



Cleveland City Planning Commission

Friday, April 16, 2021

**** PLEASE MUTE YOUR MICROPHONE ****

David Bowen, Commission Chair

Freddy L. Collier Jr., Director

Michael Bosak, Administrator

Cleveland City Planning Commission

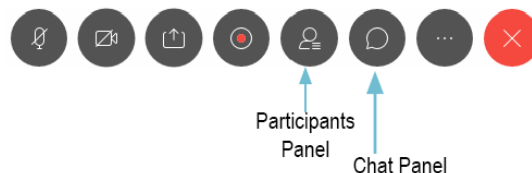
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



April 16, 2021

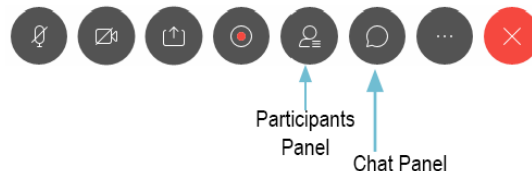
Cleveland City Planning Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



April 16, 2021

Cleveland City Planning Commission

Call to Order and Roll Call



April 16, 2021

Cleveland City Planning Commission

Special Presentations – Public Art



April 16, 2021

Special Presentation



April 16, 2021

NW2021-010 – *Celebramos!* Ceramic Tile Mural: Seeking Final Approval

Location: Roberto Clemente Park, 3690 Seymour Avenue

Presenter: Susan Underwood, Metro West CDC

¡Celebremos! Ceramic Tile Mural

by Angelica Pozo

in Roberto Clemente Park



L | A | N | D studio

Angelica Pozo

Past work



Puerto Rican
+
Cuban Heritage

Roberto Clemente Park

on Seymour Ave in Clark-Fulton
near The Hildebrandt Building

- Near West Rec baseball games
- Puerto Rican Parade
- 4th of July Celebrations
- Picnic spot for families

One of the few nice green spaces in
a neighborhood that needs more
outdoor parks for families.



Proposed Mural Location

- Small snack building in park
- Southeast facing wall
- Visible from road, parking lot, and pavilion
- Offers opportunity to walk up closely to see details.
- There is an existing light above mural location but we hope to upgrade when other lighting is upgraded by the council office.



Mural Theme: "Celebration"

Selected as a response to the ways in which the park is used and hopes for the future from residents.

This theme is also a way to showcase the variety of cultural traditions practiced by this diverse neighborhood.

COVID-safe community engagement has included:

- Meeting with Roberto Clemente block club
- Surveys asking residents/community members about their celebratory traditions.
- Virtual/In-person Workshops with multi-generational audiences.
 - Workshop partners include Julia De Burgos Cultural Arts Center, The Hildebrandt, and Roberto Clemente Block Club.
- Community celebration in Roberto Clemente Park
 - June 26th (if we can get a permit!)

Artist Statement

“Our Neighborhood Celebrates / Nuestro Barrio Celebra”

Mural proposal for Roberto Clemete Park
By Angelica Pozo

The proposed mural would be h.6' x l. 12' made of glazed porcelain tile. The intent of the mural is to represent the diversity as well as the unity of the neighborhood by showcasing what and how the community celebrates. The mural will reflect the strong presence of Puerto Rican residents while also representing the many other ethnicities in various manners.

The first is by the celebrations themselves all shared by the community through surveys. There are some celebrations that have ethnic specific origins as well as American holidays that are shared across cultures. Those are presented bilingually in English and Spanish.

The mural is laid out like a calendar dial. One can move clockwise around the central axis and find the holidays grouped within their seasons.

Artist Statement, continued

Another way the ethnic diversity of the neighborhood is represented is through family crests. The community has been invited to create a family crest for their surname. The finished crests will be turned into ceramic decals and fired onto the tile to create the outer border. The intent is to have the surnames reflect the diversity of ethnicity in the neighborhood.

Another spot where I will represent the diversity of neighborhood is with the people depicted under the 'Fiestas' banner.

Yet another is within the 'Family Dinner' platter. I plan to depict some different specific ethnic foods that were shared in the survey.

Please note that this is a very rough sketch done at a small scale. Everything will be much further refined once work at full scale is started. Much more details on images, lettering much more clearly stated. I am hoping to get a go ahead with this concept to be able to start to develop full scale drawing. I would be happy to share again after that stage if necessary.

Rough Mural Sketch



Family Crest Designs

Drawings will be
Turned into decals for
ceramic tiles





10'

6'

2'

on each side of mural

12'

16'



Plaque much like this one will be installed at left of mural.

Plaque will give artist name, title, a brief description of the mural and community participation, and

Angelica Pozo

Our Neighborhood Celebrates / Nuestro Barrio Celebra, 2020

This mural is a celebration of the diverse community surrounding Roberto Clemente Park. The interior portion of the mural shows the many ways this community celebrates through a variety of cultural traditions.

The border of the mural features custom family crests designed by members of the community of all ages.

As you enjoy this mural, you may reflect on the ways in which you celebrate.

Este mural es una celebración de la comunidad diversa que rodea Parque Roberto Clemente. La parte interior del mural muestra los muchos formas en que esta comunidad celebra a través de una variedad de tradiciones culturales.

El borde del mural presenta escudos familiares personalizados diseñados por miembros de la comunidad de todas las edades.

Mientras disfruta de este mural, puede reflexionar sobre las formas en que celebrar.

Rough Draft of Plaque Text
(Has not yet been edited
and reviewed by other, just
to give an idea. Open to
suggestions for additions.)



L | A | N | D studio

Maintenance Plan:

- Metro West will be responsible for managing maintenance
- Angelica will be compensated for repairs/replacement tiles if that should come up.
- Ceramic tiles are incredibly sturdy and easy to clean.
- Installation will be done by professional tile setter.



Special Presentation



April 16, 2021

DF2021-005 - *Maya Sculpture*: Seeking Final Approval

Location: TBD

Presenter: David Biro, Artist

Public Art Proposal
City of Cleveland
Planning Commission

03.08.2021

Artist: David Biro
Address: 3100 Carroll Ave. Cleveland Ohio 44113
Phone: 216-712-5220
Email: davidbiro369@yahoo.com
Website: www.cledzn.com

Art Installation: Maya

Location:

1. Goodrich-Kirtland Park, City of Cleveland, South Marginal Rd
2. Greenspace Plaza, Corner of Carnegie and Ontario, Outside Progressive Field, City of Cleveland.

Objective:

To seek temporary 30 day placement and activation for a large-scale public art installation on unoccupied public property for the purpose of raising awareness and engagement for public art. There currently exists an immense number of places that are public property in highly visible corridors that can be activated with free large scale public art in the City of Cleveland. Activating these spaces with temporary public art will:

- Help artists, organizations, and the City better determine how the public at large responds to public art.
- How to utilize these spaces with long term permanent installations of public art.

Investment:

1. Insurance (30 days): \$800.00
2. Architecture Prints: \$250.00
3. Engineering Review: \$250.00
4. Solar Power Lighting: \$200.00
5. Permits: \$100.00
6. Installation and Removal Cost (Transportation, Labor, etc): 500.00
7. Misc: \$500.00

Total: ~\$2,600.00

Maya Dimensions + Weight:

20 Feet (length) x 10 Feet (width) x 8 Feet (height) : 200 Sq Ft.
Approx weight 2,500lbs

Material:

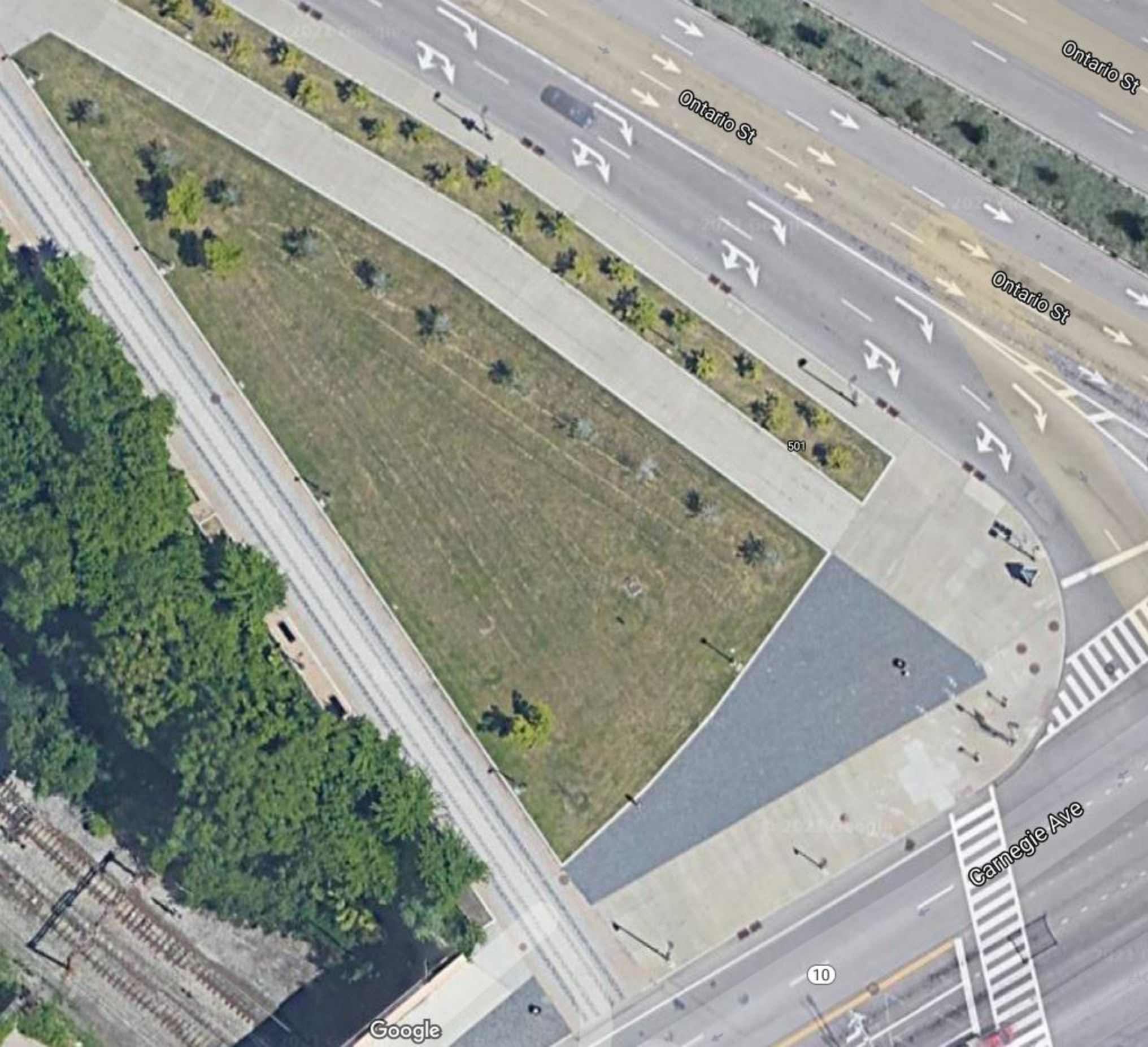
1020 Carbon Steel Sheet : 12gauge

1" Square Steel Tube Internal Frame with .125" tube wall thickness

Dupont Centari Automotive Paint Finish

Lighting:

12 small outdoor solar lights will be placed around the perimeter of the art installation to illuminate it at night.



Ontario St

Ontario St

Ontario St

501

Carnegie Ave

10

Google



Ontario St

Ontario St

Ontario St

501

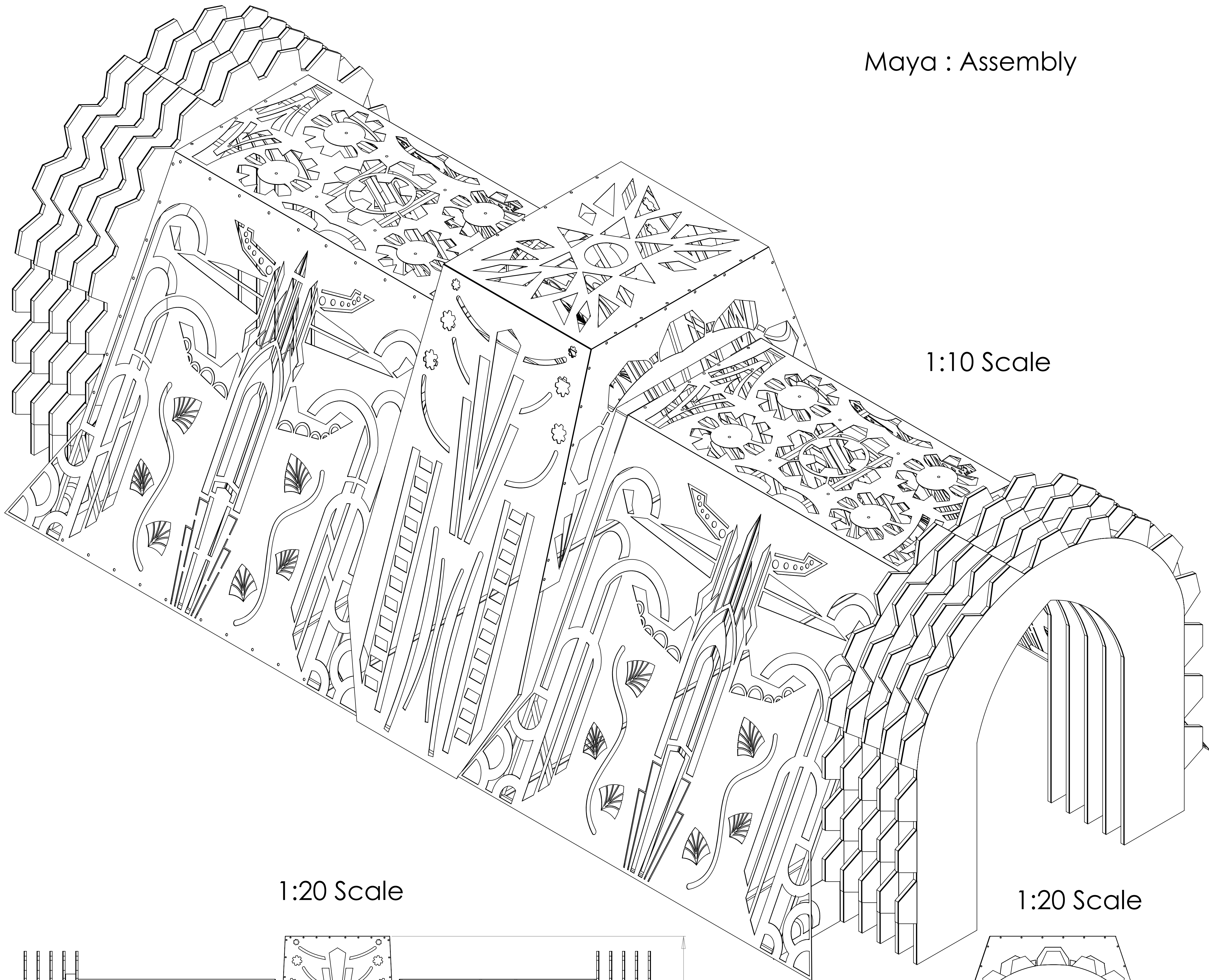
Maya Placement

Carnegie Ave

10

Google

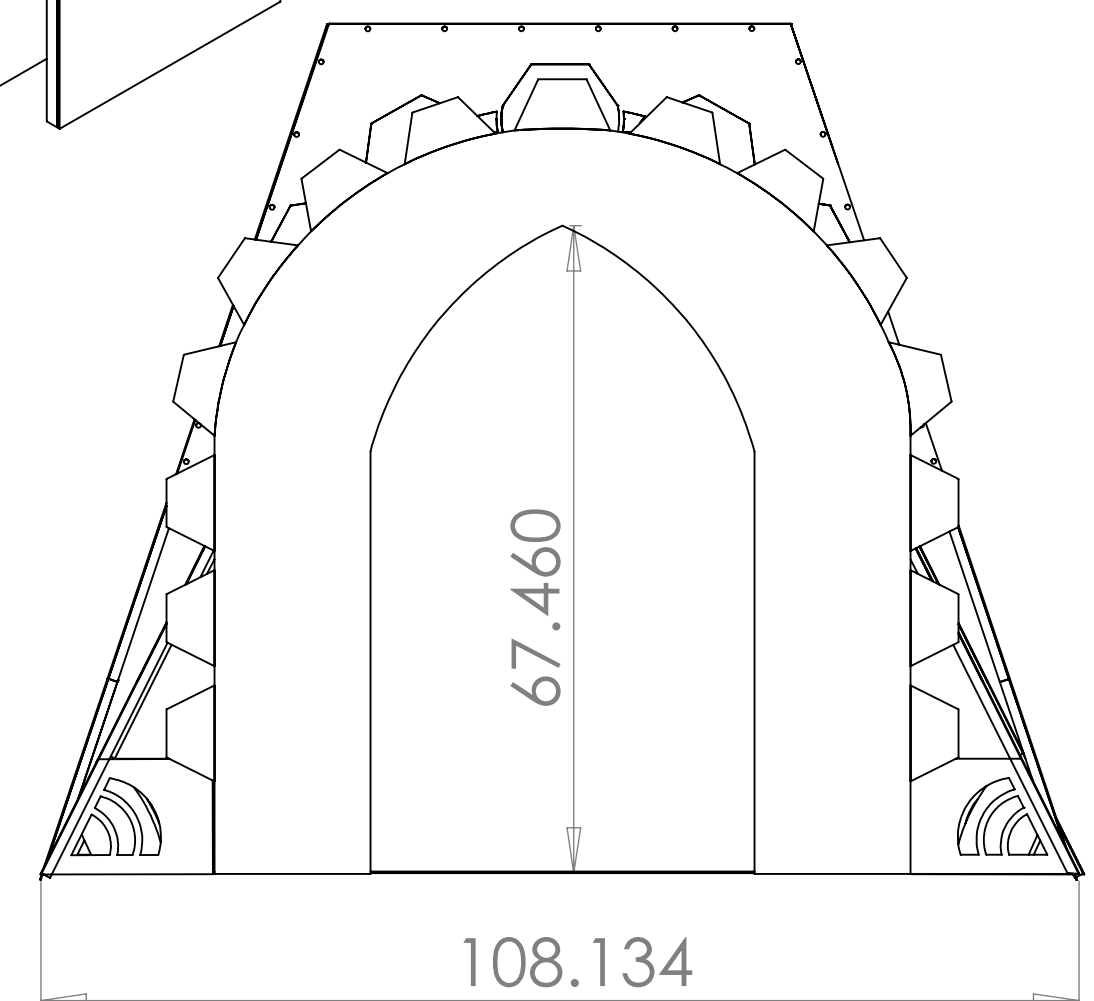
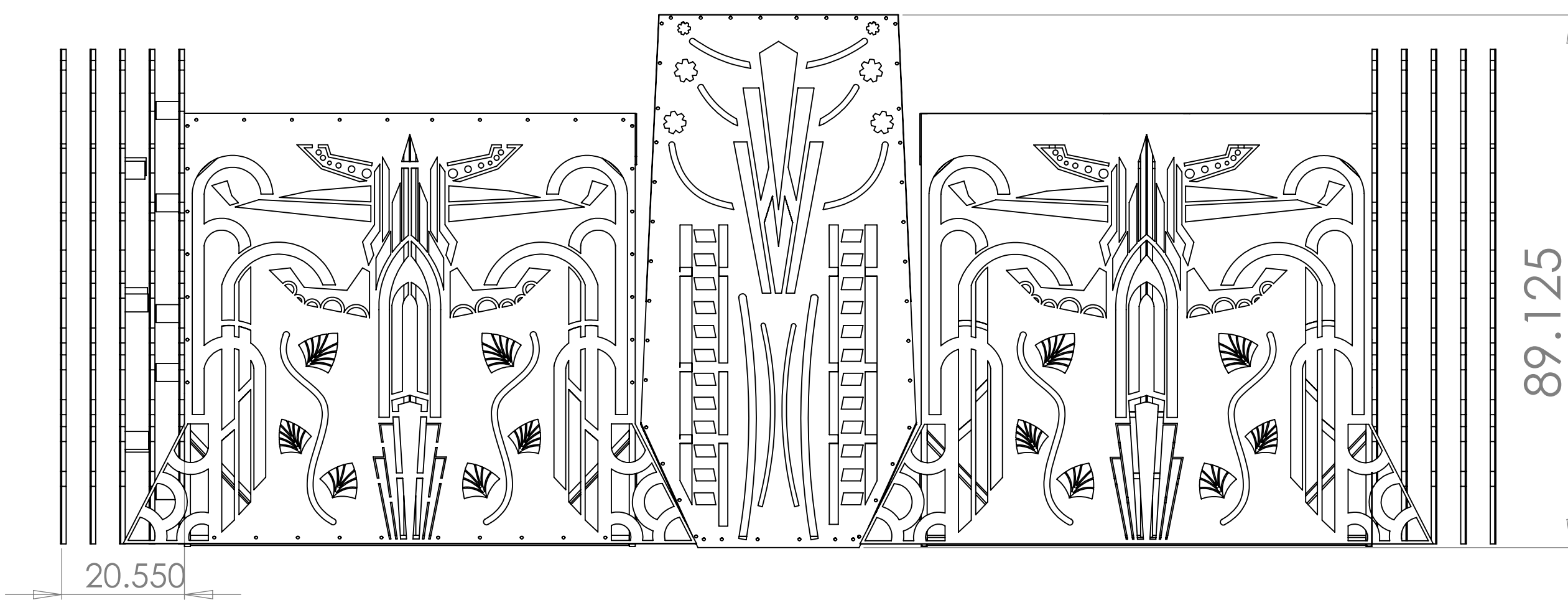
Maya : Assembly



