = 40'-0"



The Cathedral of Saint John the Evangelist

1007 Superior Ave, Cleveland, OH 44114

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SCHEMATIC

DATE: 4-22-2021  
PROJECT #: 20107

MONUMENT SIGN PACKAGE

MS-1



The Cathedral of Saint John the Evangelist

1007 Superior Ave, Cleveland, OH 44114

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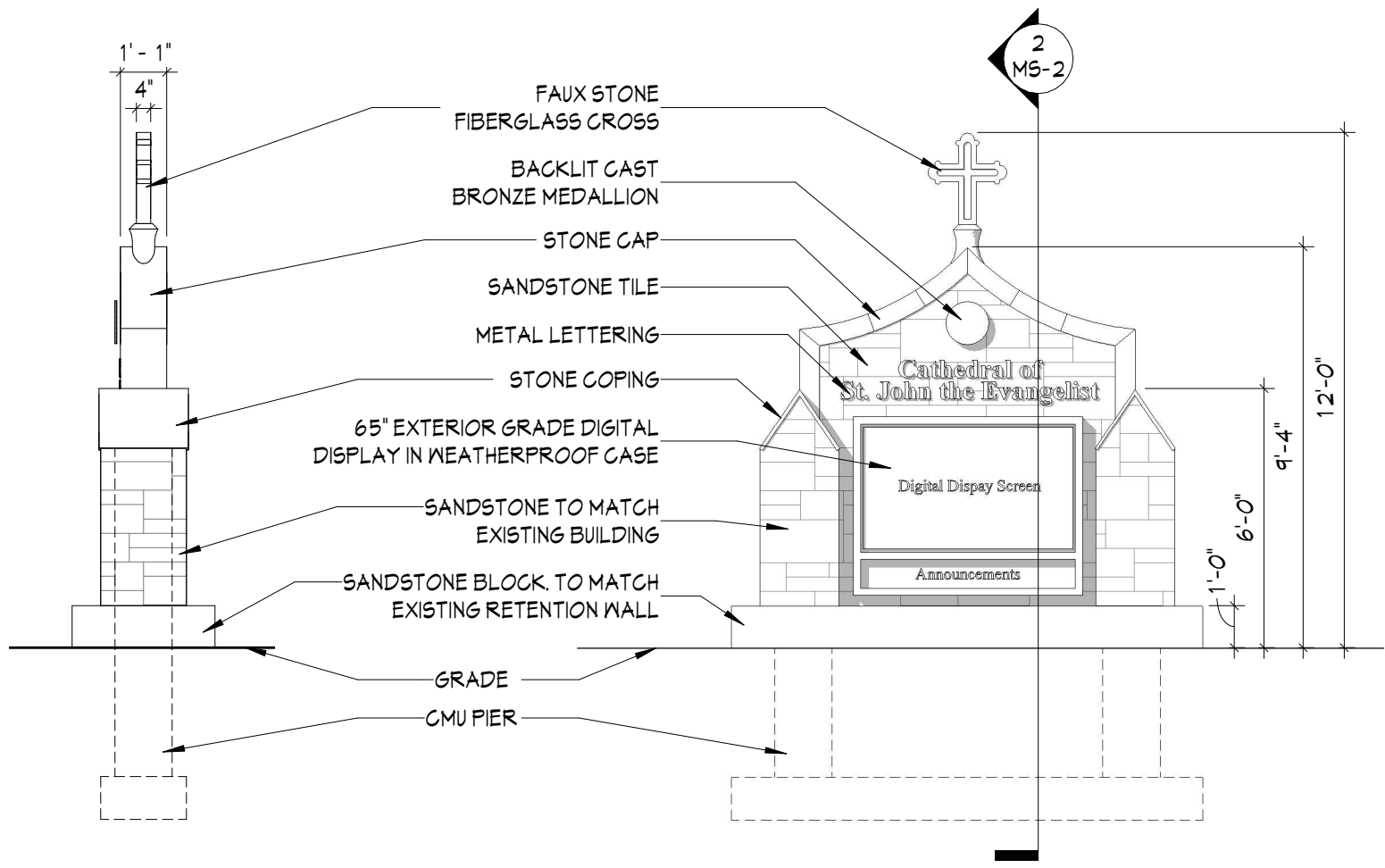
SCHEMATIC