1:10 Scale

1:20 Scale

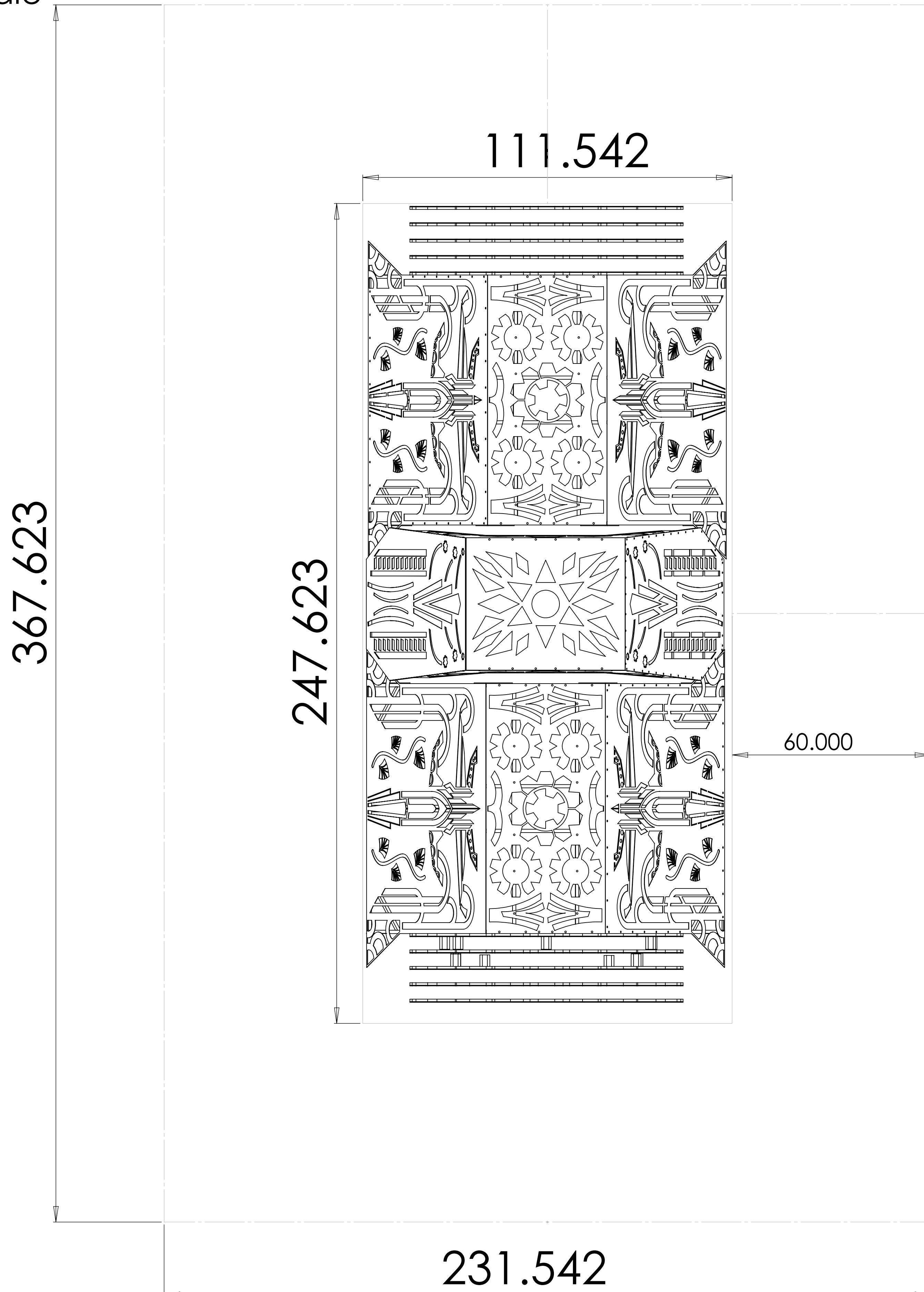
1:20 Scale



Maya : Top Plane View

Total Length and Width Dimensions

1:20 Scale



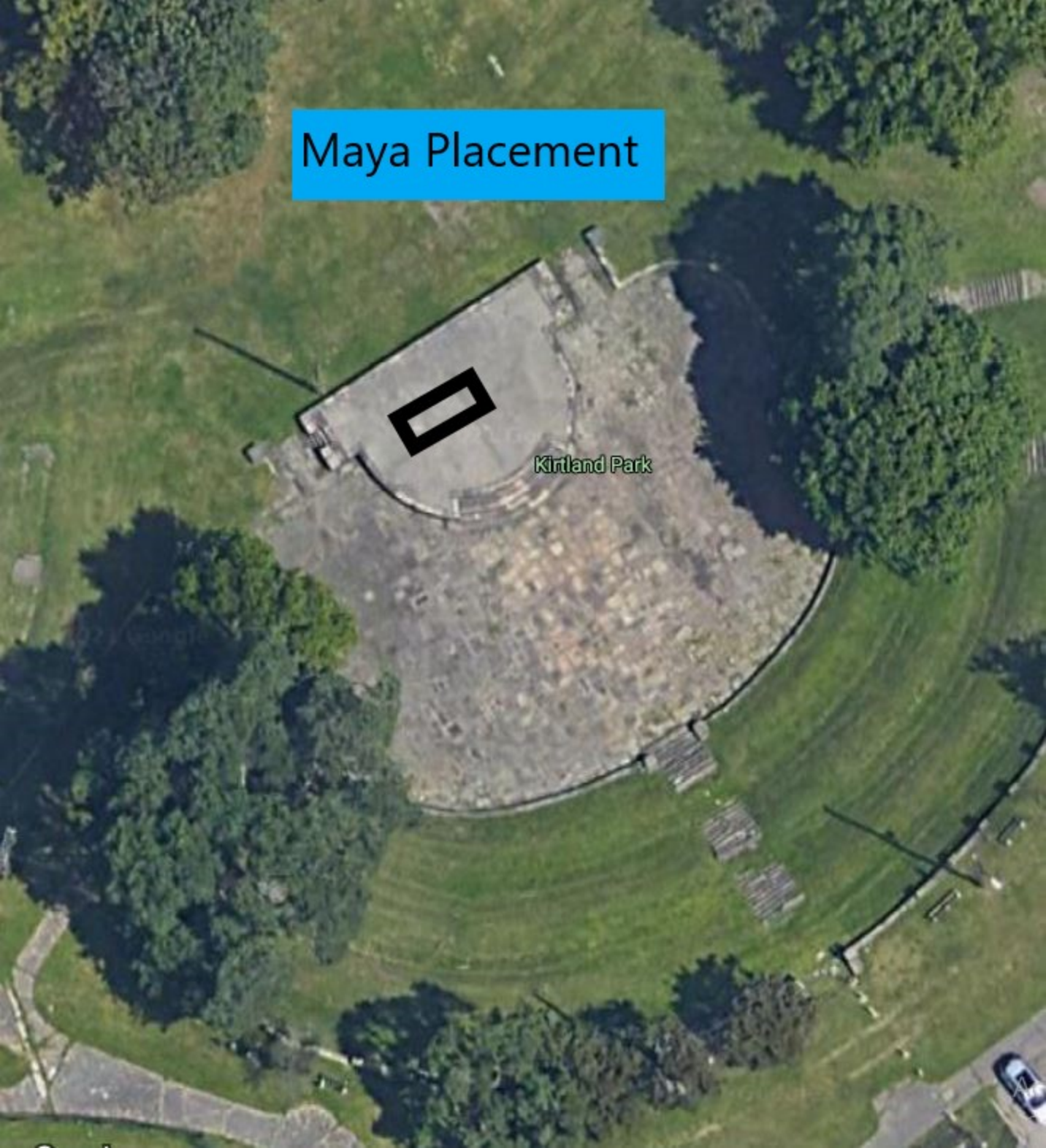






Kirtland Park

Maya Placement

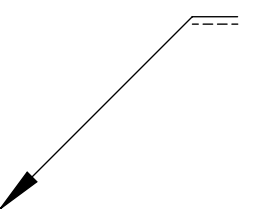
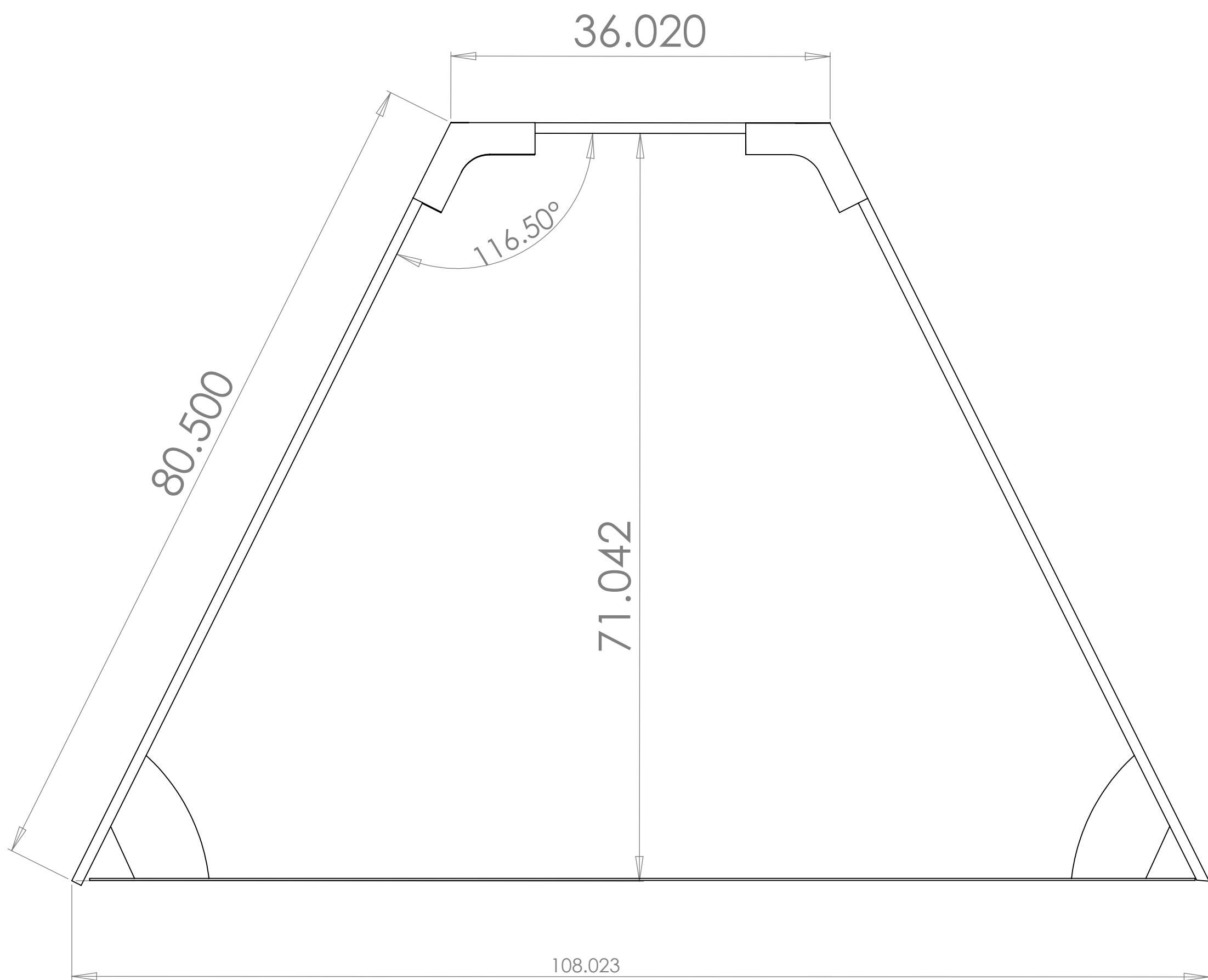
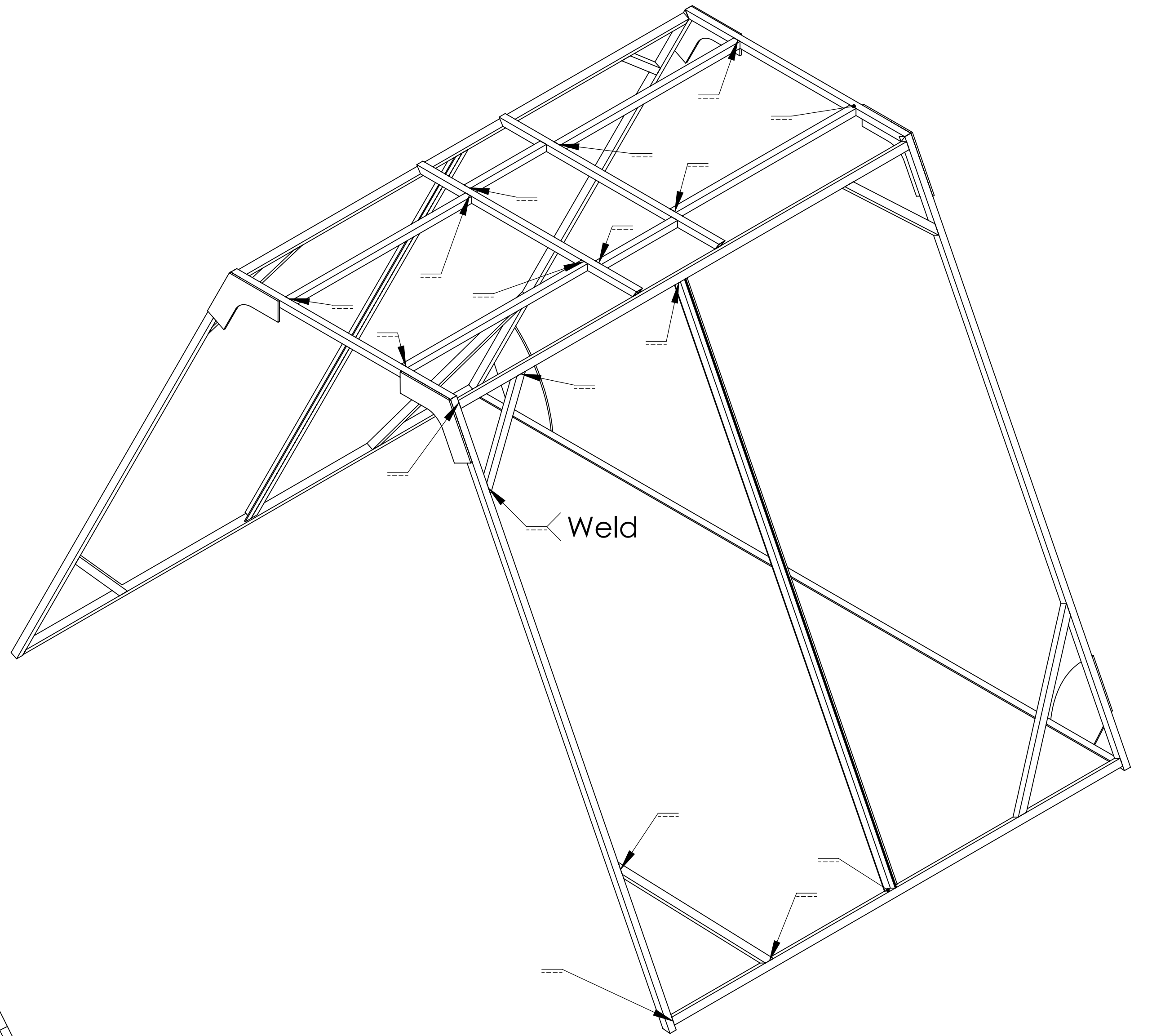


Kirtland Park

Maya : Frame : Hallway

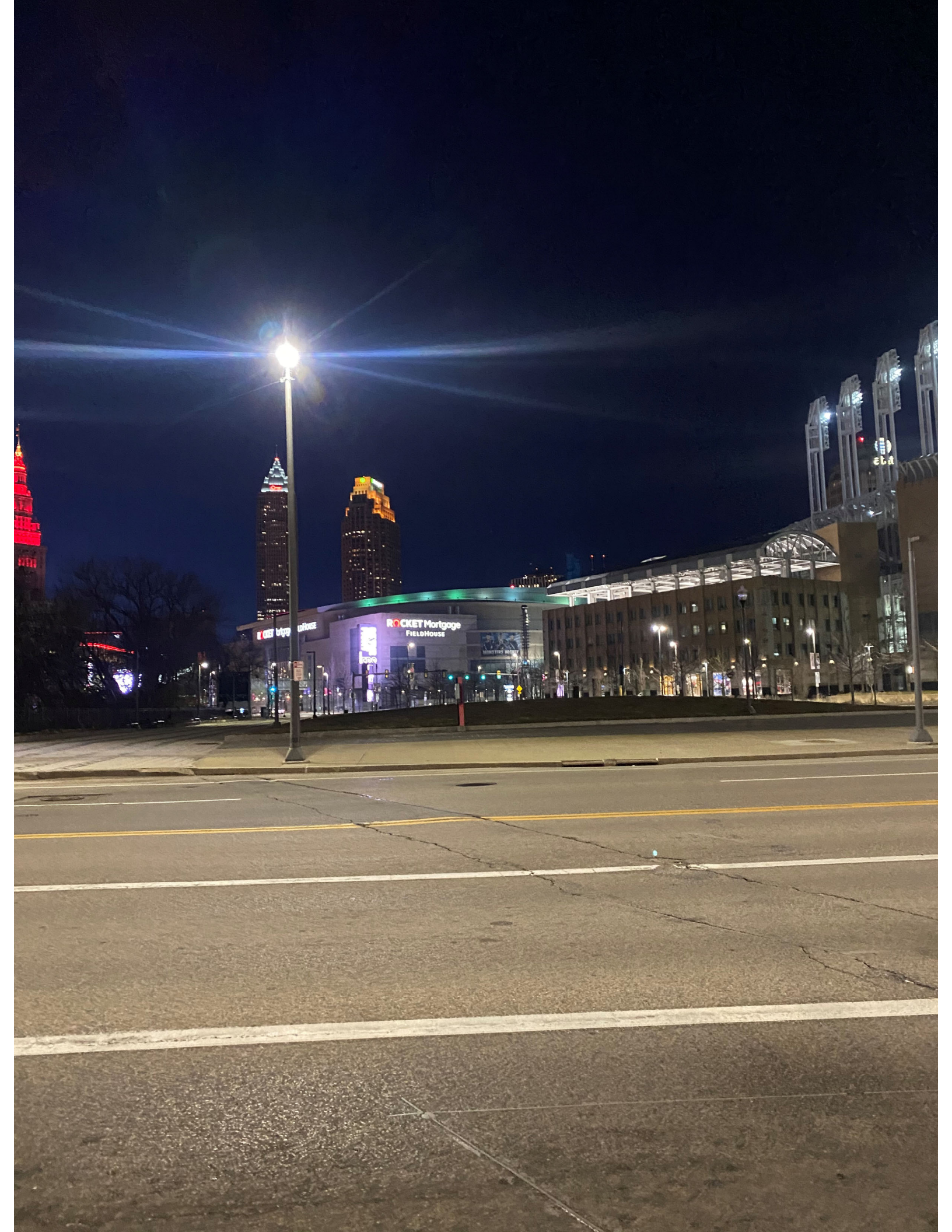
1: 10 Scale

Weld Points Marked Out









Cleveland City Planning Commission

Zoning Map Amendments



April 16, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Planned Unit Development



April 16, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Telecommunication Towers



April 16, 2021

April 16, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

New Townhouse Development In a 2-Family District



April 16, 2021

Townhouse Development in a 2-Family District

April 16, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Lot Consolidation / Splits



April 16, 2021

Lot Consolidation / Split



April 16, 2021

For PPN# 007-02-002

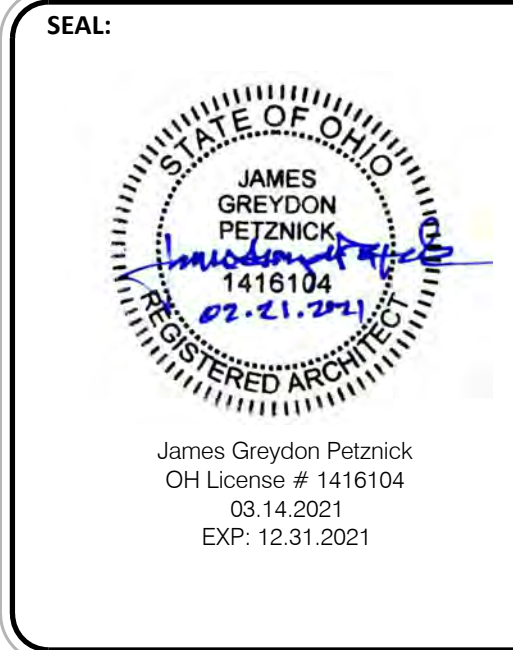
Project Address: 2055 West 44th Street

Project Representative: Michael David, BR Knez

Note: this project was Tabled by the Planning Commission on March 19, 2021.

Issued for Planning Review

A NEW SMALL FOOTPRINT PROTOTYPE HOUSING UNIT FOR CITY INFILL LOTS, TYPE SV215



PREPARED FOR:
OWNER:

OHIO CITY INCORPORATED
2525 MARKET STREET
CLEVELAND, OHIO 44113
T: 216.781.3222

BEN TRIMBLE:
BTRIMBLE@OHIOCITY.ORG
DONNA GRIGONES BAILEY:
DGRIGONIS@OHIOCITY.ORG

PREPARED BY:
ARCHITECT:

CLEVELAND DRAW
3342 AVALON ROAD
SHAKER HEIGHTS, OHIO 44120
T: 216.548.5335

GREYDON PETZNIK, RA
GREYDON@CLEVELANDDRAW.COM
MATT PLECNIK, RA
MATT@CLEVELANDDRAW.COM

STRUCTURAL ENGINEER:

MAKARCH STRUCTURAL ENGINEERING, LLC
P.O. BOX 1389
WILLOUGHBY, OHIO 44096
T: 440.283.7252

GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
 - THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
 - ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
 - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS, PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FORM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
 - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL

- OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. A SUBSTANTIAL COMPLETION CERTIFICATE WILL BE EXECUTED AND DISTRIBUTED BY THE ARCHITECT.
- REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA), LATEST EDITION.
- ALL CONTRACTORS ENGAGED BY THE G.C. SHALL BE BONDABLE, LICENSED CONTRACTORS, HAVING GOOD LABOR RELATIONS, CAPABLE OF PERFORMING QUALITY WORKMANSHIP AND CAPABLE OF WORKING IN HARMONY WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS.
- PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE. ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE OWNER AND/OR AS REQUIRED BY LOCAL & STATE AGENCIES.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MODIFIED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED WITHIN THESE DRAWINGS.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS. EACH SUBCONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE CONTRACTED WORK, INCLUDING RIGGING OF MATERIALS AND EQUIPMENT, ALL HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, AND/ OR SLEEVES.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ECT.) MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.
- THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS - UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST AND RESIDUE AND DEBRIS. DELIVER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.
- ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. STANDARDS.

- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ECT (WHICH IN THE GENERAL CONTRACTOR'S OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY. AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECTS REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL LAYOUT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.

SYMBOL LEGEND:

	EARTH		NAME OR AREA ROOM#		ROOM NAME & ROOM NUMBER
	POROUS FILL		###		DOOR TYPE DESIGNATION
	CONCRETE		X		WALL TYPE DESIGNATION
	CONCRETE / MASONRY		FINISH TYP.		FINISH DESIGNATION
	BRICK / MASONRY		X		FIXTURE TYPE DESIGNATION
	GYPSUM WALLBOARD		X		KEY NOTE DESIGNATION
	RIGID INSULATION		XX		PROPOSED NEW COLUMN LINE
	BATT INSULATION		XX		EXISTING COLUMN LINE
	WOOD: SOLID SECTION		1		INTERIOR ELEVATION TAG
	WOOD: BLOCKING		1A##-##		SHEET DESIGNATION
	WOOD: BLOCKING (CUT)		1		ELEVATION DESIGNATION
	WOOD: PLYWOOD		X		EXTERIOR ELEVATION TAG
	EXISTING DOOR SYMBOL		X		SECTION TAG
	PROPOSED NEW DOOR SYMBOL		1		SECTION DESIGNATION
	FLOOR LEVEL ELEV = +0'-0"		X		INTERIOR ELEVATION TAG
	REVISION CLOUD & DESIG.		XX-XX		SHEET DESIGNATION
	ELEV. HEIGHT DESIGNATION		X		EXTERIOR ELEVATION TAG

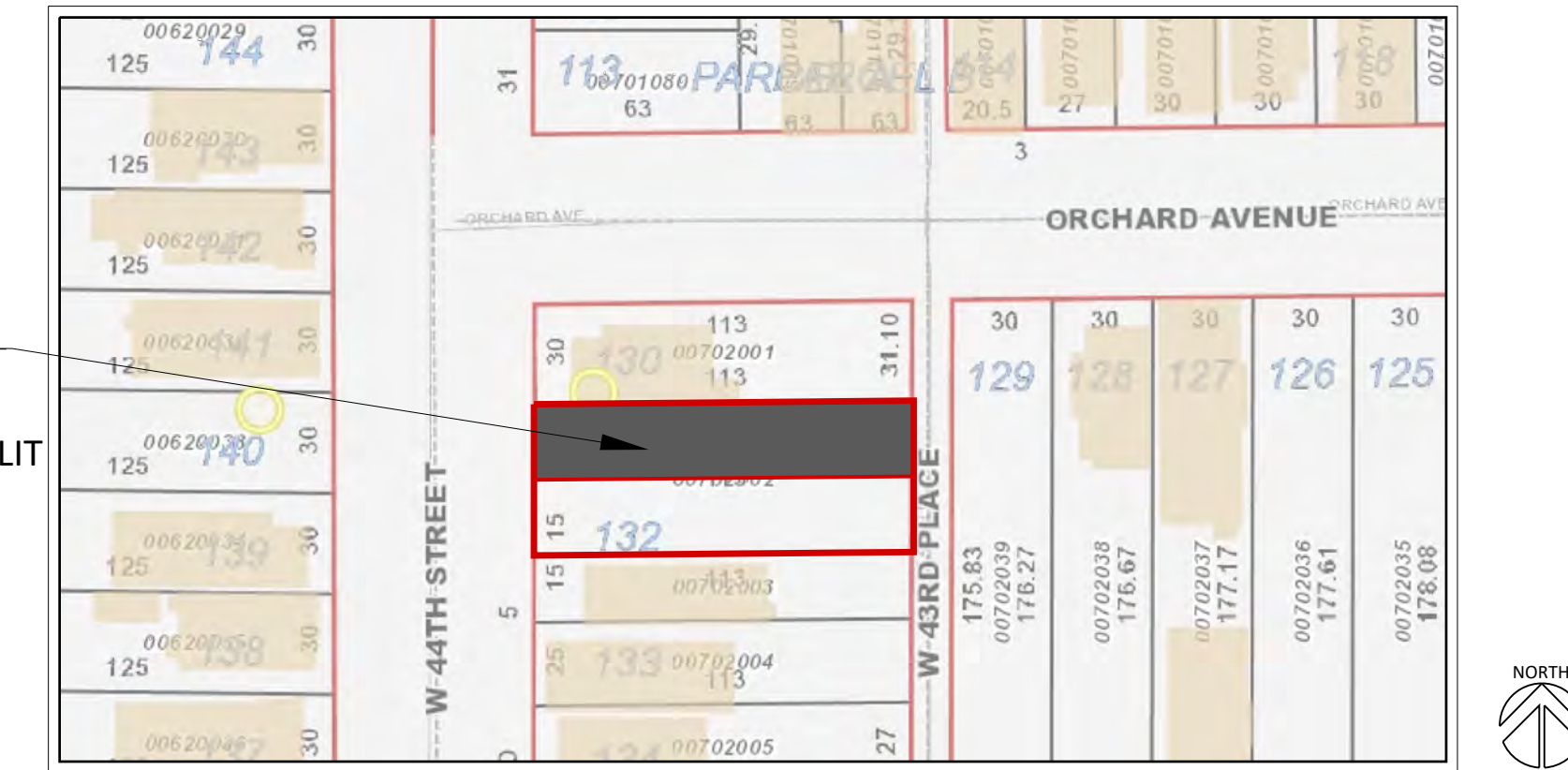
PROJECT SCOPE & DATA:

BUILDING INFO:	
ADDRESS	2055 W 44 ST CLEVELAND, OH. 44113 (SPLIT LOT A)
PPN:	007-02-002
LOT AREA:	45' X 113' (5,085 SF)
SPLIT LOT AREA:	22.5' X 113' (2,543 SF)
LAND USE:	(5000) R - RES VACANT LAND
LEGAL DESCRIPTION:	52 PEACH ORCH S/L 132 NP 0131 ALL NEIGHBORHOOD 02175
PROPOSED BUILDING USE:	R, SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE:	VB (NON SPRINKLERED)
ZONING:	2F--RESIDENTIAL TWO FAMILY
AREAS:	FIRST FLOOR 512 GSF (456 NSF) SECOND FLOOR 512 GSF (454 NSF)
COVERED PORCH	85 GSF
BASEMENT	451 GSF
THIS PROJECT WILL ADHERE TO THE REQUIREMENTS OF THE OHIO RESIDENTIAL CODE, 2019 EDITION.	
BUILDING SETBACKS	FRONT YARD SETBACK: 16'-0" REAR YARD SETBACK: 68'-0"
SIDEYARD SETBACK AND FIRE SEPARATION DISTANCE (NORTH):	3'-0" PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION. DISTANCE IS GREATER THAN 2' AND LESS THAN 5'. REFERENCE A1-01
SIDEYARD PROJECTION SETBACK AND FIRE SEPARATION DISTANCE (NORTH):	2'-0" PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'.
SIDEYARD OPENINGS IN WALLS (NORTH)	9.8% OF WALL AREA MEETS REQUIREMENTS OF MAXIMUM 25% NO RESTRICTION ON PENETRATIONS
WHERE REFERENCED IN THIS CODE, AN UNOCCUPIED SPACE ON AN ADJOINING PROPERTY MAY BE INCLUDED IN THE REQUIRED FIRE SEPARATION DISTANCE PROVIDED THAT THE ADJOINING PROPERTY IS DEDICATED OR DEEDED SO AS TO PRECLUDE, FOR THE LIFE OF THE STRUCTURE, THE ERECTION OF ANY BUILDING OR STRUCTURE ON SUCH SPACE (SEE SECTION 3781.02 OF THE REVISED CODE). THE PARCEL TO BE SPLIT INTO THE TWO LOTS SHOWN ARE CONTROLLED THROUGH DEED AND SATISFIES THE ABOVE REQUIREMENT TO MEASURE FIRE SEPARATION DISTANCE FOR THE SOUTH SIDEYARD SETBACK TO THE PROPOSED, NEW BUILDING.	
SIDEYARD SETBACK (SOUTH):	1'-6"
SIDEYARD FIRE SEPARATION DISTANCE (SOUTH):	3'-0" PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION. FIRE SEPARATION DISTANCE IS GREATER THAN 2' AND LESS THAN 5'. REFERENCE A1-01
SIDEYARD PROJECTION SETBACK (SOUTH):	1'-2"
SIDEYARD PROJECTION	FIRE SEPARATION DISTANCE (SOUTH): 2'-4" PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'.
SIDEYARD OPENINGS IN WALLS (SOUTH)	11.6% OF WALL AREA MEETS REQUIREMENTS OF MAXIMUM 25% NO RESTRICTION ON PENETRATIONS