DATE: 4-22-2021  
PROJECT #: 20107

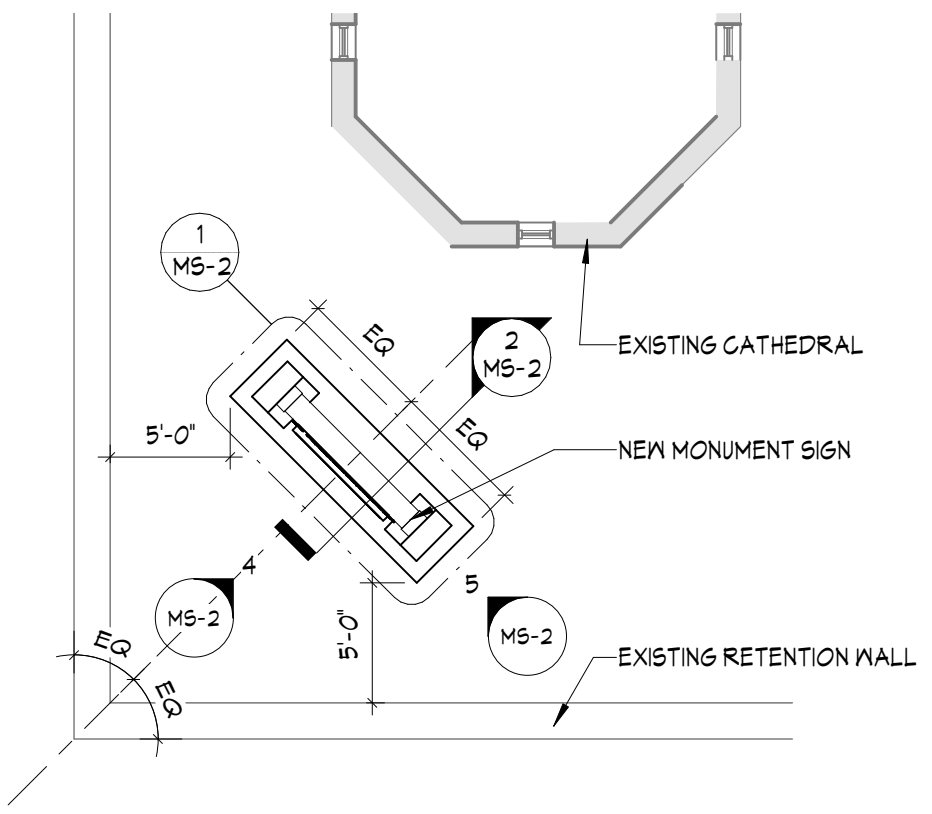
MONUMENT SIGN CONCEPT PACKAGE

MS-2

BERARDI+  
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212  
P 614.221.1110 berardipartners.com

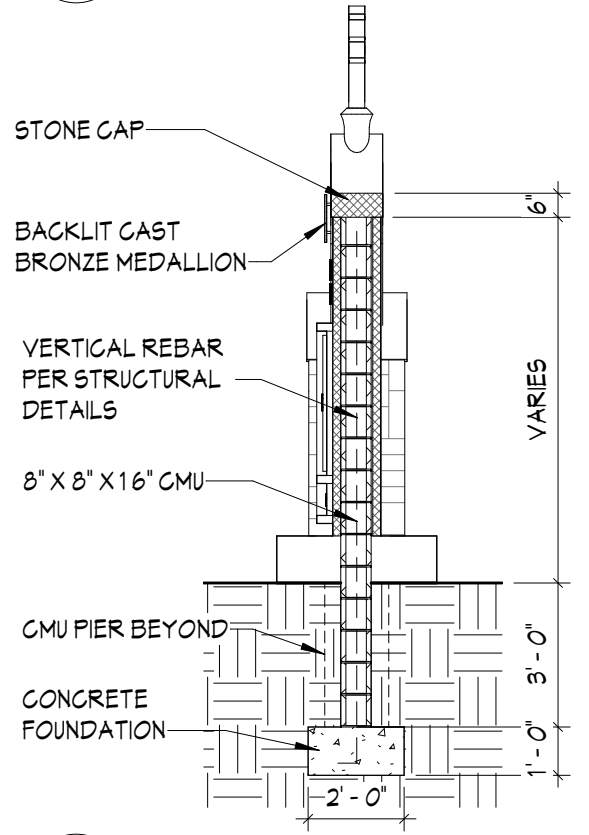


4 FRONT ELEVATION  
MS-2  
1/4" = 1'-0"

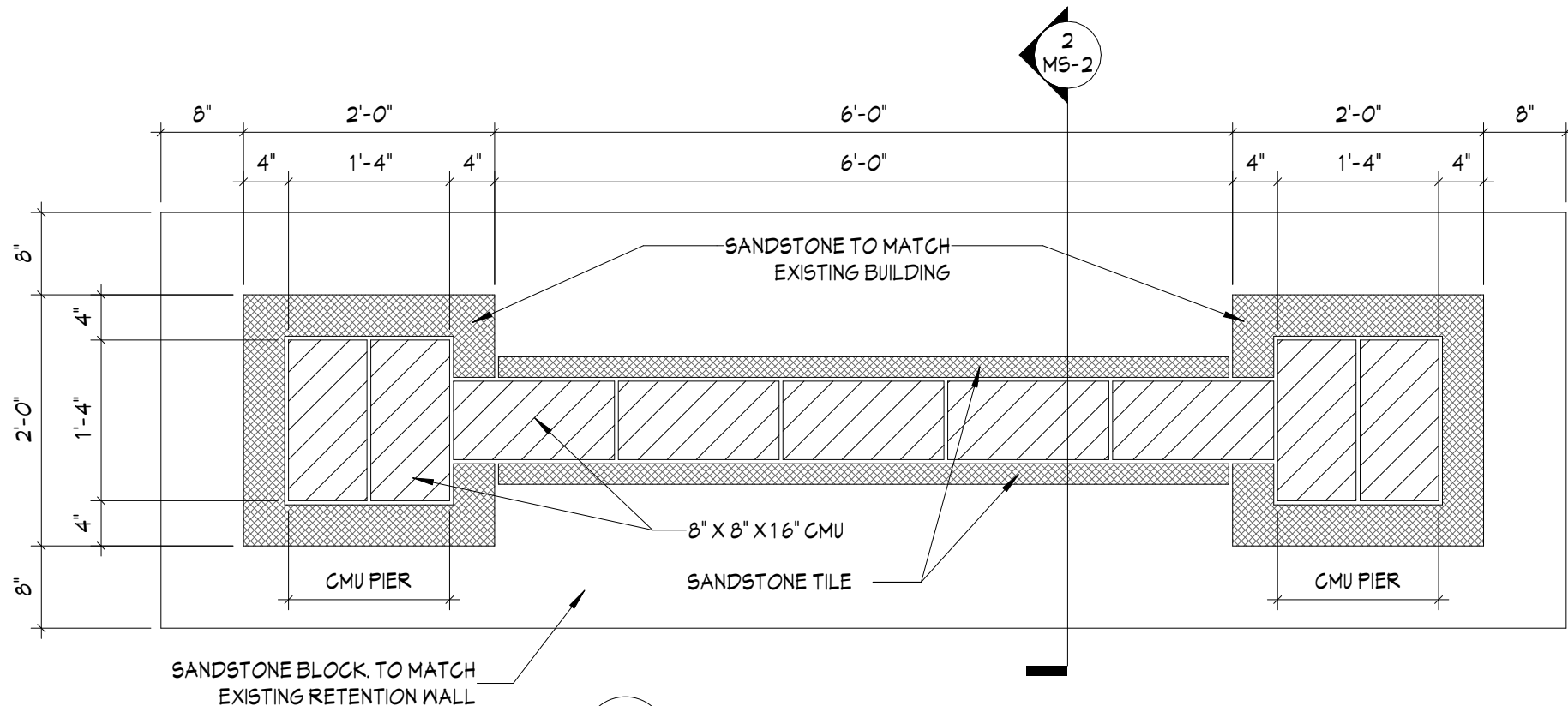


3 MONUMENT SIGN LOCATION  
MS-2  