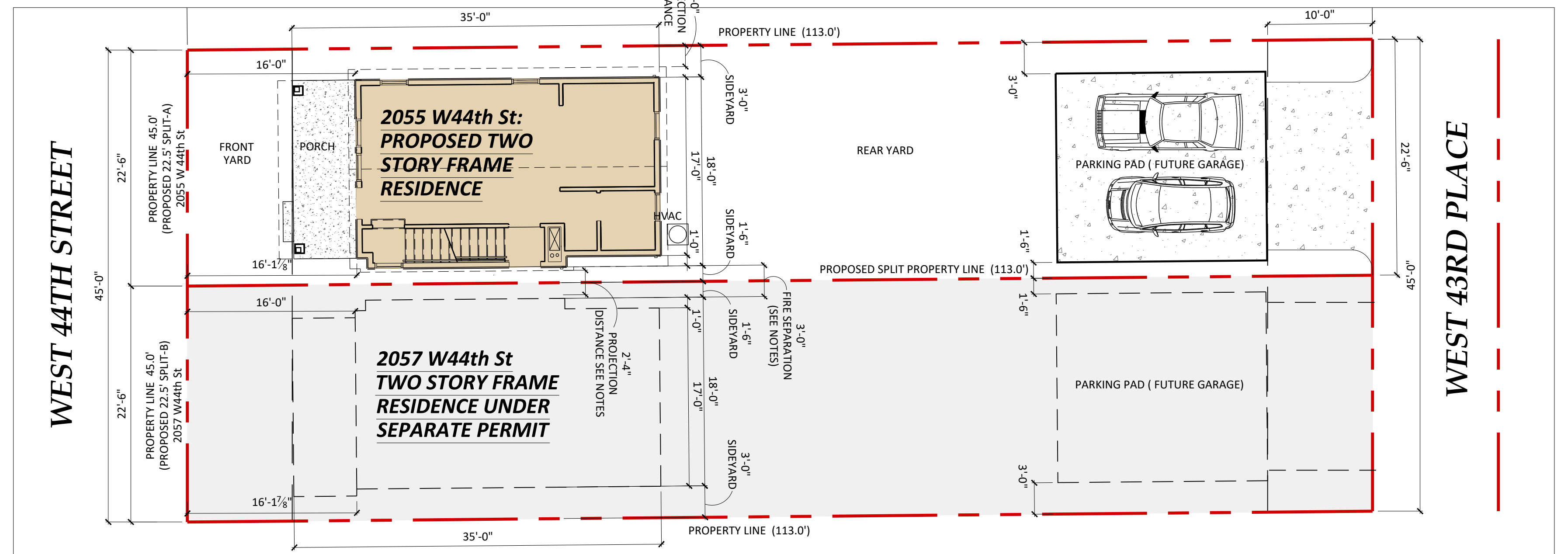
SHEET INDEX:

TO-00R	TITLE SHEET, GENERAL NOTES, SHEET INDEX, PROJECT DATA & SITEPLAN
CIVIL	
T1-00	NEIGHBORHOOD CONTEXT PHOTOGRAPHY
T1-01	CONTEXT AND HISTORIC MAPS
T1-02	EXISTING PROPERTY PHOTOGRAPHY
T1-03	NEIGHBORHOOD SETBACK PRECEDENTS
A1-01R	FLOOR PLANS
A2-01R	EXTERIOR ELEVATIONS

SITE LOCATION:



Site Location:
2055 W 44TH ST
PPN 007-02-002
PROPOSED LOT SPLIT



1 ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"

ARCHITECTURAL SITE PLAN IS GENERATED FROM OWNER-PROVIDED INFORMATION, SITE INSPECTION, AND CUYAHOGA COUNTY GIS INFORMATION. ALL DIMENSIONS AND RELATIONSHIPS ARE TO BE CONFIRMED IN THE FIELD BY A PROFESSIONAL ENGINEER UNDER THE SCOPE AND GUIDANCE OF THE SELECTED GENERAL CONTRACTOR PRIOR TO OR IN PREPARATION OF BUILDING ADDITION LAYOUT. CONFIRMATION OF THE DIMENSIONS SHOWN OR THEIR DISCREPANCIES SHALL BE PROVIDED IN WRITTEN FORMAT TO THE OWNER AND ARCHITECT AS A SUBMITTAL BEFORE PROCEEDING WITH THE WORK.



CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

TITLE/SITE

ISSUE: DATE: 04-09-2021

SHEET: **TO-00**

Cleveland, Ohio



POLARIS ENGINEERING & SURVEYING, INC.

34600 CHARDON ROAD
SUITE D
WILLOUGHBY HILLS, OH 44094
(440) 944-4433
(440) 944-3722 (Fax)
www.polaris-es.com

DATE: 2/18/21

SCALE: HOR. 1"=20'

FOLDER: Engineering

FILENAME: Site Plan Overall

TAB: 01-Site Plan Overall

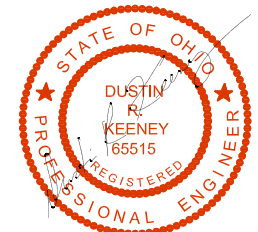
DRAWN: JNG

OVERALL SITE PLAN FOR:
2055 West 44th Street
CITY OF CLEVELAND - CUYAHOGA COUNTY - OHIO

PREPARED FOR:

B.R. Knez Construction Inc.
7555 Fredle Dr., Suite 210
Concord Twp., Ohio
PHONE: (440) 710-0711

SEAL



CONTRACT No.

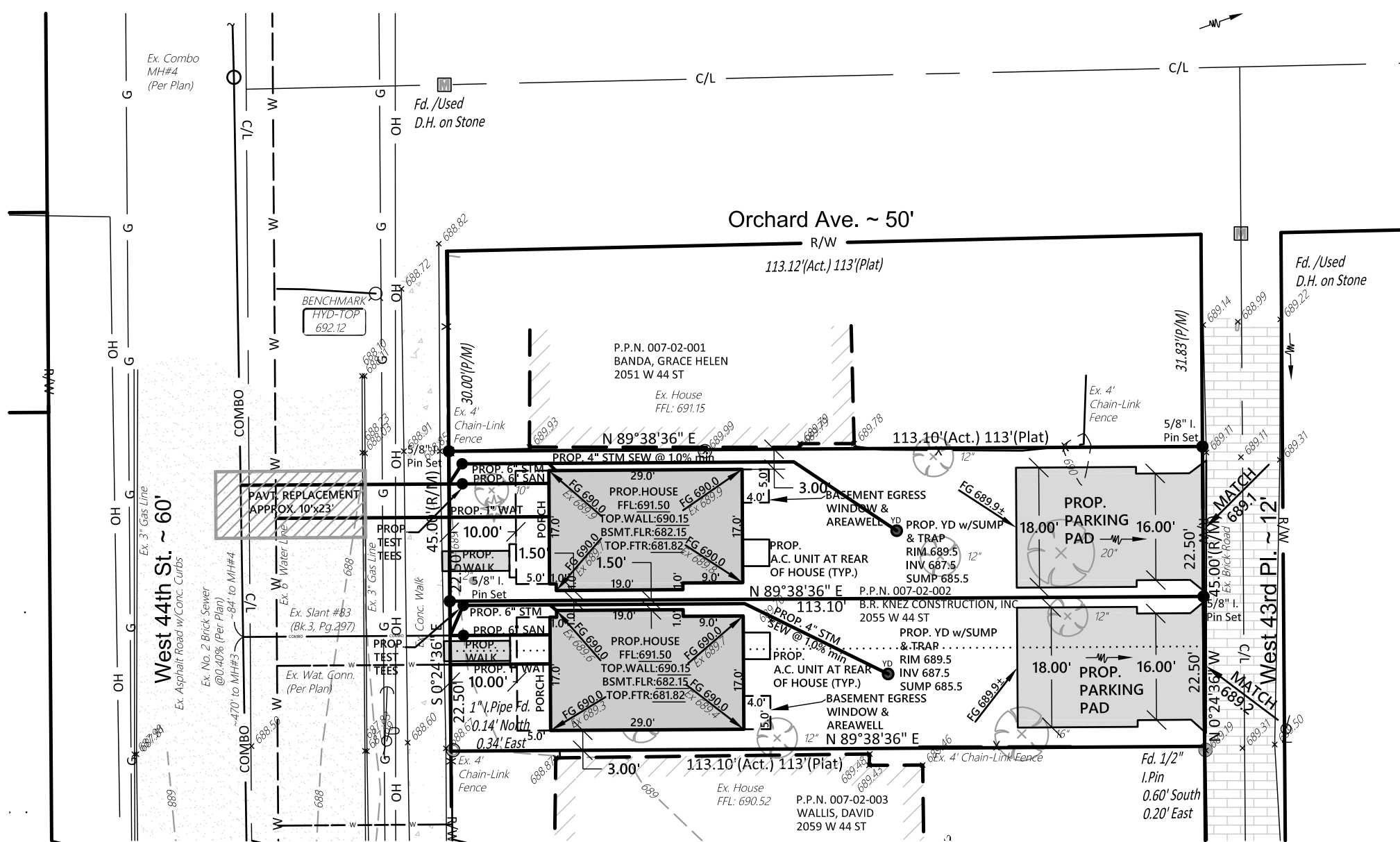
17295

SHEET OF

01 OF 01

Elevations Used To Establish House Floor Grades:
-Fin.Grade+(1'-6")=Frst.Flr.
-Frst.Flr.-(1'-4.25")=Top/Wall
-Top/Wall-(8'-4")=Top/Ftr.
-Top/Ftr.+(0'-4")=Bsmt.Flr.

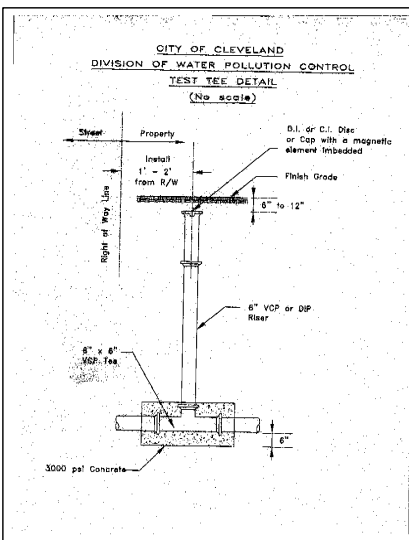
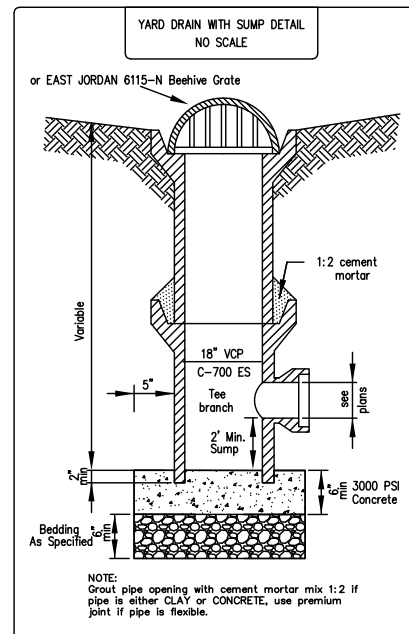
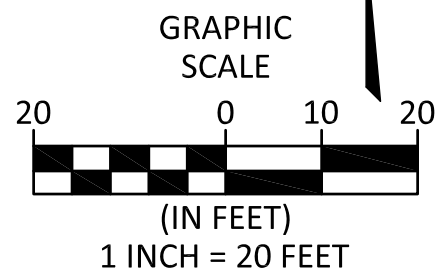
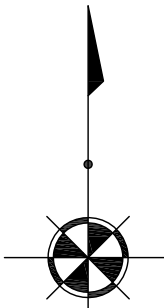
NOTE:
-CONTRACTOR TO VERIFY LOCATION OF EXISTING LATERALS. IF NONE LOCATED, NEW CONNECTION TO SEWER MAIN SHALL BE MADE.



811 O.U.P.S. REFERENCE A-734-500-934
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED. WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

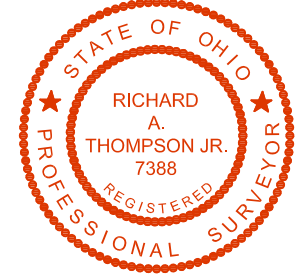
NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.



TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 18th DAY OF DECEMBER, 2017, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson Jr.
RICHARD A. THOMPSON, JR., P.S. #7388



Ex. Clean Out	Ex. Sanitary Manhole	Ex. Water Valve	Ex. Electrical Box	Ex. Tree	Ex. Monument Box
Ex. Catch Basin	Prop. Sanitary Manhole	Ex. Water Meter	Ex. Guy Wire	Ex. Pine Tree	Power Transformer
Prop. Catch Basin	Prop. Curb Inlet	Ex. Fire Hydrant	Ex. Power Pole	Ex. Bush	Sprinkler Control Box
Ex. Yard Drain	Ex. Curb Inlet	Prop. Hydrant	Ex. Light Power Pole	Ex. Mailbox	Sprinkler Head
Ex. Manhole	Ex. Gas Marker	Prop. WL Valve	Ex. Light Pole	Ex. Sign	Traffic Signal Pole
Ex. Storm Manhole	Ex. Gas Meter	Well	Ex. Telephone Box	Ex. Guard Post	Traffic Signal Box
Prop. Storm Manhole	Ex. Gas Valve	Test Bore			



W 44TH STREET - WEST SIDE SW



W 44TH STREET - WEST SIDE NW



W 44TH STREET - WEST SIDE



W 44TH STREET - WEST SIDE ACROSS FROM PROPOSED PROJECT



W 44TH STREET - WEST SIDE SOUTH



ORCHARD AVE - NORTH SIDE ACROSS FROM PROPOSED PROJECT



ORCHARD AVE - NORTH SIDE ACROSS FROM PROPOSED PROJECT



W 44TH STREET - WEST SIDE NW

NEIGHBORHOOD CONTEXT PHOTOGRAPHY

SEAL:



James Greydon Petznick
OH License # 1416104
03.14.2021
EXP: 12.31.2021

100% CDs
02.22.2021
100% CDs with Revisions
03.15.2021
Planning Review
04.09.2021

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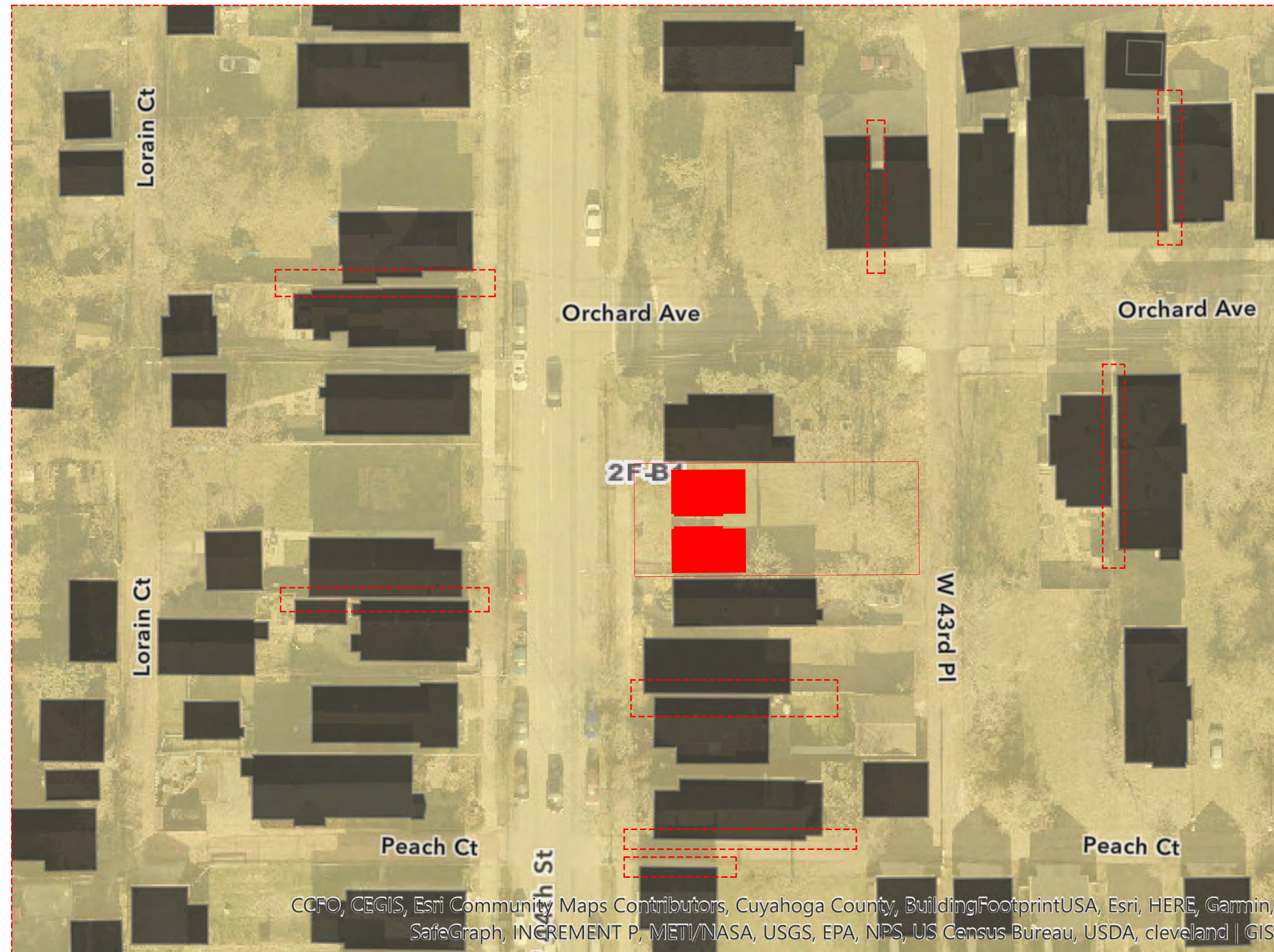
Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