1/8" = 1'-0"

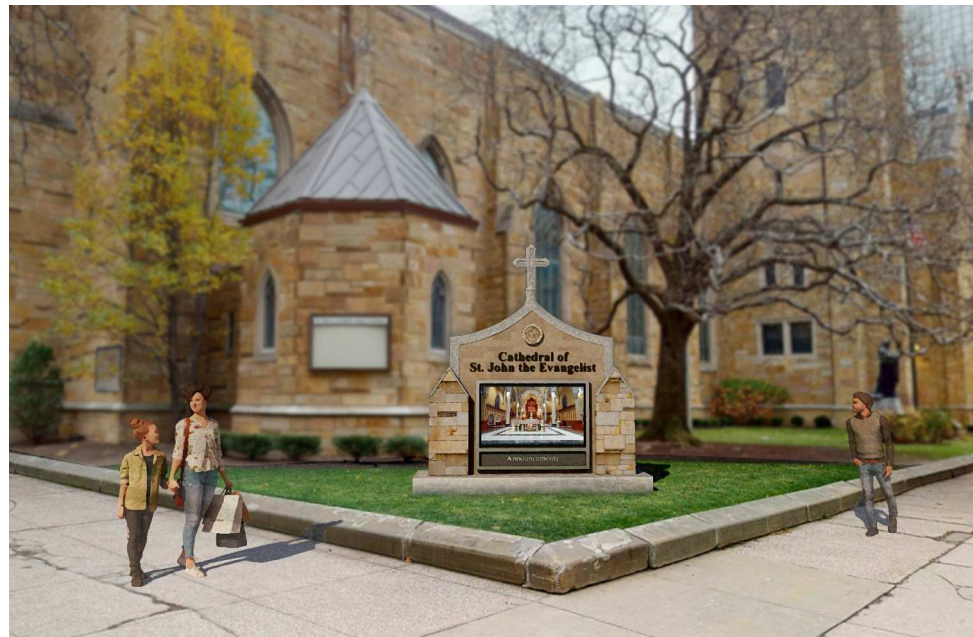
5 SIDE ELEVATION  
MS-2  
1/4" = 1'-0"



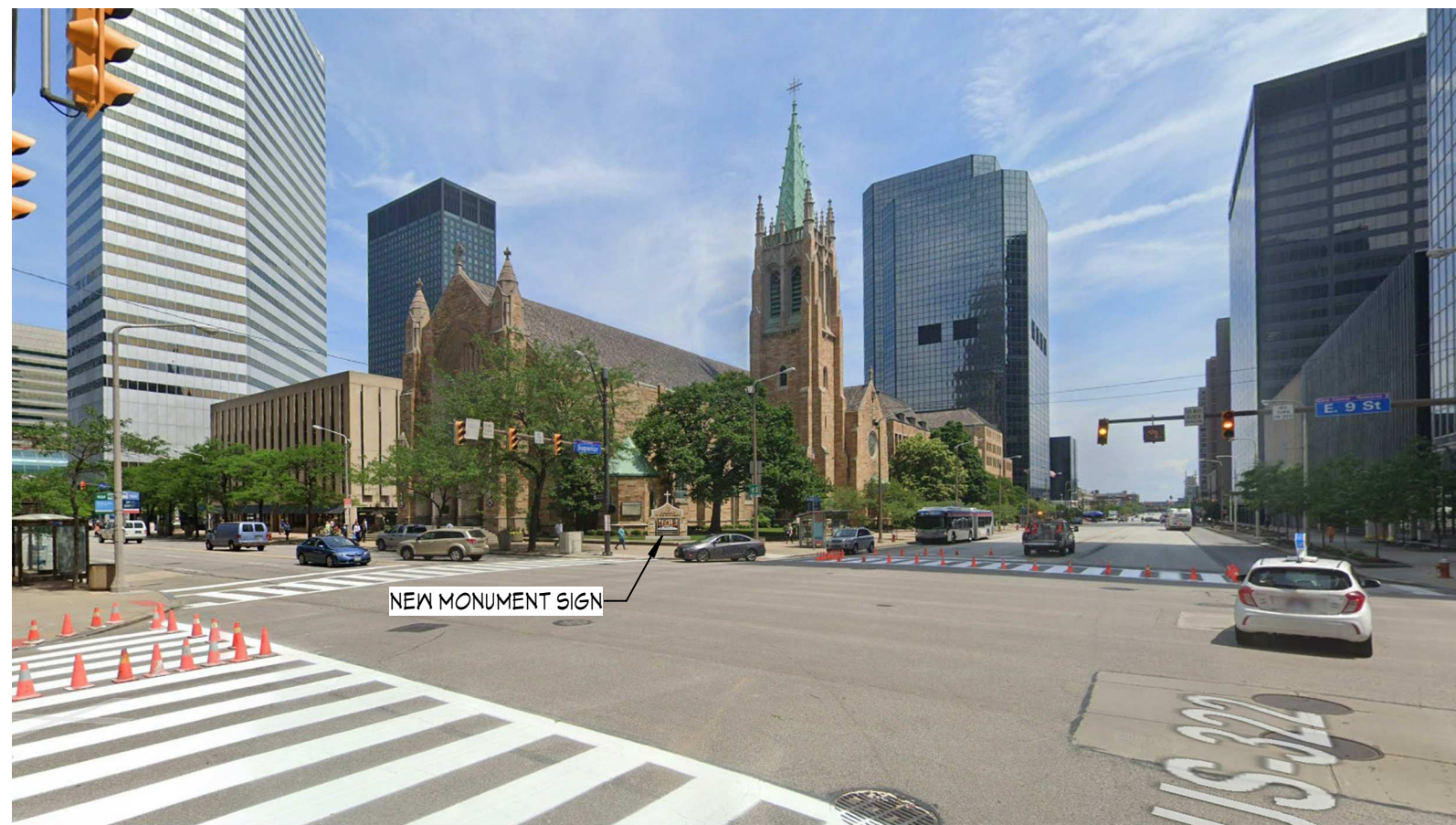
2 SECTION  
MS-2  
1/4" = 1'-0"



1 MONUMENT SIGN PLAN  
MS-2  
3/4" = 1'-0"



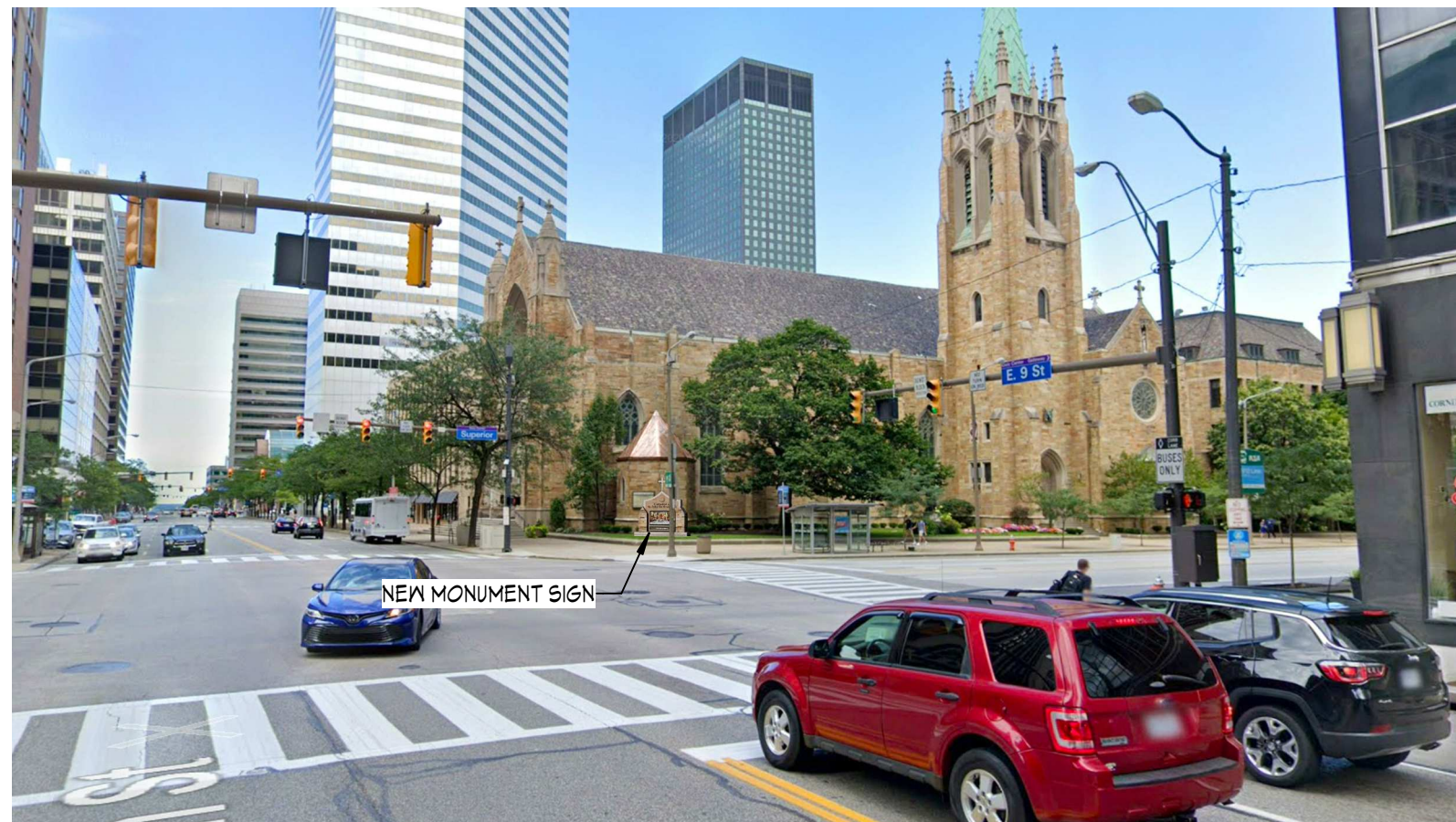
MONUMENT PERSPECTIVE AT 9TH AND SUPERIOR