Cleveland, Ohio

TITLE:
CONTEXT

ISSUE: _____ DATE: 04-09-2021

SHEET:
T1-00

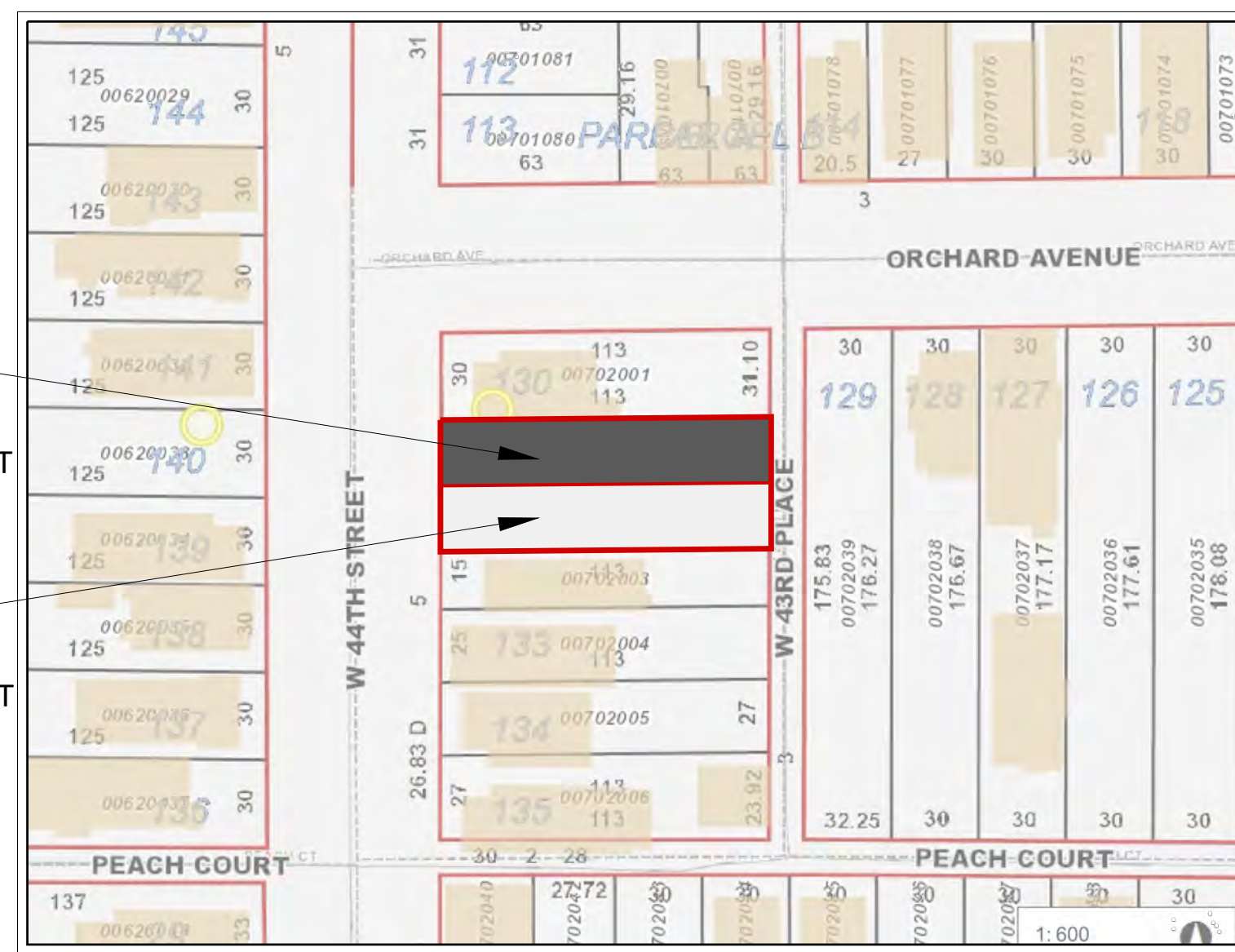


NEIGHBORHOOD DENSITY AND EXISTING SETBACKS

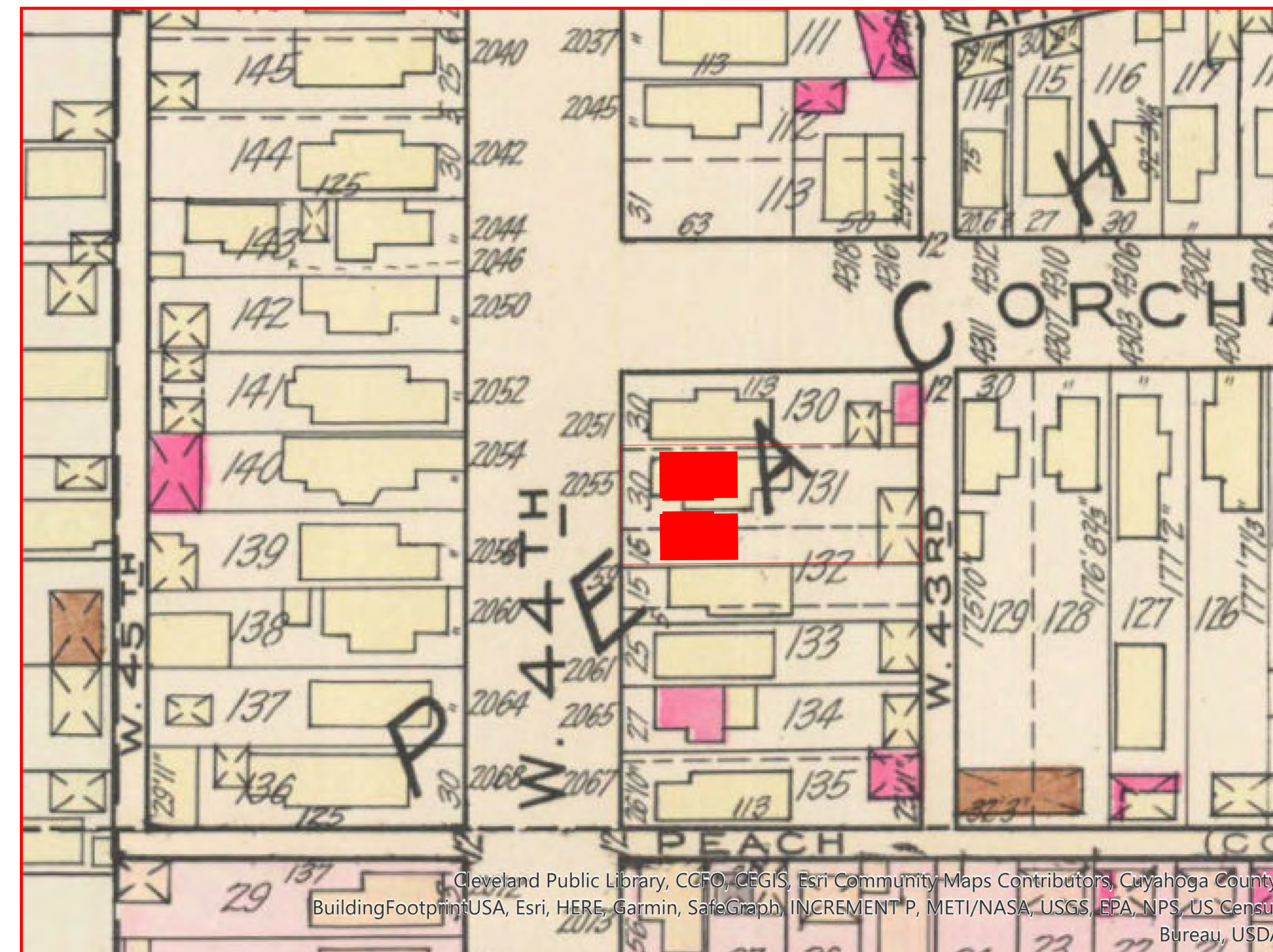
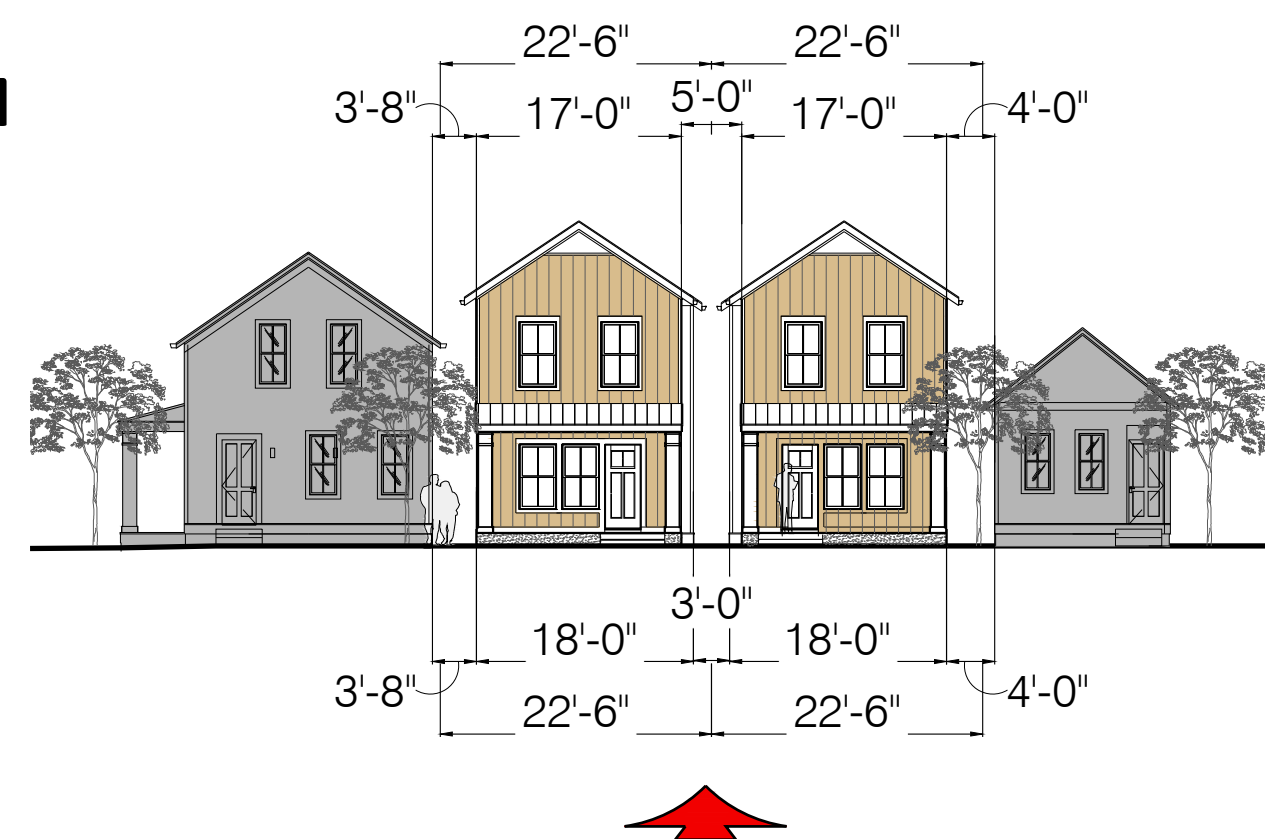


NEIGHBORHOOD AERIAL

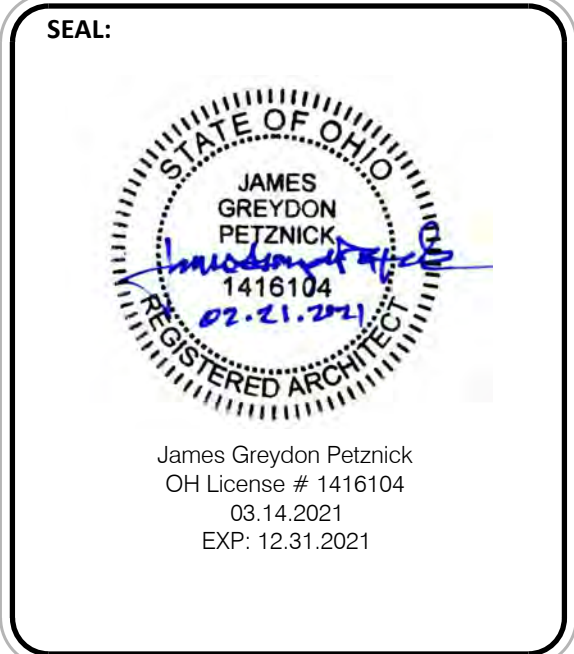
SITE LOCATION:



STREETSIDE DIAGRAM



NEIGHBORHOOD HISTORIC



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100% CDs with Revisions	03.15.2021
Planning Review	04.09.2021

CLEVELAND
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Single Family Residence
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CONTEXT MAPS

ISSUE: _____ DATE: 04-09-2021

SHEET:
T1-01



W 44TH STREET FACING SOUTH (SITE FROM SIDEWALK)



W 44TH STREET FACING EAST (SITE FROM ACROSS W44TH)



W 44TH STREET - FACING SOUTHEAST- FROM W 44TH



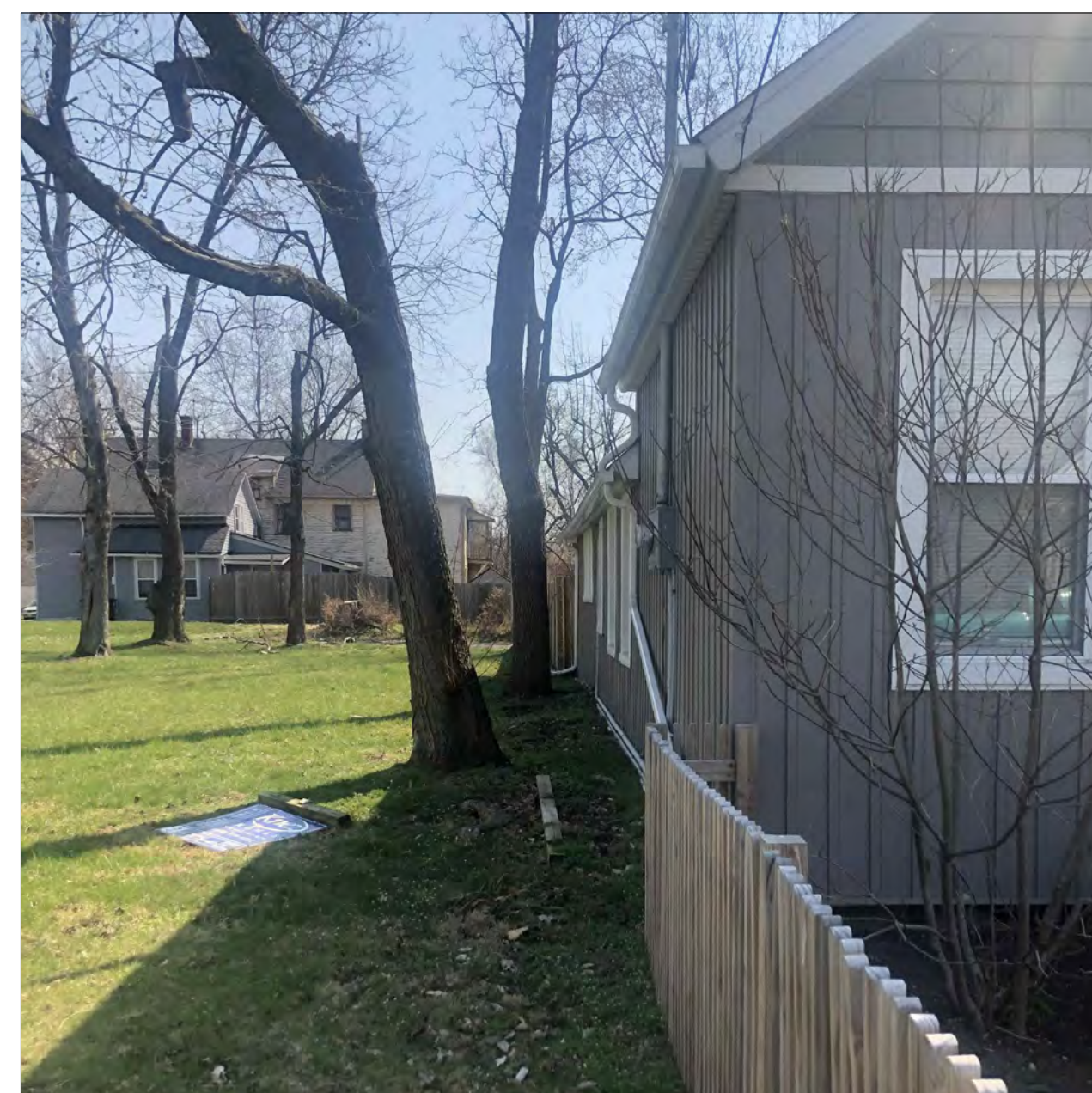
SOUTHERN PROPERTY LINE FROM ALLEY FACING WEST (SOUTH NEIGHBOR'S SETBACK)



WEST PROPERTY LINE FROM W 44TH STREET



EAST PROPERTY LINE (ALLEY) FROM NORTH NEIGHBOR PROPERTY LINE



PROPERTY'S SOUTH NEIGHBOR - EXISTING SETBACK



PROPERTY'S NORTH NEIGHBOR - EXISTING SETBACK

PROPERTY BOUNDARIES AND NEIGHBORS

SEAL:



James Greydon Petznick
OH License # 1416104
03.14.2021
EXP: 12.31.2021

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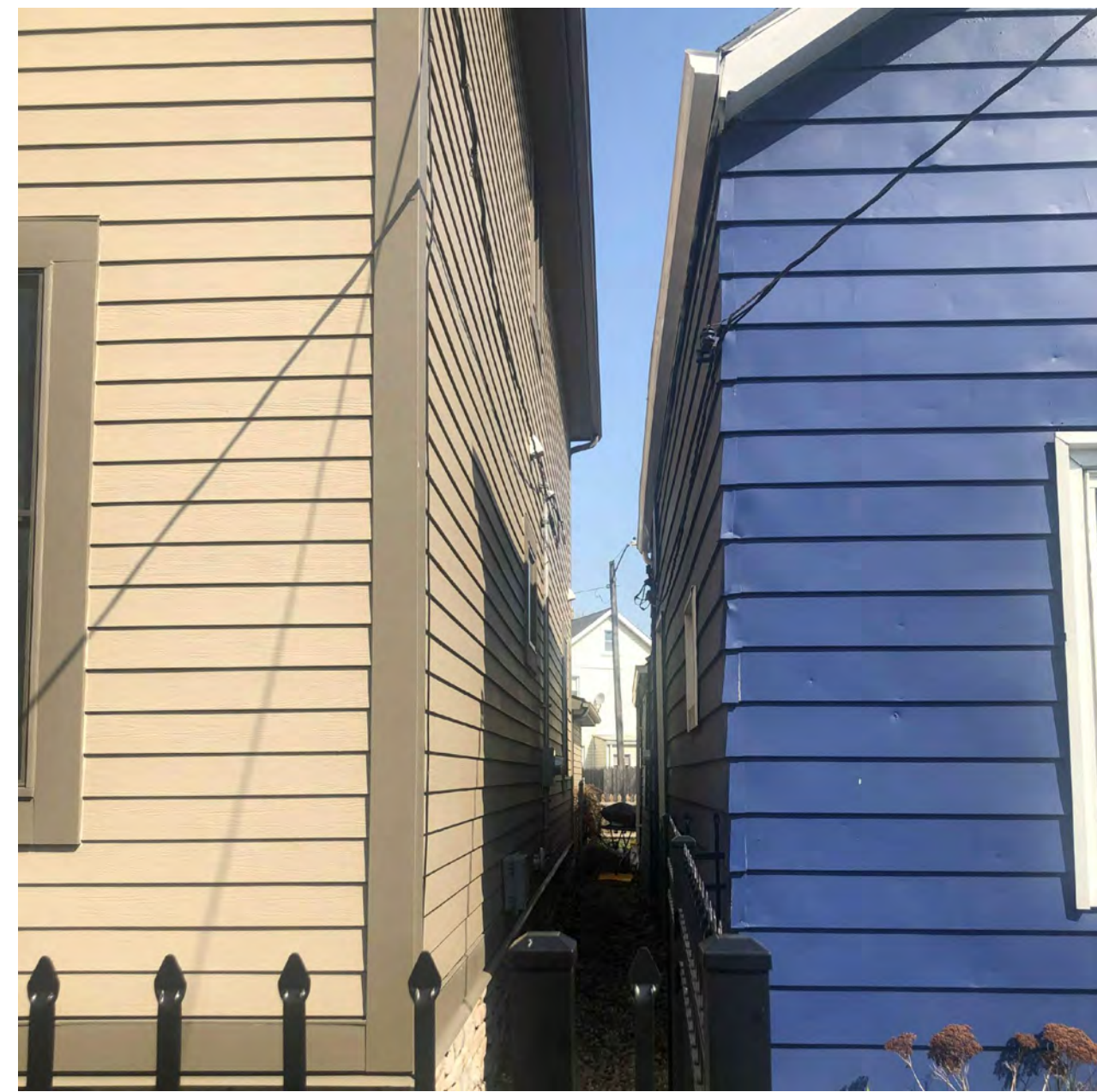
Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

Cleveland, Ohio

TITLE:
PROPERTY

ISSUE: _____ DATE: 04-09-2021

SHEET:
T1-02



W 44TH STREET - WEST SIDE SW LESS THAN 3' CLEAR



W 44TH STREET - WEST SIDE LESS THAN 3' CLEAR



W 44TH STREET - WEST SIDE LESS THAN 3' CLEAR



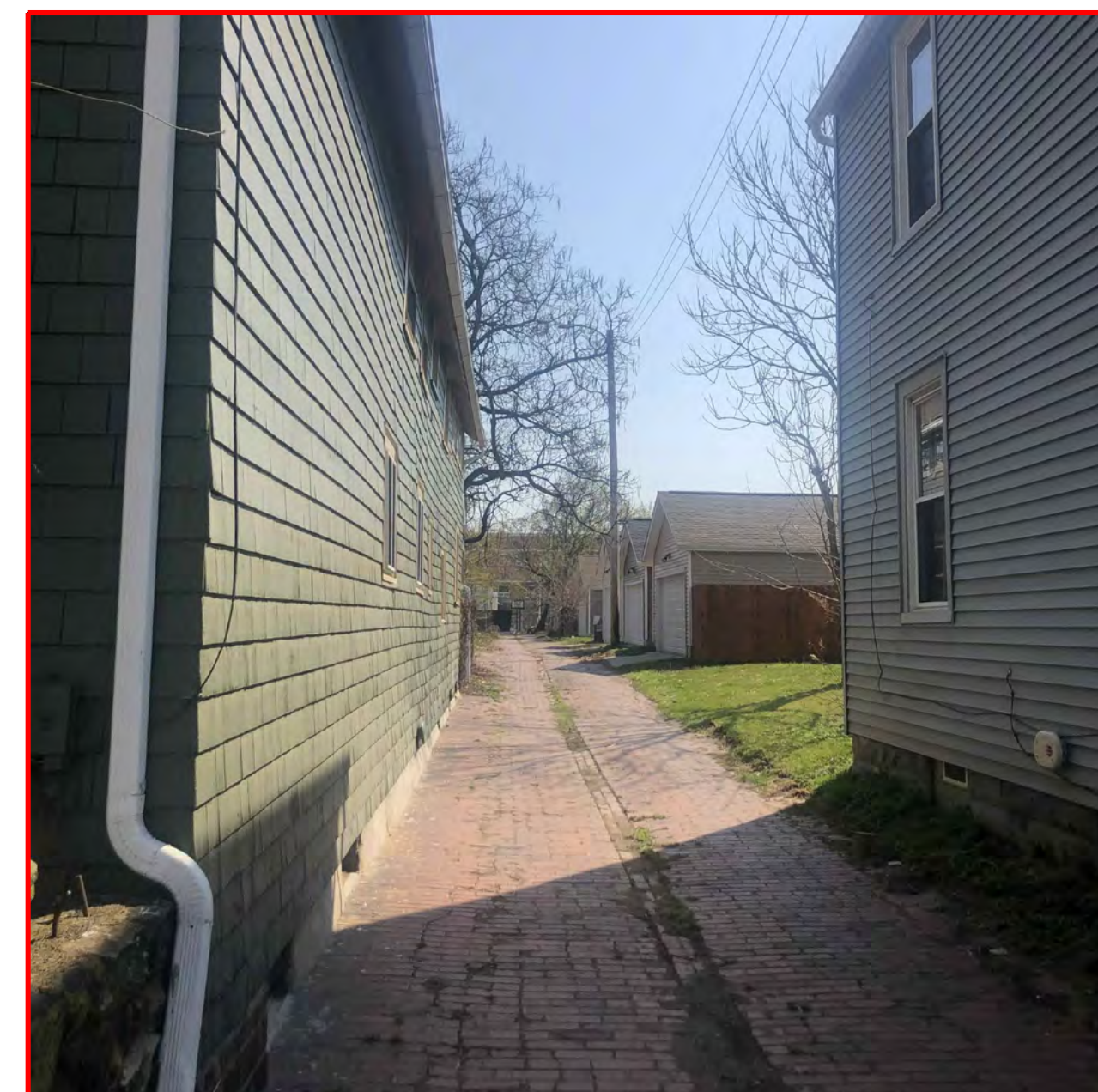
ORCHARD AVE AT W 44TH- JOINED



ORCHARD AVE AT W 44TH



ORCHARD AVE - ACROSS FROM PROPOSED PROJECT



W 44TH AT PEACH - ZERO SETBACK



W 44TH ST



W 44TH ST

NEIGHBORHOOD EXISTING SETBACK PHOTOGRAPHY

SEAL:

JAMES GREYDON PETZNIK
1416104
REGISTERED ARCHITECT
James Greydon Petznick
OH License # 1416104
03.14.2021
EXP: 12.31.2021

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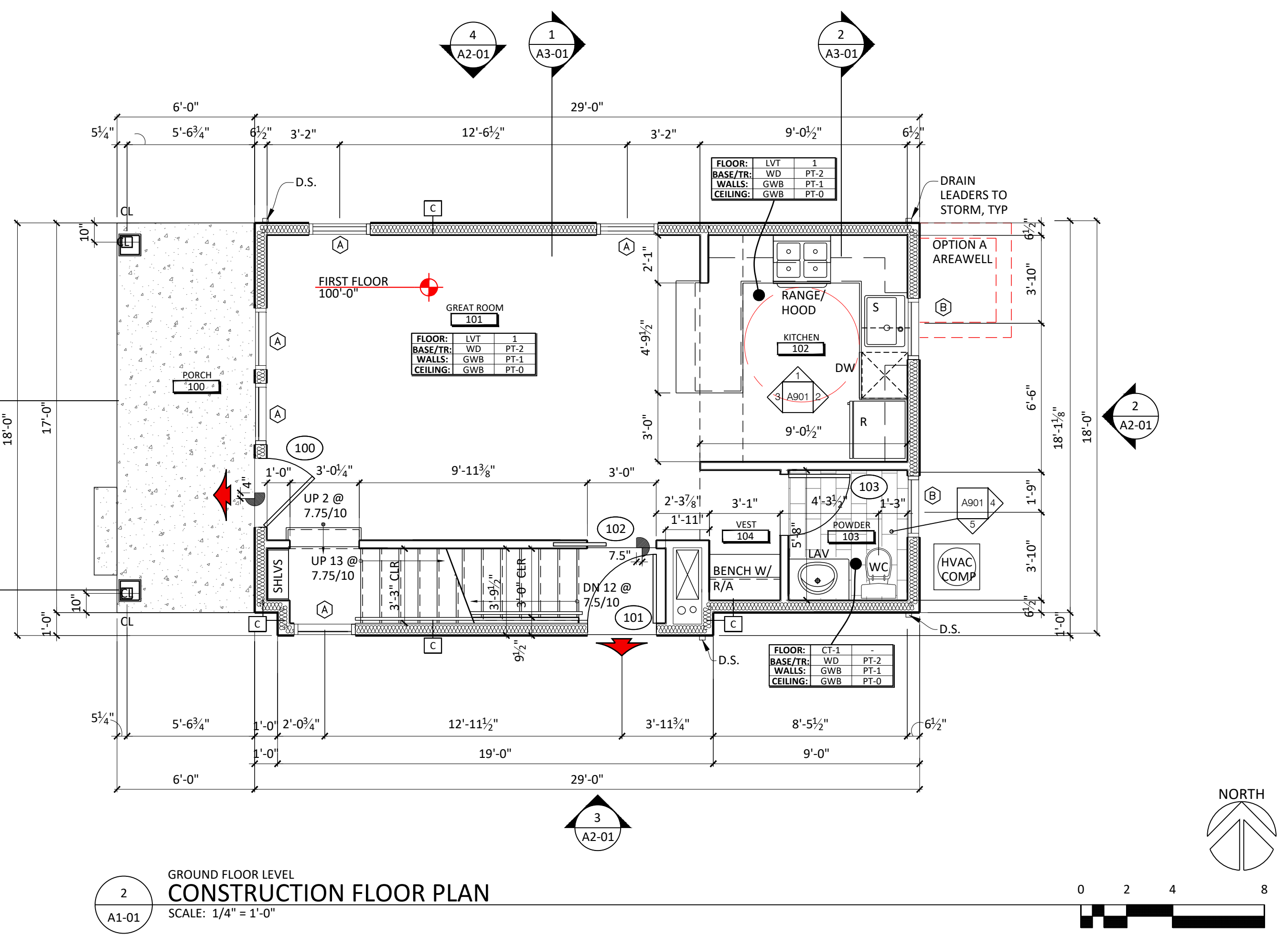
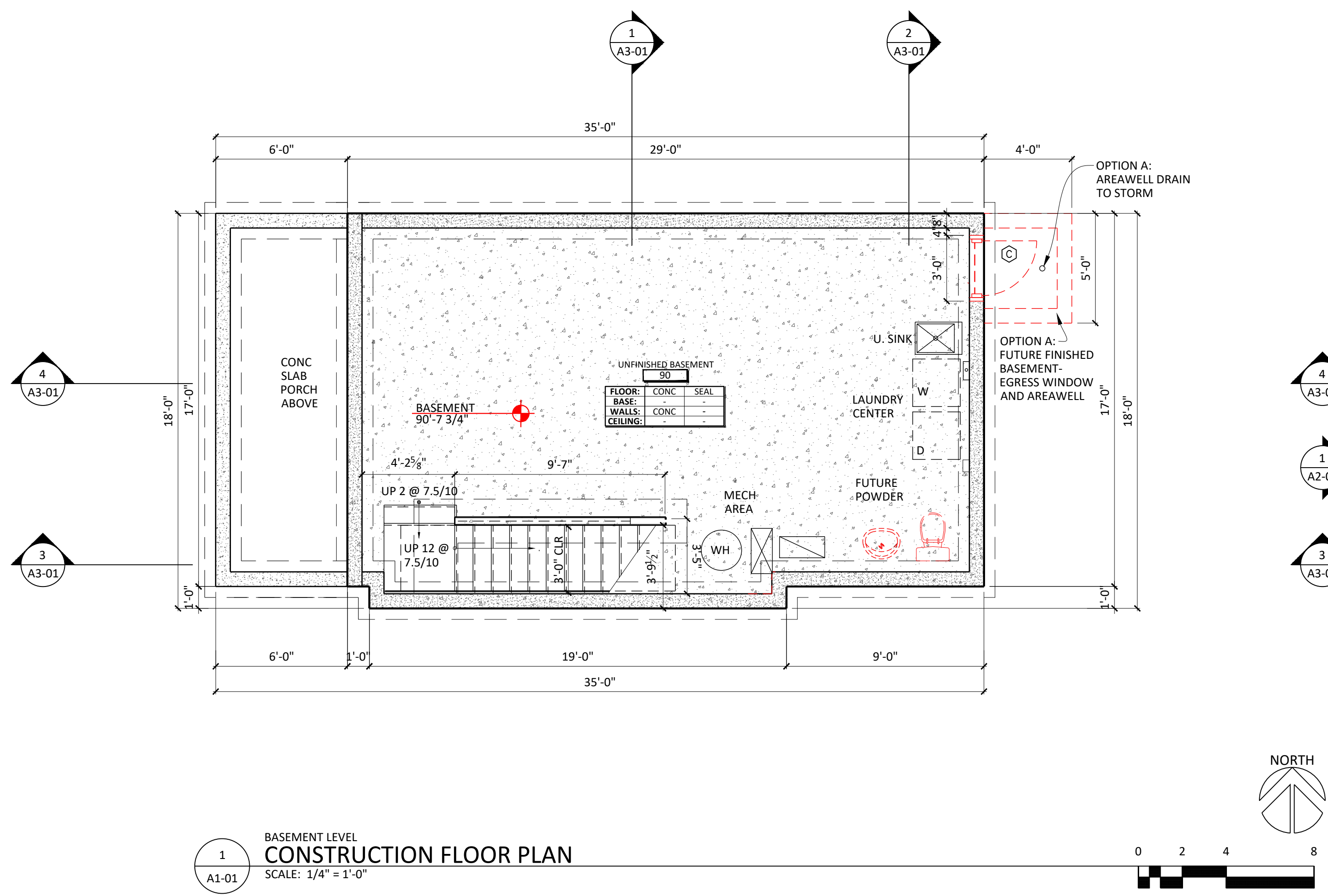
Single Family Residence
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Cleveland, Ohio

Cleveland, Ohio

TITLE:
EXISTING SETBACKS

ISSUE: _____ DATE: 04-09-2021

SHEET:
T1-03

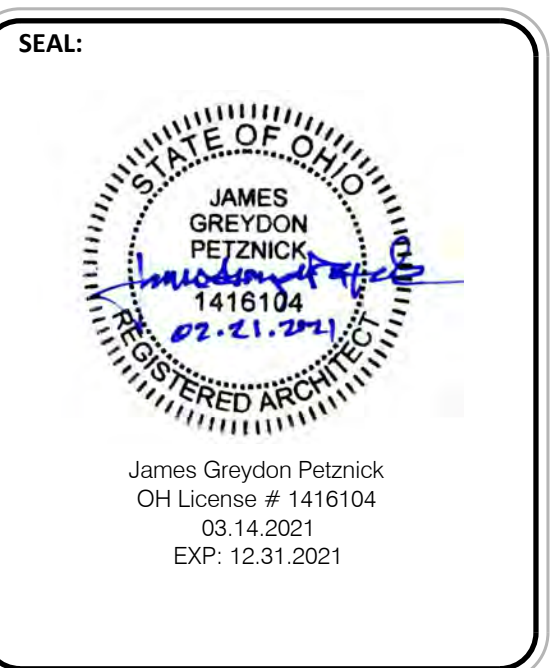
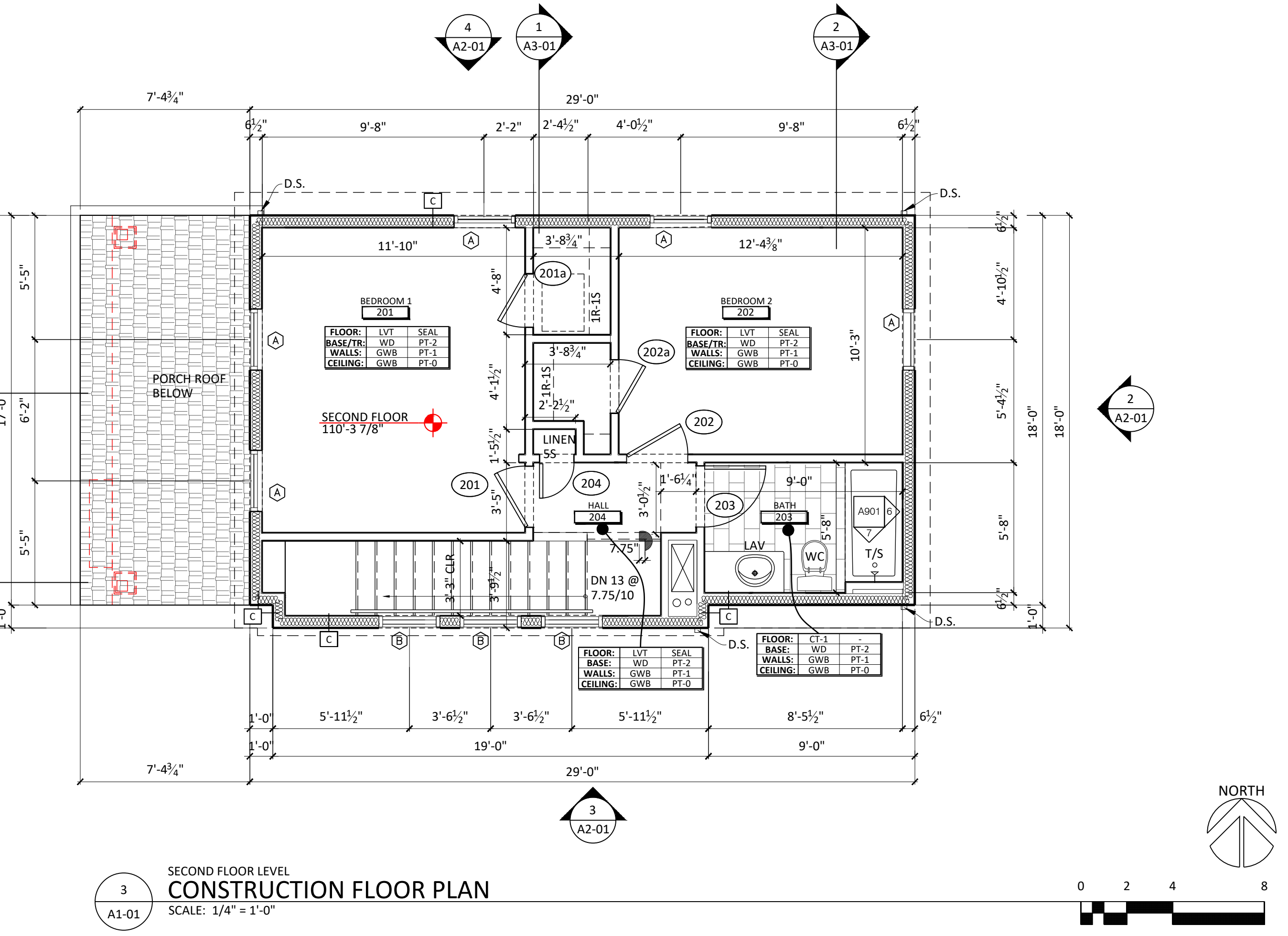


FINISH GENERAL NOTES

- ALL OPEN CEILING AREAS ARE TO BE PAINTED PT-0, TYP.
- ALL FINISHES ARE TO BE SELECTED BELOW BY OWNER WITH ARCHITECTURAL APPROVAL. BASIS OF DESIGN CRITERIA IS LISTED BELOW. ANY PROPOSED SUBSTITUTIONS ARE TO BE SUBMITTED WITH ARCH. PROVIDED SUBSTITUTION FORM AND WILL BE EVALUATED BY OWNER & ARCHITECT. ALL FINISHES ARE TO BE INSTALLED PER MFR.'S WRITTEN INSTRUCTIONS AND ALL SUBSTRATES ARE TO BE CLEANED & PREPARED AS REQUIRED. ALL CLOSETS ARE TO BE FINISHED SIMILARLY TO THE ROOM THEY ARE LOCATED.
- FINISH DESIGNATION TAG IS AS FOLLOWS:
- | FLOOR: | WD | ST | SEAL |
|----------|--------|----|------|
| BASE: | WD | ST | PT |
| WALLS: | GYP BD | PT | |
| CEILING: | GYP BD | PT | |
- COLUMN 1: ROOM COMPONENT
COLUMN 2: MATERIAL INFO
COLUMN 3: FINISH INFO
- CONC** - MACHINE TROWELED CONCRETE
 - MFR.: DESIGN MIX PER STRUCTURAL
 - STYLE: MACHINE TROWELED- OPTIONAL FLOAT
 - SIZE: - N/A
 - COLOR/FINISH: - SEALED. FINISH OPTIONS PER OWNER
 - NOTE: VERIFY UPGRADE FINISHING WITH OWNER
 - WD** - PAINTED WOOD BASE/TRIM
 - MFR.: -
 - STYLE: FLAT STOCK, EASED EDGE PINE/MDF
 - SIZE: 1/2" x 3 1/2"
 - COLOR/FINISH: - PAINTED
 - NOTE: INSTALLED PER MFR.'S RECOMMENDATIONS
 - LVT** - LUXURY VINYL TILE
 - MFR.: -
 - STYLE: -
 - SIZE: -
 - COLOR/FINISH: -
 - NOTE: INSTALLED PER MFR.'S RECOMMENDATIONS
 - CPT** - CARPET
 - MFR.: -
 - STYLE: -
 - SIZE: -
 - COLOR/FINISH: -
 - NOTE: INSTALLED PER MFR.'S RECOMMENDATIONS
 - CT-1** - CERAMIC TILE
 - MFR.: TBD
 - STYLE: TBD
 - SIZE: - N/A
 - COLOR/FINISH: - FINISH OPTIONS PER OWNER
 - NOTE: VERIFY UPGRADE FINISHING WITH OWNER
 - PT-0** - PAINT (CEILING WITHIN RESIDENTIAL UNITS)
 - MFR.: SHERWIN WILLIAMS
 - COLOR/FINISH: TO BE SELECTED BY OWNER
 - NOTE: INSTALLED PER MFR.'S RECOMMENDATIONS
 - PT-1** - PAINT (WALL FIELD WITHIN RESIDENTIAL UNITS)
 - MFR.: SHERWIN WILLIAMS
 - COLOR/FINISH: TO BE SELECTED BY OWNER
 - NOTE: INSTALLED PER MFR.'S RECOMMENDATIONS
 - PT-2** - PAINT (TRIM WITHIN RESIDENTIAL UNITS)
 - MFR.: SHERWIN WILLIAMS
 - COLOR/FINISH: TO BE SELECTED BY OWNER
 - NOTE: INSTALLED PER MFR.'S RECOMMENDATIONS
 - PT-X** - PAINT (ADDITIONAL WALL AND ACCENT COLORS)
 - MFR.: SHERWIN WILLIAMS
 - COLOR/FINISH: TO BE SELECTED BY OWNER
 - NOTE: INSTALLED PER MFR.'S RECOMMENDATIONS

CONSTRUCTION GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF CONCRETE OR EXTERIOR SHEATHING & ALL INTERIOR DIMENSIONS ARE FROM FACE OF G.W.B. FACE OF EXTERIOR SHEATHING ALIGNS TO FOUNDATION.
- REGARDING TYPICAL INTERIOR WALL CONSTRUCTION:
 - TYPICAL INTERIOR WALL AS NOTED
 - TYPICAL INTERIOR WALL WITH SOUND BATT OR THERMAL INSULATION
 - TYPICAL INTERIOR PARTIAL HEIGHT WALL
 - REFER TO DOOR SCHEDULE FOR ALL DOOR TAGS.
 - ALL DOORS TO BE LOCATED 3" FROM THE NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).
 - ALL WINDOW ROUGH OPENINGS TO BE FIELD VERIFIED PRIOR TO PRICING & FABRICATION. ALSO REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFO.
 - REFER TO SHEET A4-00 FOR EXTERIOR FINISH LEGEND & ADDITIONAL INFORMATION.
 - ALL RECEPTACLES AND TELEPHONE OUTLETS SHALL NOT BE MOUNTED BACK TO BACK. ALL OUTLETS SHOWN GROUPED TOGETHER SHALL NOT BE MORE THAN 5" APART AND SHALL BE SPACED EQUALLY. ALL SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISHED FLOOR AND ALL ELECTRICAL RECEPTACLES SHALL BE 1'-6" AFF UNLESS NOTED OTHERWISE. ALL COVER PLATE MATERIAL/FINISH TO BE COORDINATED WITH ARCHITECT U.N.O. WHERE MULTIPLE WALL SWITCHES OCCUR, SWITCHES ARE TO BE GANGED AND COVERED WITH A SINGLE CONTINUOUS COVER PLATE. COVER PLATED SHALL NOT BE CUT AND BUTTED TOGETHER.
 - ALL INTERIOR WALLS ARE TYPE "A" UNLESS NOTED OTHERWISE TO BE CONSTRUCTED OF NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EACH SIDE. (4-1/2" WIDTH)
 - USE MOISTURE RESISTANT GYP. BOARD AT ALL POTENTIAL WET LOCATIONS.
 - USE CEMENT BACKER BOARD AT ALL LOCATIONS SCHEDULED TO RECEIVE TILE FINISH. TYPICAL UNLESS OTHERWISE NOTED.
 - TYPE "A2": CHASE WALL-NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EXPOSED SIDE. (4" WIDTH)
 - TYPE "A3": CONCRETE FURROUT-FLAT 2X4 STUD ON VAPOR BARRIER OVER CMU WITH 1" GYP. BOARD ON EXPOSED SIDE. (2" WIDTH)
 - ALL EXTERIOR WALL CONSTRUCTION IS TYPE "B" UNLESS OTHERWISE NOTED AND TO BE 1/2" EXTERIOR RATED WOOD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) & WEATHER BARRIER OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. ALL WALL COMPONENTS TO BE AS FOLLOWS:
 - EXTERIOR CLADDING: REFER TO ELEVATIONS
 - WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF SHEATHING
 - CAVITY INSULATION: KRAFT FACED FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD SPACING
 - VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.
 - ONE HOUR FIRE RATED EXTERIOR WALL CONSTRUCTION IS TYPE "C" AS KEYNOTED AND TO BE 5/8" DENSGLASS FIREGUARD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. PROVIDE 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD ON INTERIOR FACE OF STUD PER UL ASSEMBLY #U305. REFERENCE APPLICABLE WALL SECTIONS. ALL WALL COMPONENTS TO BE AS FOLLOWS:
 - EXTERIOR CLADDING: REFER TO ELEVATIONS
 - WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF DENSGLASS SHEATHING
 - CAVITY INSULATION: KRAFT FACED FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD SPACING
 - VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.



DATE	DESCRIPTION
02.22.2021	100% CDs
03.15.2021	100% CDs with Revisions
04.09.2021	Planning Review

CLEVELAND
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ARCHITECTURE WORKSHOP

Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

TITLE: CONSTRUCTION FLOOR PLAN
ISSUE: _____ DATE: 04-09-2021
SHEET: **A1-01**

Cleveland, Ohio

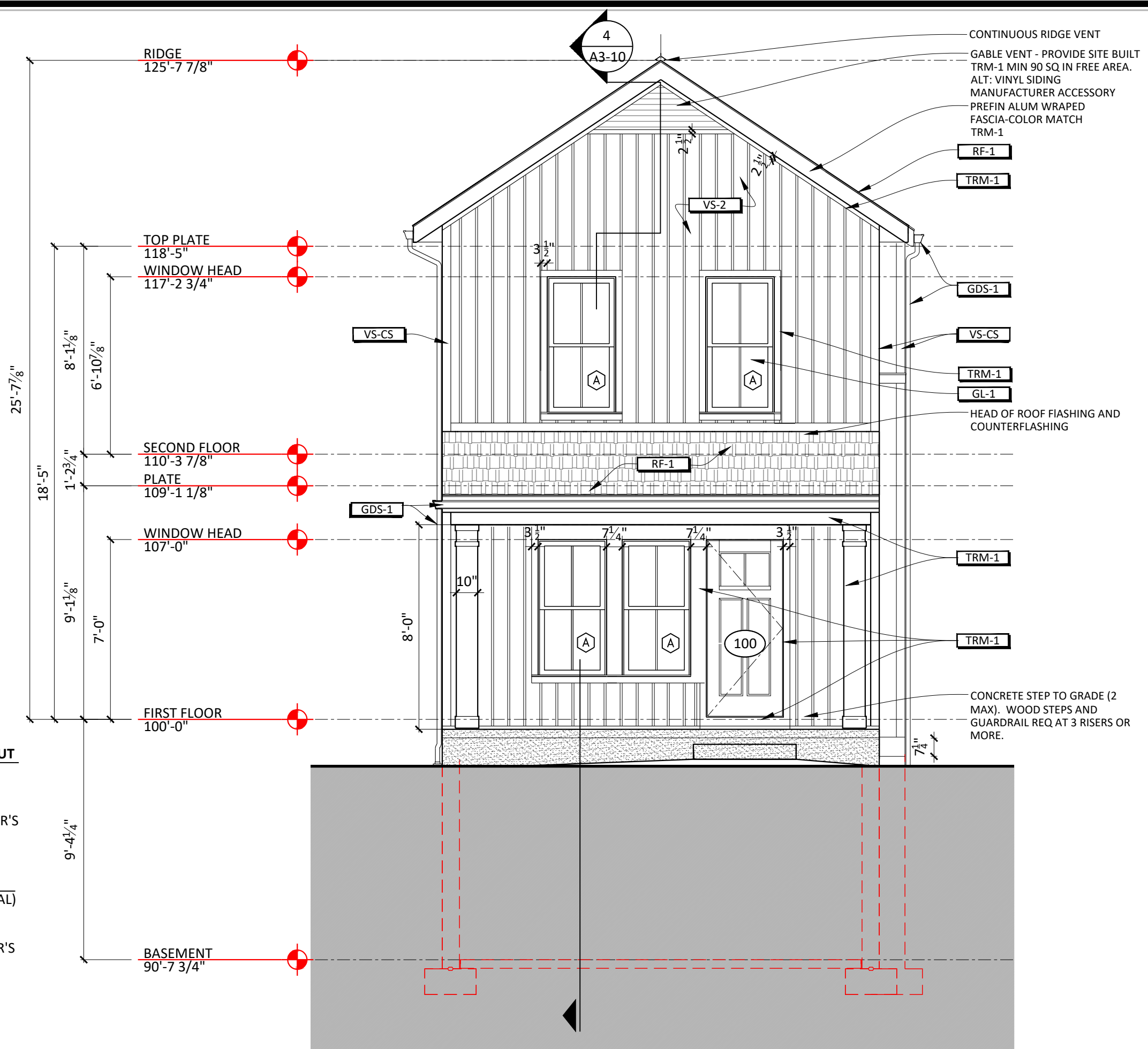
CONSTRUCTION GENERAL NOTES

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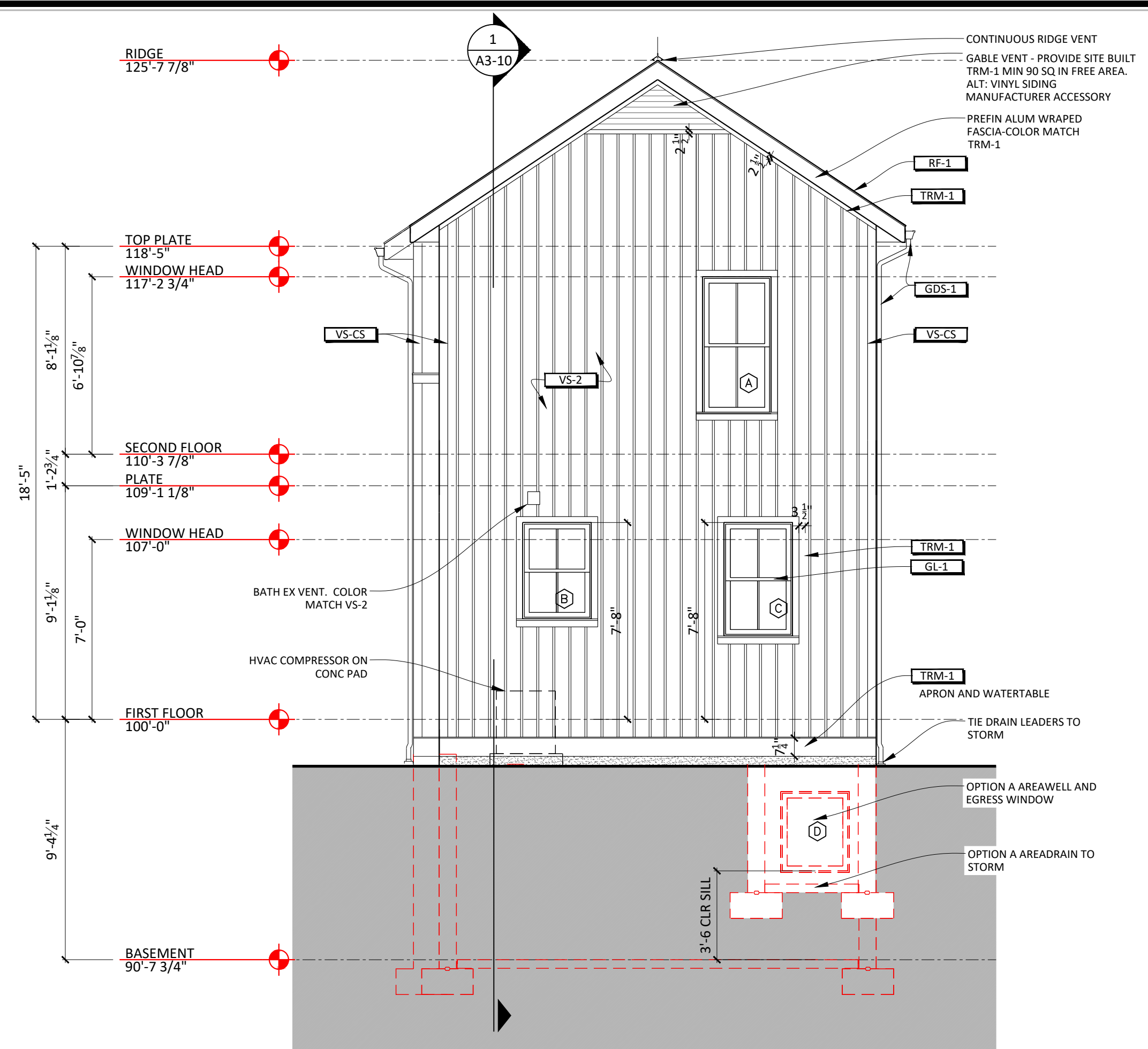
- REFER TO DOOR SCHEDULE FOR ALL DOOR TAGS.
- ALL DOORS TO BE LOCATED 3" FROM THE NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).
- ALL WINDOW ROUGH OPENINGS TO BE FIELD VERIFIED PRIOR TO PRICING & FABRICATION. ALSO REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFO.
- REFER TO SHEET A4-00 FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR WALL CONSTRUCTION IS TYPE "B" UNLESS OTHERWISE NOTED AND TO BE 1/2" EXTERIOR RATED WOOD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) & WEATHER BARRIER OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. ALL WALL COMPONENTS TO BE AS FOLLOWS:
 - EXTERIOR CLADDING: REFER TO ELEVATIONS
 - WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF SHEATHING
 - CAVITY INSULATION: FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD SPACING
 - VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.

EXTERIOR FINISH LEGEND

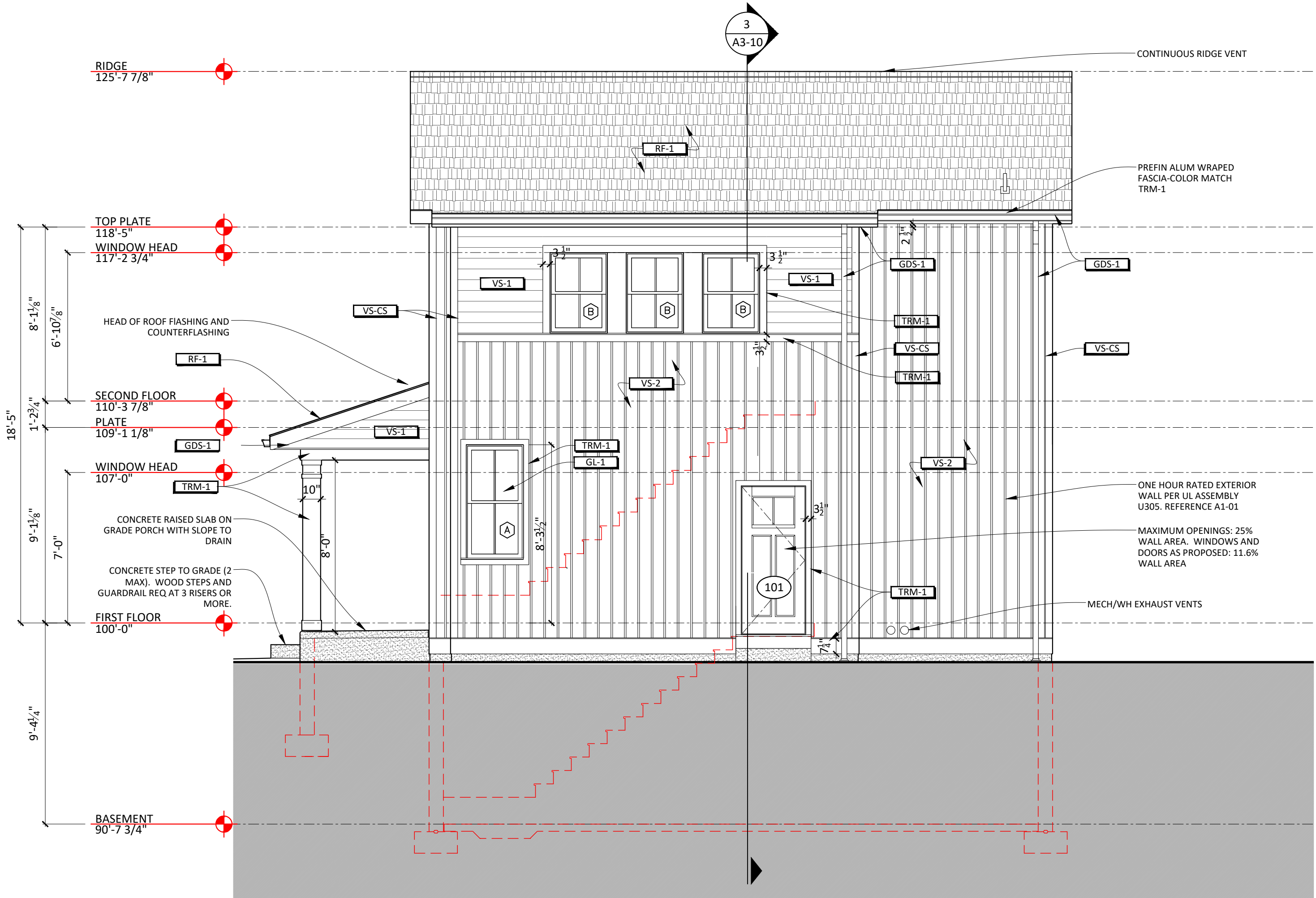
- | | |
|---|---|
| <p>RF-1 - DIMENSIONAL ASPHALT SHINGLE
-MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL)
-STYLE: T&B
-COLOR: TBD
-NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.</p> | <p>TRM-1 - CELLULAR PVC TRIM BOARDS
-MFR.: AZEK (OR APPROVED EQUAL)
-STYLE: TRADITIONAL TRIM, SMOOTH FINISH
-COLOR: TO BE SELECTED BY OWNER
-NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED</p> |
| <p>VS-1 - VINYL SIDING-CLAPBOARD
-MFR.: CERTAINTED (OR APPROVED EQUAL)
-STYLE: MONOGRAM DOUBLE 5" CLAPBOARD.
-COLOR: WHITE
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> | <p>GDS-1 - PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT
-MFR.: (AS APPROVED BY OWNER)
-STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT
-COLOR: WHITE
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> |
| <p>VS-2 - VINYL SIDING-BOARD AND BATTEN
-MFR.: CERTAINTED (OR APPROVED EQUAL)
-STYLE: SINGLE 8" VERTICAL BOARD AND BATTEN
-COLOR: WHITE
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> | <p>WD-1 - COMPOSITE WOOD DECKING
-MFR.: TREX, MOISTURE SHIELD (OR APPROVED EQUAL)
-STYLE: T.B.D.
-COLOR: T.B.D.
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> |
| <p>VS-CS - VINYL SIDING CORNER BOARD
-MFR.: CERTAINTED (OR APPROVED EQUAL)
-STYLE: 1-1/4" TRADITIONAL SUPERCORNER
-COLOR: WHITE
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> | |