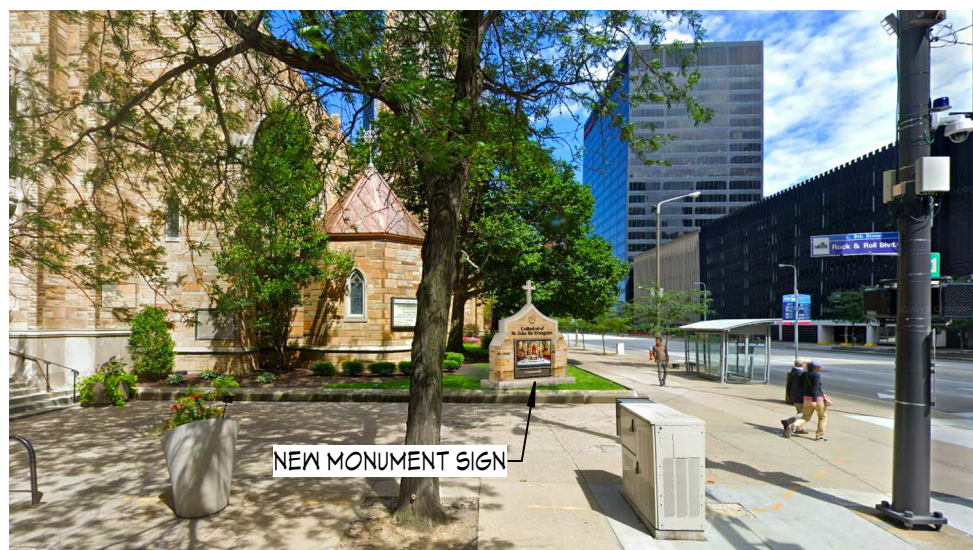
VIEWING NORTHEAST FROM INTERSECTION OF 9TH AND SUPERIOR



VIEWING EAST ON SUPERIOR AT 9TH



VIEWING NORTH ALONG 9TH AT SUPERIOR



VIEWING EAST ON SUPERIOR AT 9TH

# The Cathedral of Saint John the Evangelist

1007 Superior Ave, Cleveland, OH 44114

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## SCHEMATIC

DATE: 4-22-2021  
PROJECT #: 20107

## MONUMENT SIGN CONCEPT PACKAGE

# MS-3

# Cleveland City Planning Commission

## DRAC New Member Nominations

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May 7, 2021

# Design Review New Member Nomination

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May 7, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Director's Report

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May 7, 2021

# Cleveland City Planning Commission

## Adjournment

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May 7, 2021