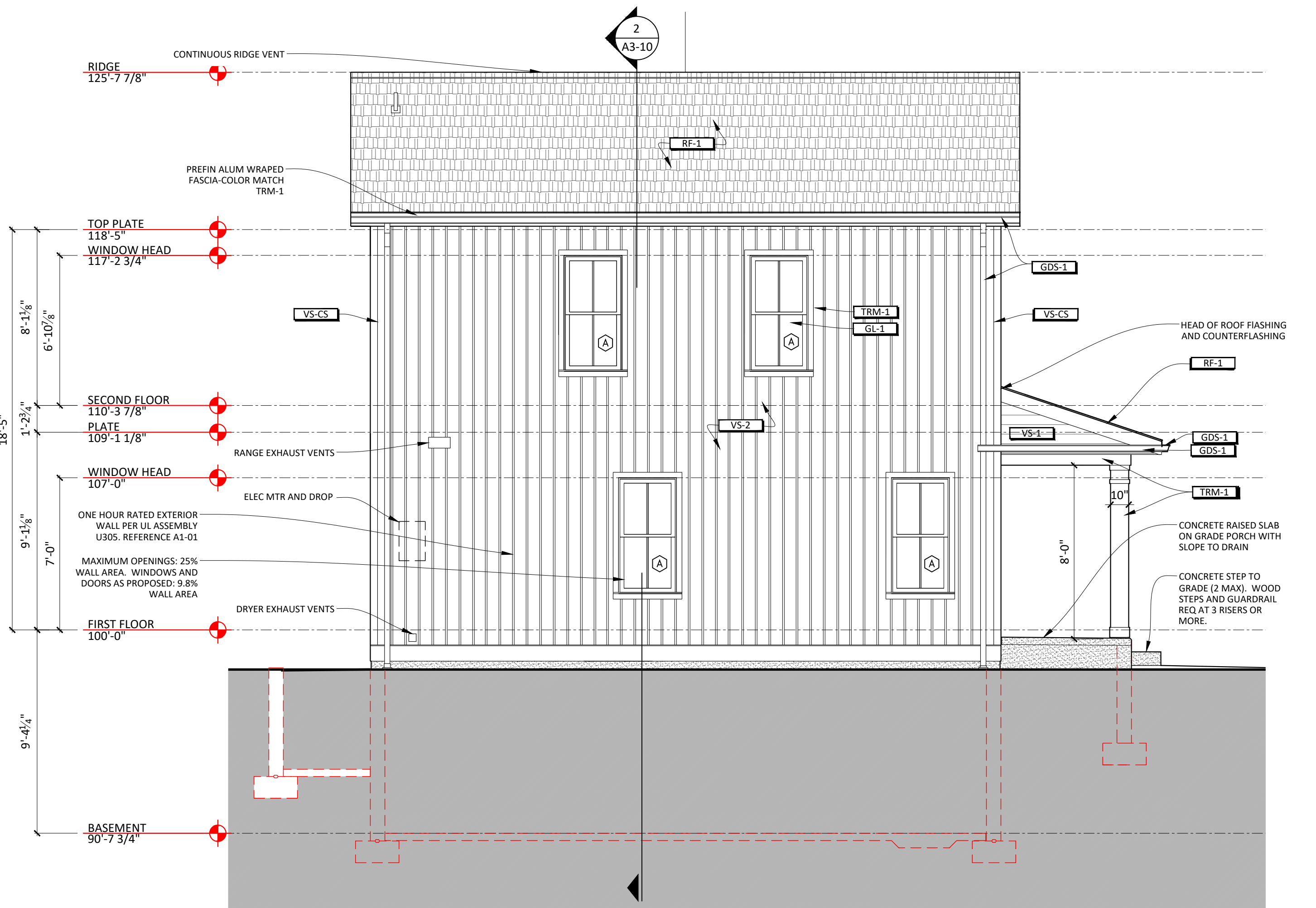
1 EXTERIOR ELEVATION FRONT FAÇADE
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION REAR FAÇADE
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION RIGHT FAÇADE
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION LEFT FAÇADE
SCALE: 1/4" = 1'-0"

SEAL:

James Greydon Petznick
OH License # 1416104
03.14.2021
EXP: 12.31.2021

100% CDs	02.22.2021	03.15.2021	04.09.2021
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Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

TITLE: EXTERIOR ELEVATIONS

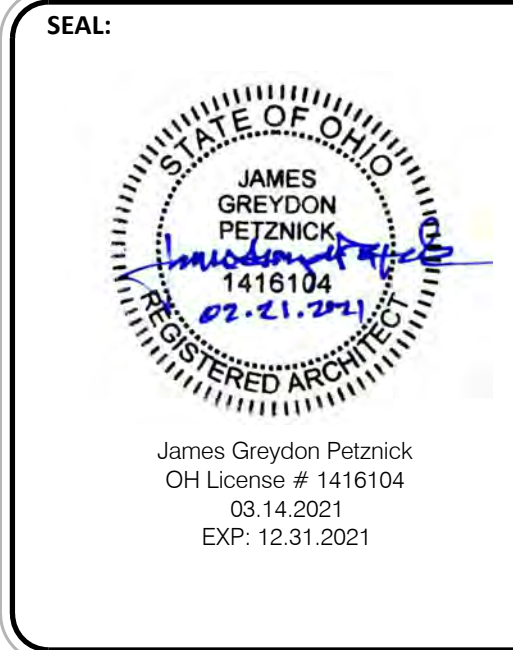
ISSUE: _____ DATE: 04-09-2021

SHEET: **A2-01**

Cleveland, Ohio

Issued for Planning Review

A NEW SMALL FOOTPRINT PROTOTYPE HOUSING UNIT FOR CITY INFILL LOTS, TYPE SV215R



PREPARED FOR:
OWNER:

OHIO CITY INCORPORATED
2525 MARKET STREET
CLEVELAND, OHIO 44113
T: 216.781.3222

BEN TRIMBLE:
BTRIMBLE@OHIOCITY.ORG
DONNA GRIGONES BAILEY:
DGRIGONES@OHIOCITY.ORG

PREPARED BY:
ARCHITECT:

CLEVELAND DRAW
3342 AVALON ROAD
SHAKER HEIGHTS, OHIO 44120
T: 216.548.5335

GREYDON PETZNIK, RA
GREYDON@CLEVELANDDRAW.COM
MATT PLECNIK, RA
MATT@CLEVELANDDRAW.COM

STRUCTURAL ENGINEER:

MAKARCH STRUCTURAL ENGINEERING, LLC
P.O. BOX 1389
WILLOUGHBY, OHIO 44096
T: 440.283.7252

GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
 - THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
 - ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
 - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS, PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FORM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
 - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL

- OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. A SUBSTANTIAL COMPLETION CERTIFICATE WILL BE EXECUTED AND DISTRIBUTED BY THE ARCHITECT.
- REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA), LATEST EDITION.
- ALL CONTRACTORS ENGAGED BY THE G.C. SHALL BE BONDABLE, LICENSED CONTRACTORS, HAVING GOOD LABOR RELATIONS, CAPABLE OF PERFORMING QUALITY WORKMANSHIP AND CAPABLE OF WORKING IN HARMONY WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS.
- PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE. ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE OWNER AND/OR AS REQUIRED BY LOCAL & STATE AGENCIES.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MODIFIED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED WITHIN THESE DRAWINGS.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS. EACH SUBCONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE CONTRACTED WORK, INCLUDING RIGGING OF MATERIALS AND EQUIPMENT, ALL HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, AND/ OR SLEEVES.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ECT.) MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.
- THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS - UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST AND RESIDUE AND DEBRIS. DELIVER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.
- ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. STANDARDS.

- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ECT. (WHICH IN THE GENERAL CONTRACTOR'S OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY. AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECTS REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL LAYOUT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.

SYMBOL LEGEND:

	EARTH		NAME OR ROOM		ROOM NAME & ROOM NUMBER
	POROUS FILL		DOOR TYPE DESIGNATION		WALL TYPE DESIGNATION
	CONCRETE		FINISH DESIGNATION		FIXTURE TYPE DESIGNATION
	CONCRETE / MASONRY		KEY NOTE DESIGNATION		PROPOSED NEW COLUMN LINE
	BRICK / MASONRY		EXISTING COLUMN LINE		INTERIOR ELEVATION TAG
	GYP SUM WALLBOARD		SHEET DESIGNATION		ELEVATION DESIGNATION
	RIGID INSULATION		EXTERIOR ELEVATION TAG		SECTION TAG
	BATT INSULATION		SECTION DESIGNATION		INTERIOR ELEVATION TAG
	WOOD: SOLID SECTION		SHEET DESIGNATION		ELEVATION DESIGNATION
	WOOD: BLOCKING		EXTERIOR ELEVATION TAG		SECTION DESIGNATION
	WOOD: BLOCKING (CUT)		SECTION DESIGNATION		INTERIOR ELEVATION TAG
	WOOD: PLYWOOD		SHEET DESIGNATION		ELEVATION DESIGNATION
	EXISTING DOOR SYMBOL		FLOOR DESIGNATION		ELEV. HEIGHT DESIGNATION
	PROPOSED NEW DOOR SYMBOL		REVISION CLOUD & REV. DESIGNATION		

PROJECT SCOPE & DATA:

BUILDING INFO:

ADDRESS: 2057 W 44th ST, CLEVELAND, OH. 44113, SPLIT LOT B

PPN: 007-02-002

LOT AREA: 45' X 113' (5,085 SF)
SPLIT LOT AREA: 22.5' X 113' (2,543 SF)

LAND USE: (5000) R - RES VACANT LAND
LEGAL DESCRIPTION: S2 PEACH ORCH S/L 132 NP 0131 ALL NEIGHBORHOOD 02175

PROPOSED BUILDING USE: R, SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE: VB (NON SPRINKLERED)

ZONING: 2F--RESIDENTIAL TWO FAMILY

AREAS:
FIRST FLOOR: 512 GSF (456 NSF)
SECOND FLOOR: 512 GSF (454 NSF)

COVERED PORCH: 85 GSF
BASEMENT: 451 GSF

THIS PROJECT WILL ADHERE TO THE REQUIREMENTS OF THE OHIO RESIDENTIAL CODE, 2019 EDITION.

BUILDING SETBACKS:
FRONT YARD SETBACK: 16'-0"
REAR YARD SETBACK: 68'-0"

SIDEYARD SETBACK AND FIRE SEPARATION DISTANCE (SOUTH): 3'-0"
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE. DISTANCE IS GREATER THAN 2' AND LESS THAN 5'-REFERENCE A1-01

SIDEYARD PROJECTION SETBACK AND FIRE SEPARATION DISTANCE (SOUTH): 2'-0"
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'.

SIDEYARD OPENINGS IN WALLS (SOUTH): 9.8% OF WALL AREA
MEETS REQUIREMENTS OF MAXIMUM 25% NO RESTRICTION ON PENETRATIONS

WHERE REFERENCED IN THIS CODE, AN UNOCCUPIED SPACE ON AN ADJOINING PROPERTY MAY BE INCLUDED IN THE REQUIRED FIRE SEPARATION DISTANCE, PROVIDED THAT THE ADJOINING PROPERTY IS DEDICATED OR DEEDED SO AS TO PRECLUDE, FOR THE LIFE OF THE STRUCTURE, THE ERECTION OF ANY BUILDING OR STRUCTURE ON SUCH SPACE (SEE SECTION 3781.02 OF THE REVISED CODE). THE PARCEL TO BE SPLIT INTO THE TWO LOTS SHOWN ARE CONTROLLED THROUGH DEED AND SATISFIES THE ABOVE REQUIREMENT TO MEASURE FIRE SEPARATION DISTANCE FOR THE SOUTH SIDEYARD SETBACK TO THE PROPOSED, NEW BUILDING.

SIDEYARD SETBACK (NORTH): 1'-6"
SIDEYARD FIRE SEPARATION DISTANCE (NORTH): 3'-0"
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE. FIRE SEPARATION DISTANCE IS GREATER THAN 2' AND LESS THAN 5'-REFERENCE A1-01

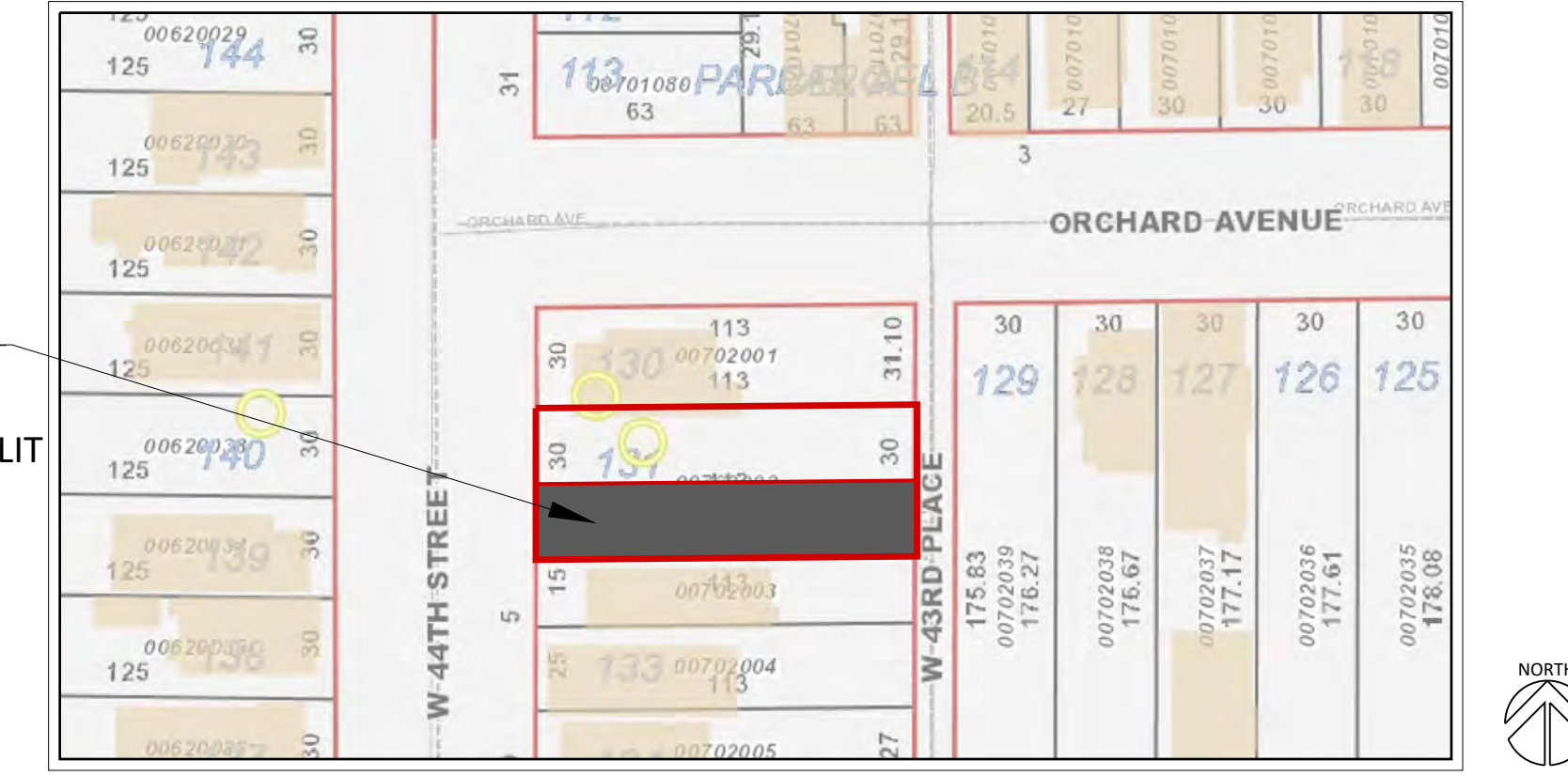
SIDEYARD PROJECTION SETBACK (NORTH): 1'-2"
SIDEYARD PROJECTION FIRE SEPARATION DISTANCE (NORTH): 2'-4"
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'.

SIDEYARD OPENINGS IN WALLS (NORTH): 11.6% OF WALL AREA
MEETS REQUIREMENTS OF MAXIMUM 25% NO RESTRICTION ON PENETRATIONS

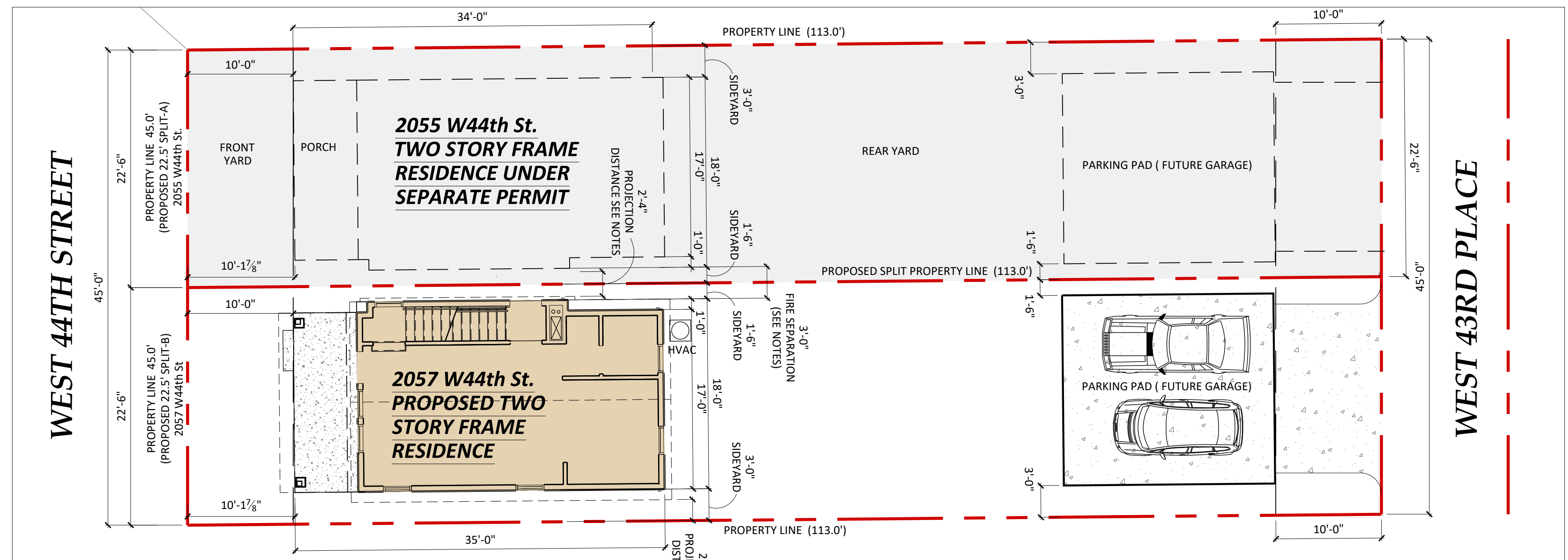
SHEET INDEX:

TO-00R	TITLE SHEET, GENERAL NOTES, SHEET INDEX, PROJECT DATA & SITEPLAN
CIVIL	
T1-00	NEIGHBORHOOD CONTEXT PHOTOGRAPHY
T1-01	CONTEXT AND HISTORIC MAPS
T1-02	EXISTING PROPERTY PHOTOGRAPHY
T1-03	NEIGHBORHOOD SETBACK PRECEDENTS
A1-01R	FLOOR PLANS
A2-01R	EXTERIOR ELEVATIONS

SITE LOCATION:



Site Location:
2057 W 44TH ST
PPN 007-02-002
PROPOSED LOT SPLIT
B



1 ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"
ARCHITECTURAL SITE PLAN IS GENERATED FROM OWNER-PROVIDED INFORMATION, SITE INSPECTION, AND CUYAHOGA COUNTY GIS INFORMATION. ALL DIMENSIONS AND RELATIONSHIPS ARE TO BE CONFIRMED IN THE FIELD BY A PROFESSIONAL ENGINEER UNDER THE SCOPE AND GUIDANCE OF THE SELECTED GENERAL CONTRACTOR PRIOR TO OR IN PREPARATION OF BUILDING ADDITION LAYOUT. CONFIRMATION OF THE DIMENSIONS SHOWN OR THEIR DISCREPANCIES SHALL BE PROVIDED IN WRITTEN FORM TO THE OWNER AND ARCHITECT AS A SUBMITTAL BEFORE PROCEEDING WITH THE WORK.

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

TITLE/SITE

ISSUE: DATE: 04-09-2021

SHEET: **TO-00R**

100% CDs
100% CDs with Revisions
Planning Review

02.22.2021
03.15.2021
04.09.2021

Cleveland, Ohio



POLARIS ENGINEERING & SURVEYING, INC.

34600 CHARDON ROAD
SUITE D
WILLOUGHBY HILLS, OH 44094
(440) 944-4433
(440) 944-3722 (Fax)
www.polaris-es.com

DATE: 2/18/21

SCALE: HOR. 1"=20'

FOLDER: Engineering

FILENAME: Site Plan Overall

TAB: 01-Site Plan Overall

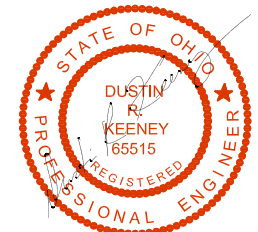
DRAWN: JNG

OVERALL SITE PLAN FOR:
2055 West 44th Street
CITY OF CLEVELAND - CUYAHOGA COUNTY - OHIO

PREPARED FOR:

B.R. Knez Construction Inc.
7555 Fredle Dr., Suite 210
Concord Twp., Ohio
PHONE: (440) 710-0711

SEAL



CONTRACT No.

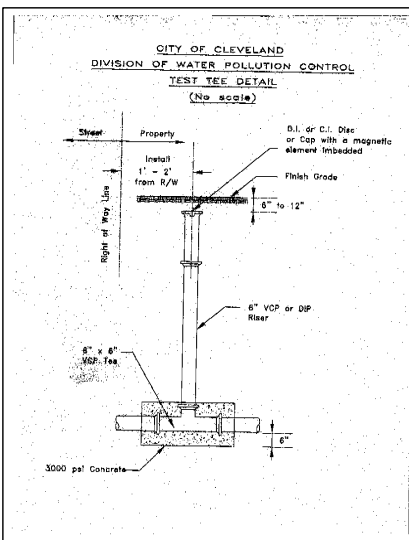
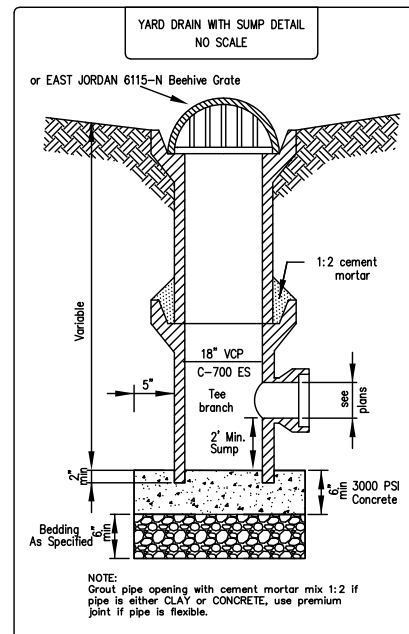
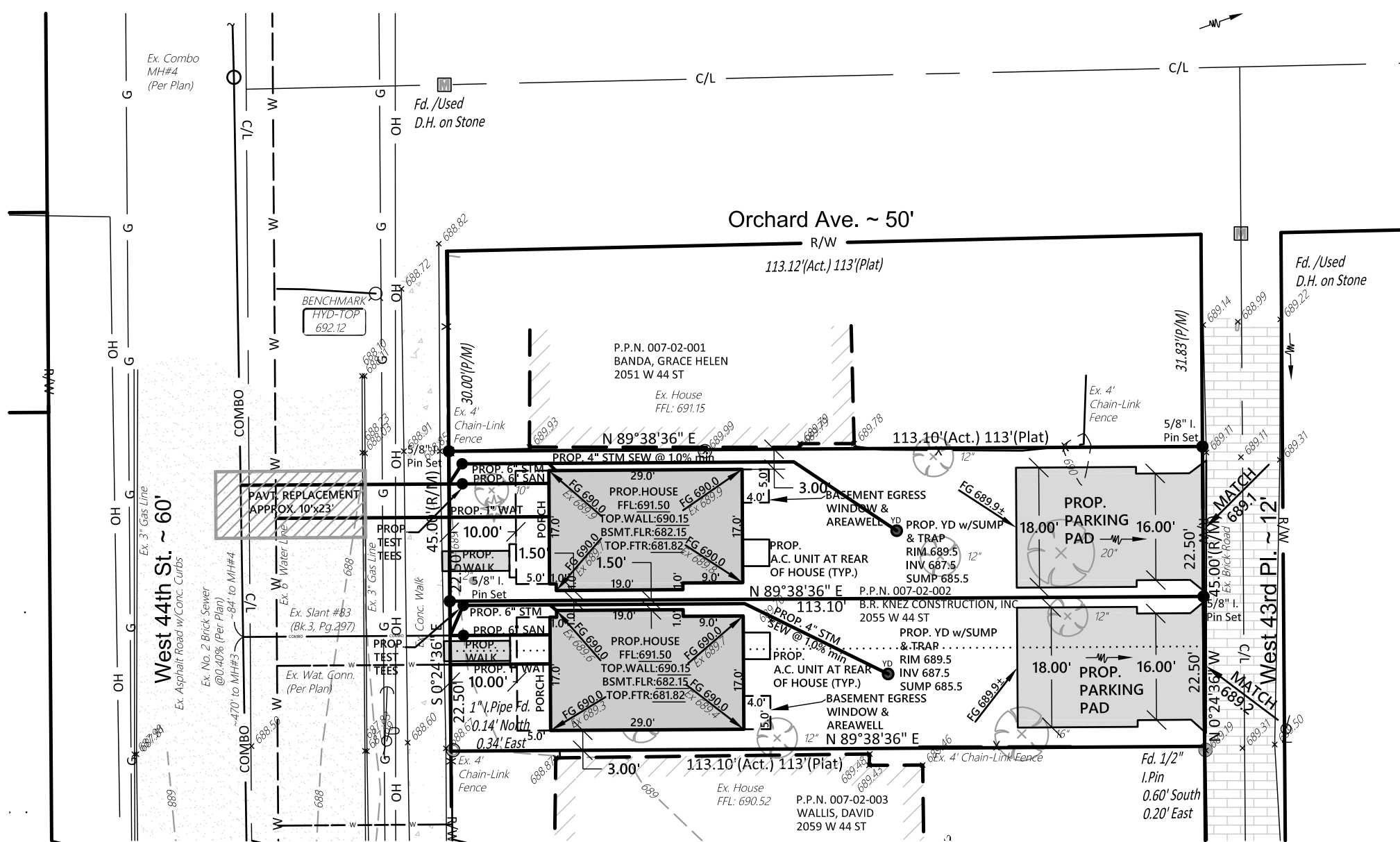
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SHEET OF

01 OF 01

Elevations Used To Establish House Floor Grades:
-Fin.Grade+(1'-6")=Frst.Flr.
-Frst.Flr.-(1'-4.25")=Top/Wall
-Top/Wall-(8'-4")=Top/Ftr.
-Top/Ftr.+(0'-4")=Bsmt.Flr.

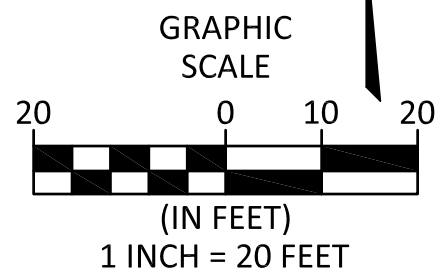
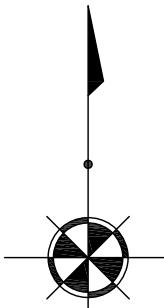
NOTE:
-CONTRACTOR TO VERIFY LOCATION OF EXISTING LATERALS. IF NONE LOCATED, NEW CONNECTION TO SEWER MAIN SHALL BE MADE.



811 O.U.P.S. REFERENCE A-734-500-934
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED. WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

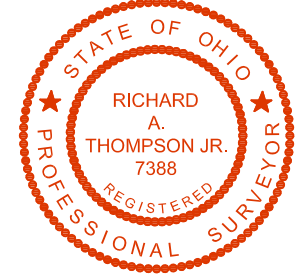
NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.



TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 18th DAY OF DECEMBER, 2017, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson Jr.
RICHARD A. THOMPSON, JR., P.S. #7388



Ex. Clean Out	Ex. Sanitary Manhole	Ex. Water Valve	Ex. Electrical Box	Ex. Tree	Ex. Monument Box
Ex. Catch Basin	Prop. Sanitary Manhole	Ex. Water Meter	Ex. Guy Wire	Ex. Pine Tree	Power Transformer
Prop. Catch Basin	Prop. Curb Inlet	Ex. Fire Hydrant	Ex. Power Pole	Ex. Bush	Sprinkler Control Box
Ex. Yard Drain	Ex. Curb Inlet	Prop. Hydrant	Ex. Light Power Pole	Ex. Mailbox	Sprinkler Head
Ex. Manhole	Ex. Gas Marker	Prop. WL Valve	Ex. Light Pole	Ex. Sign	Traffic Signal Pole
Ex. Storm Manhole	Ex. Gas Meter	Well	Prop. Light Pole	Ex. Telephone Box	Traffic Signal Box
Prop. Storm Manhole	Ex. Gas Valve	Test Bore		Guard Post	



W 44TH STREET - WEST SIDE SW



W 44TH STREET - WEST SIDE NW



W 44TH STREET - WEST SIDE



W 44TH STREET - WEST SIDE ACROSS FROM PROPOSED PROJECT



W 44TH STREET - WEST SIDE SOUTH



ORCHARD AVE - NORTH SIDE ACROSS FROM PROPOSED PROJECT



ORCHARD AVE - NORTH SIDE ACROSS FROM PROPOSED PROJECT



W 44TH STREET - WEST SIDE NW

NEIGHBORHOOD CONTEXT PHOTOGRAPHY

SEAL:

JAMES GREYDON PETZNIK
1416104
03.14.2021
EXP: 12.31.2021

100% CDs	02.22.2021
100% CDs with Revisions	03.15.2021
Planning Review	04.09.2021

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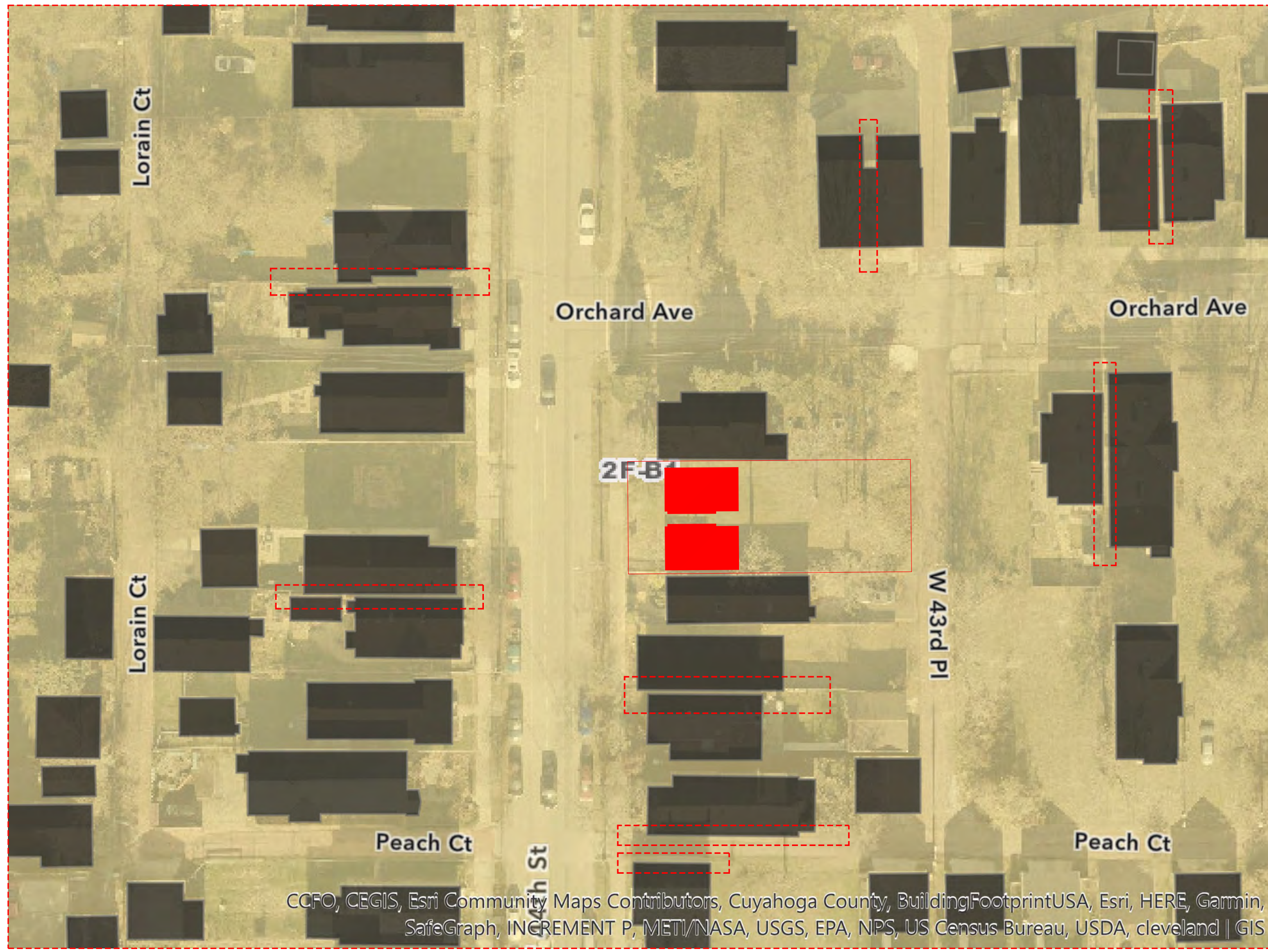
Single Family Residence
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Ohio City Incorporated
Cleveland, Ohio

Cleveland, Ohio

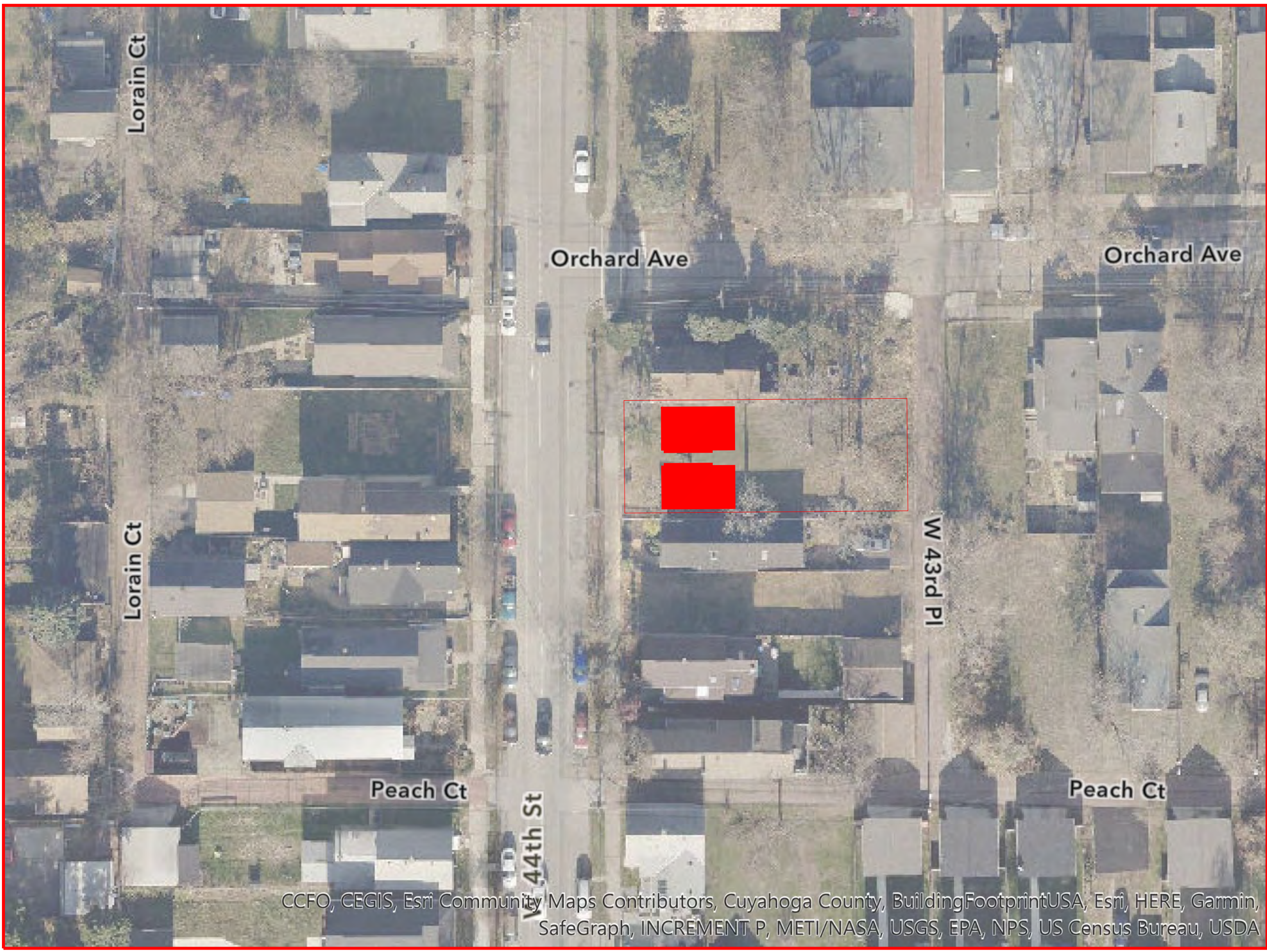
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CONTEXT

ISSUE: _____ DATE: 04-09-2021

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T1-00

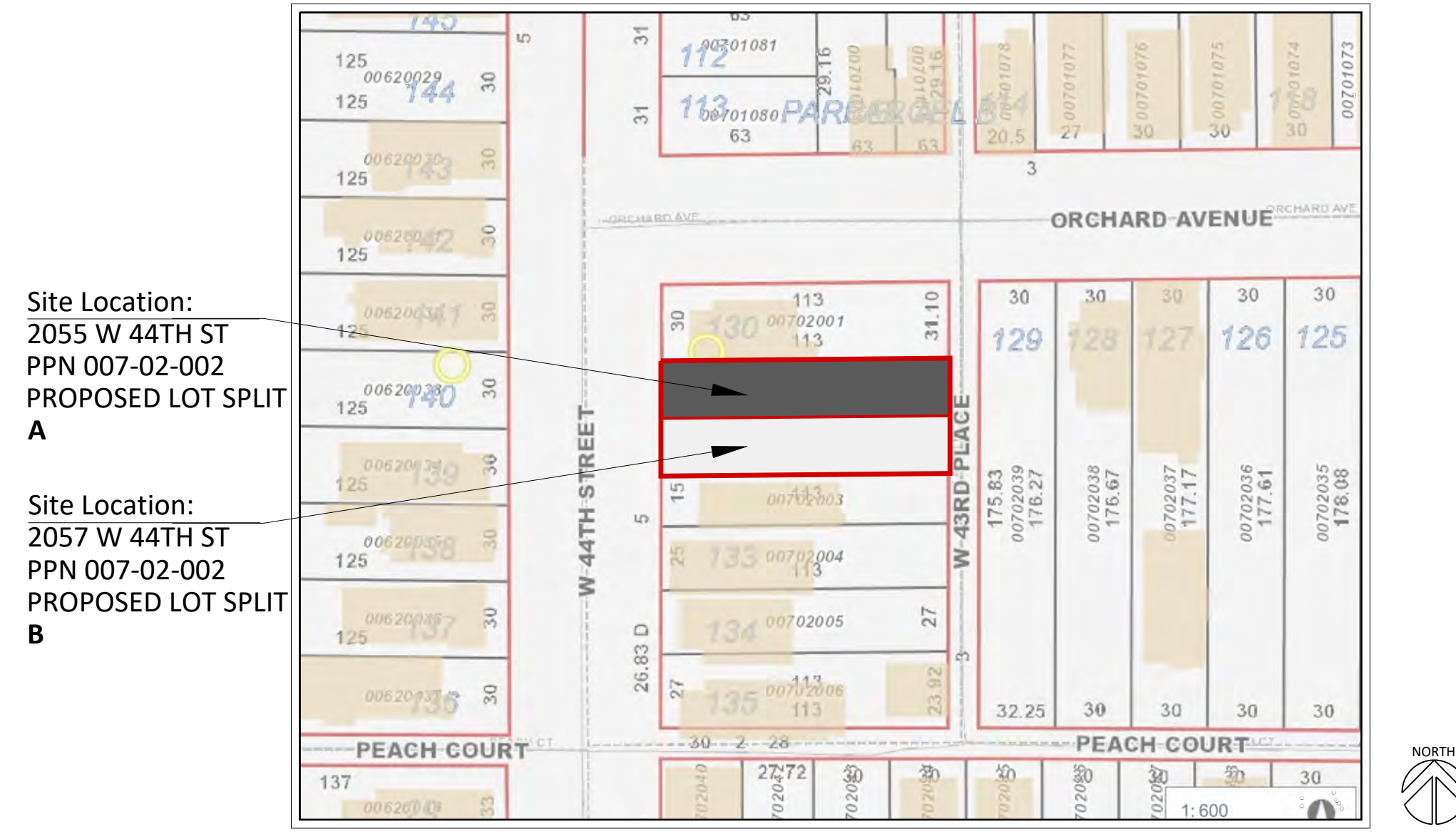


NEIGHBORHOOD DENSITY AND EXISTING SETBACKS

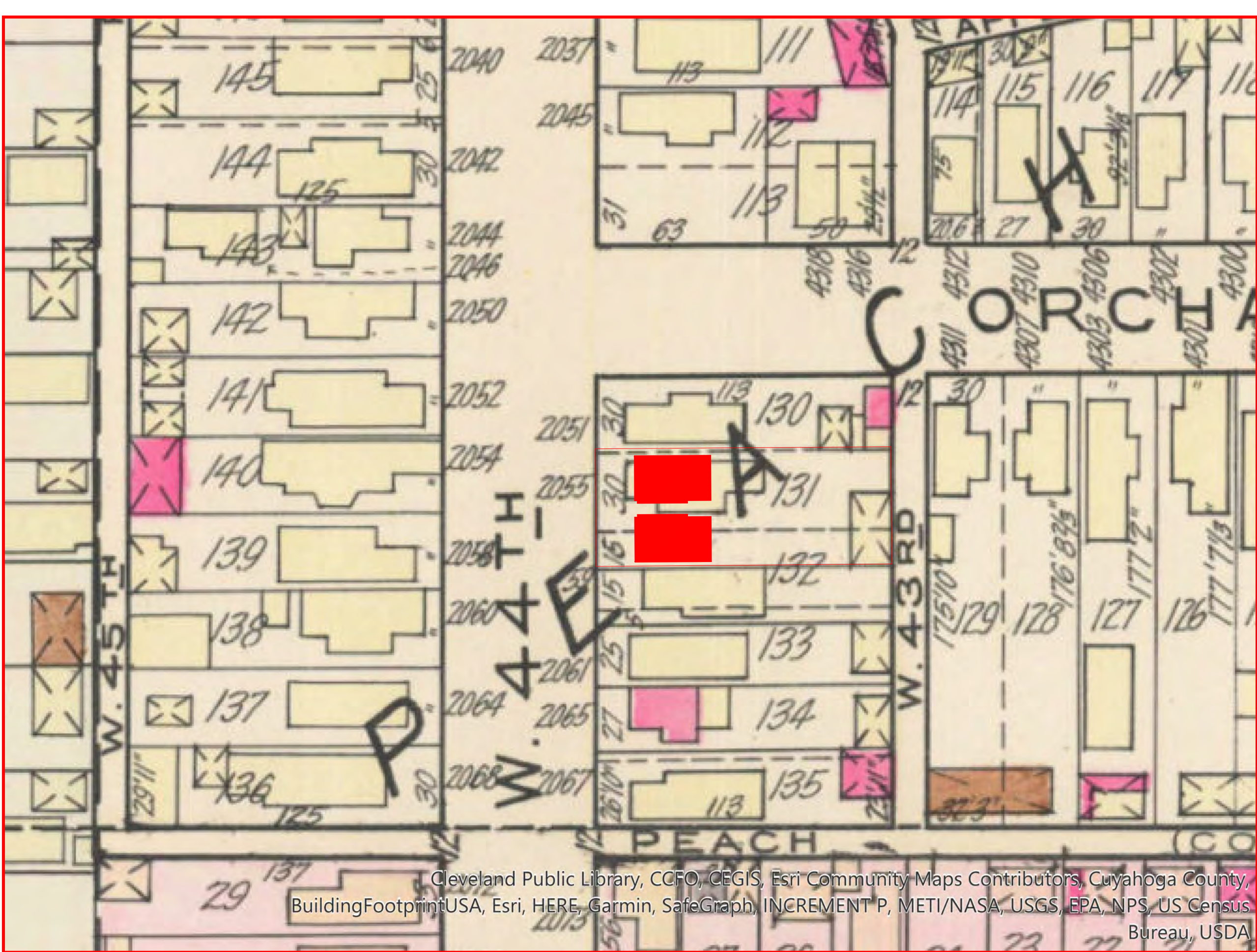


NEIGHBORHOOD AERIAL

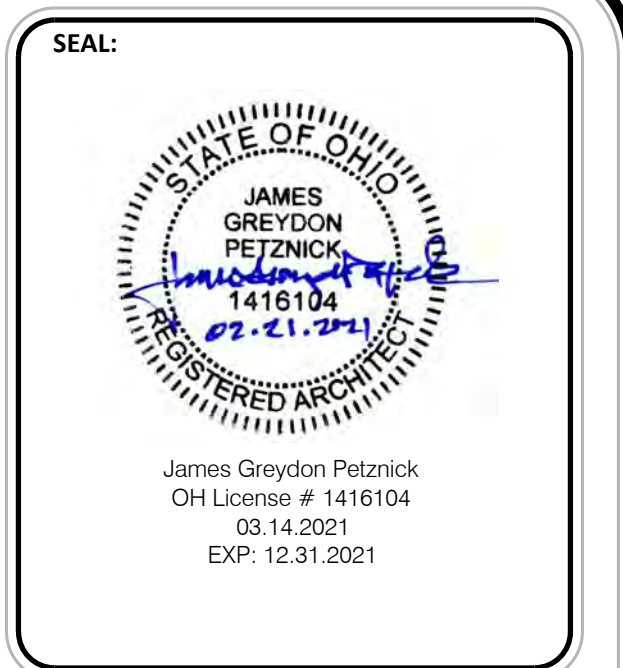
SITE LOCATION:



STREETSIDE DIAGRAM



NEIGHBORHOOD HISTORIC



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CONTEXT MAPS

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T1-01



W 44TH STREET FACING SOUTH (SITE FROM SIDEWALK)



W 44TH STREET FACING EAST (SITE FROM ACROSS W44TH)



W 44TH STREET - FACING SOUTHEAST- FROM W 44TH



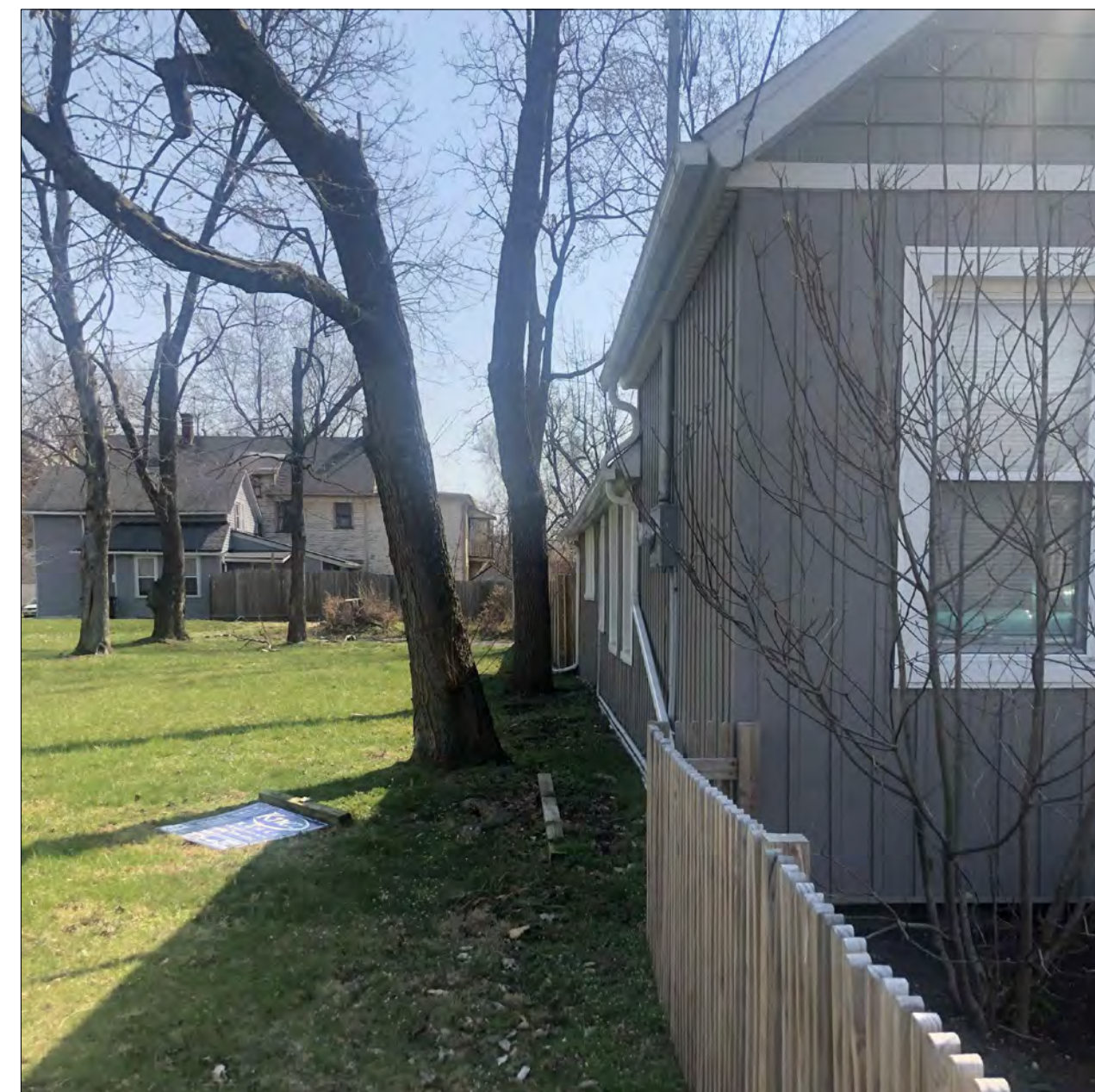
SOUTHERN PROPERTY LINE FROM ALLEY FACING WEST (SOUTH NEIGHBOR'S SETBACK)



WEST PROPERTY LINE FROM W 44TH STREET



EAST PROPERTY LINE (ALLEY) FROM NORTH NEIGHBOR PROPERTY LINE



PROPERTY'S SOUTH NEIGHBOR - EXISTING SETBACK



PROPERTY'S NORTH NEIGHBOR - EXISTING SETBACK

PROPERTY BOUNDARIES AND NEIGHBORS

SEAL:

JAMES GREYDON PETZNIK
1416104
REGISTERED ARCHITECT
OH License # 1416104
03.14.2021
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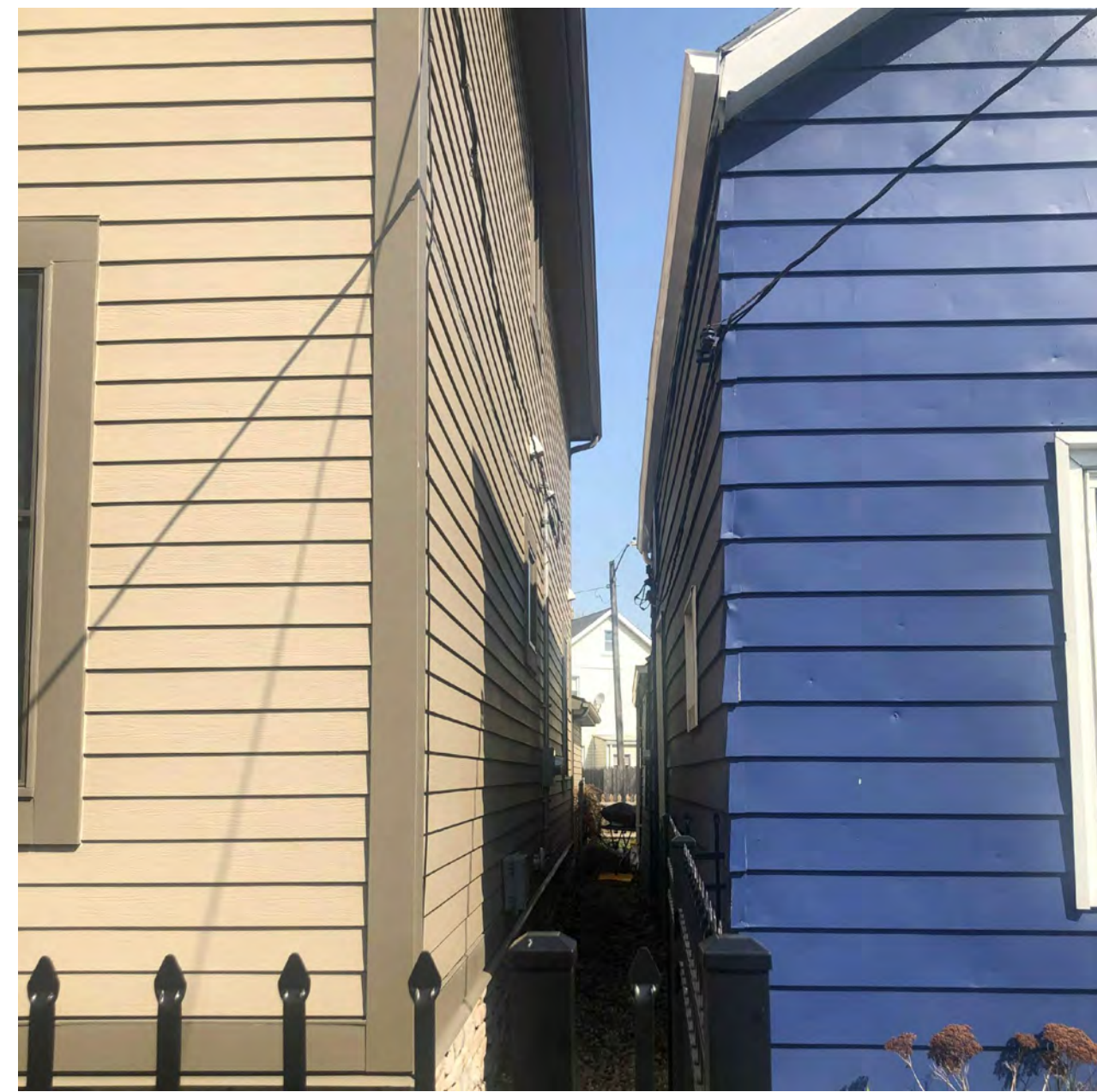
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Cleveland, Ohio

Cleveland, Ohio

TITLE: _____
PROPERTY

ISSUE: _____ DATE: 04-09-2021

SHEET: **T1-02**



W 44TH STREET - WEST SIDE SW LESS THAN 3' CLEAR



W 44TH STREET - WEST SIDE LESS THAN 3' CLEAR



W 44TH STREET - WEST SIDE LESS THAN 3' CLEAR



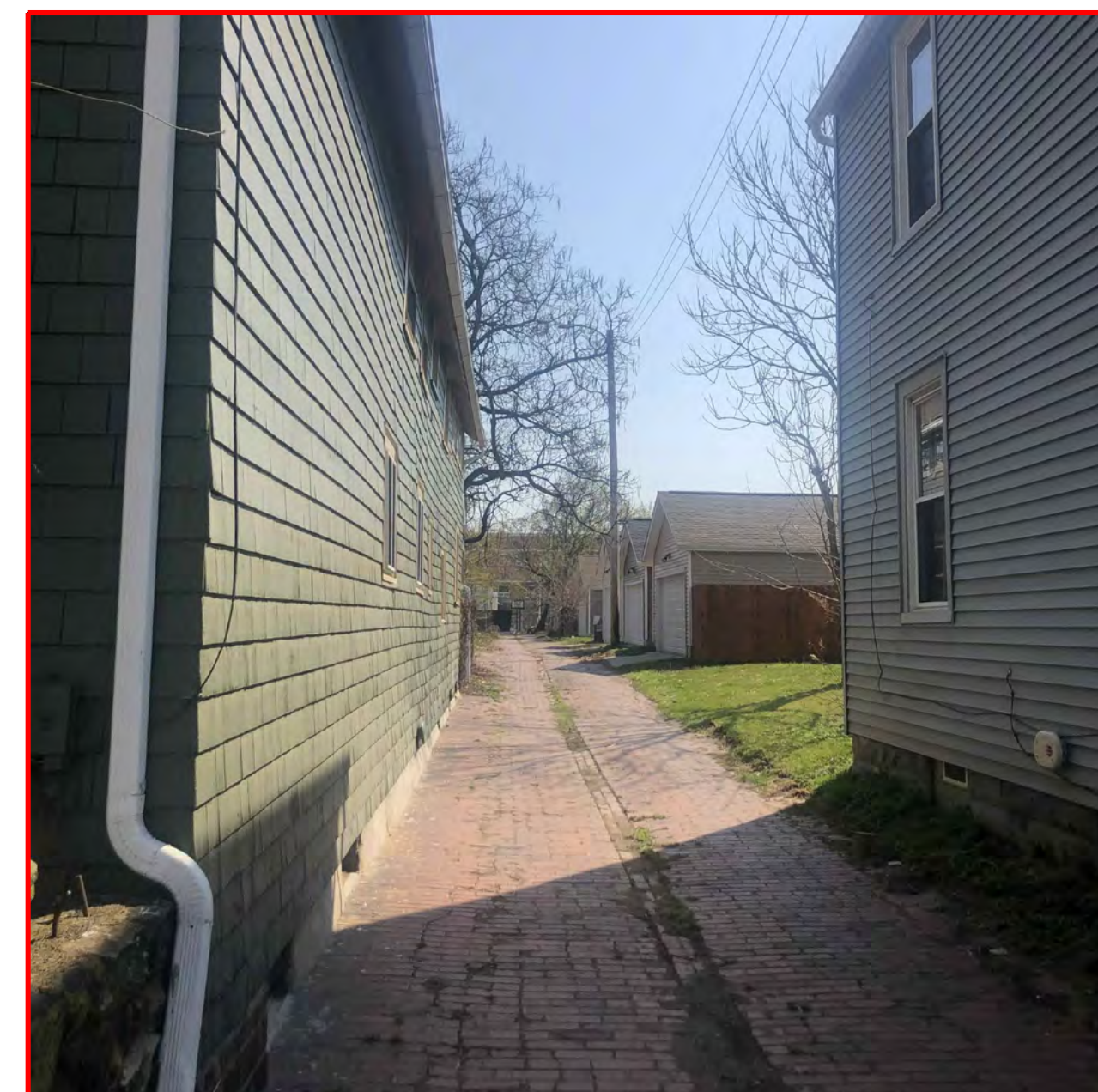
ORCHARD AVE AT W 44TH- JOINED



ORCHARD AVE AT W 44TH



ORCHARD AVE - ACROSS FROM PROPOSED PROJECT



W 44TH AT PEACH - ZERO SETBACK



W 44TH ST



W 44TH ST

NEIGHBORHOOD EXISTING SETBACK PHOTOGRAPHY

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CLEVELAND
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DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

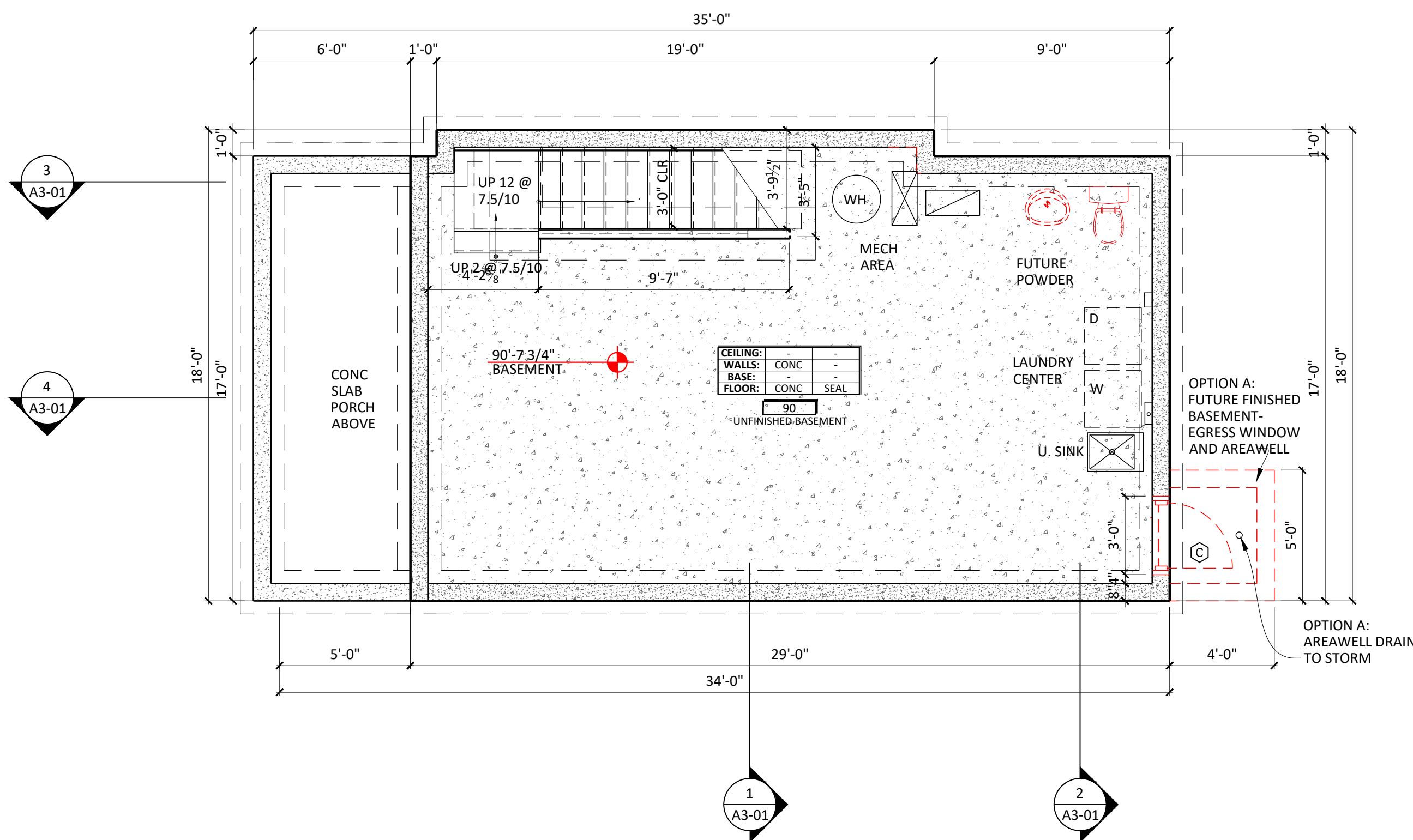
Single Family Residence
A Small Footprint Home for:
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Cleveland, Ohio

Cleveland, Ohio

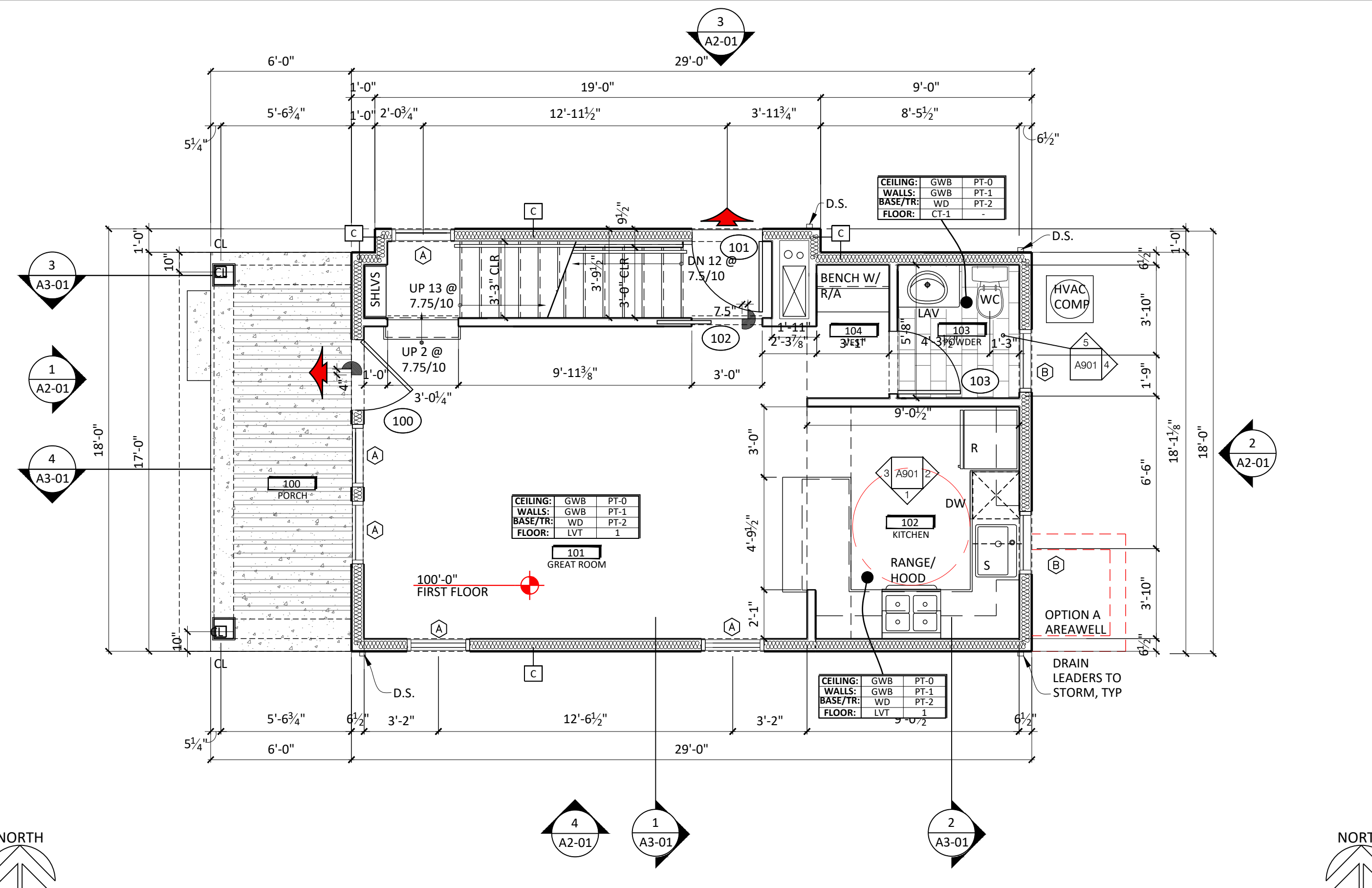
TITLE:
EXISTING SETBACKS

ISSUE: _____ DATE: 04-09-2021

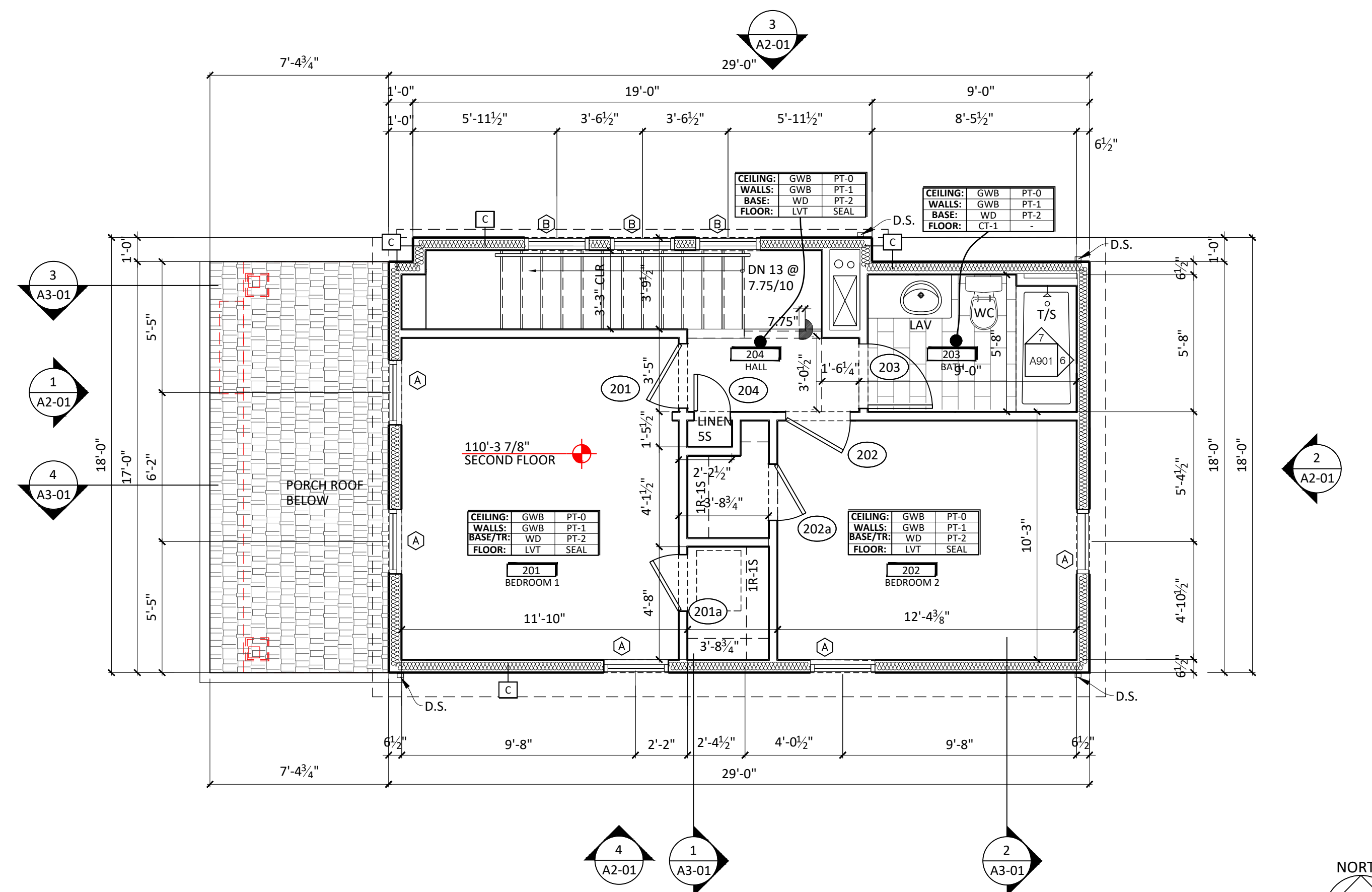
SHEET:
T1-03



1 SECOND FLOOR LEVEL
CONSTRUCTION FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 GROUND FLOOR LEVEL
CONSTRUCTION FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR LEVEL
CONSTRUCTION FLOOR PLAN
SCALE: 1/4" = 1'-0"

SEAL:

James Greydon Petznick
OH License # 1416104
03.14.2021
EXP. 12.31.2021

100% CDs	02.22.2021
100% CDs with Revisions	03.15.2021
Planning Review	04.09.2021

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

Cleveland, Ohio

TITLE:
CONSTRUCTION FLOOR PLAN

ISSUE: _____ DATE: 04-09-2021

SHEET:
A1-01R

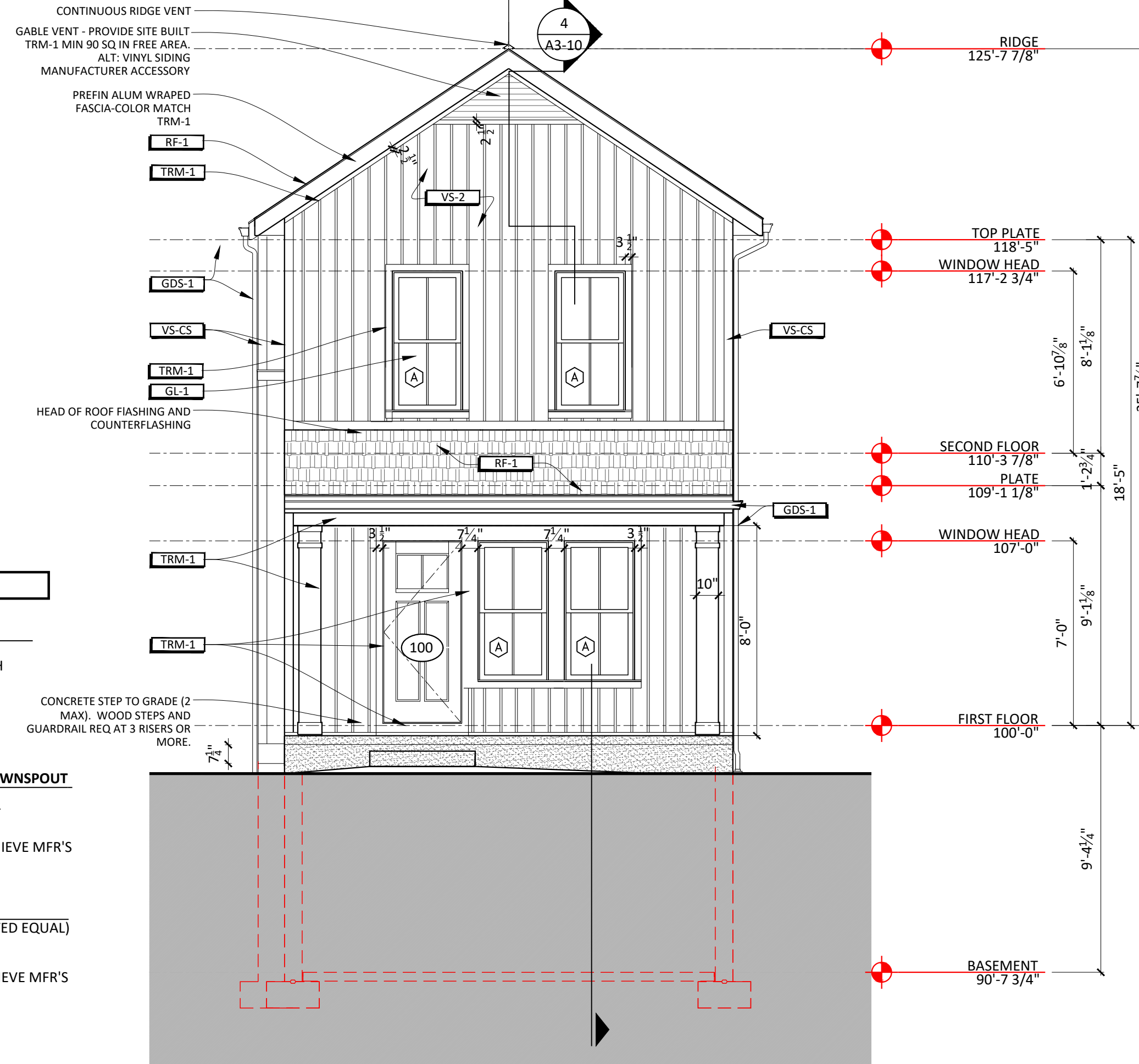
CONSTRUCTION GENERAL NOTES

DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF CONCRETE OR EXTERIOR SHEATHING & ALL INTERIOR DIMENSIONS ARE FROM FACE OF G.W.B. FACE OF EXTERIOR SHEATHING ALIGNS TO FOUNDATION.

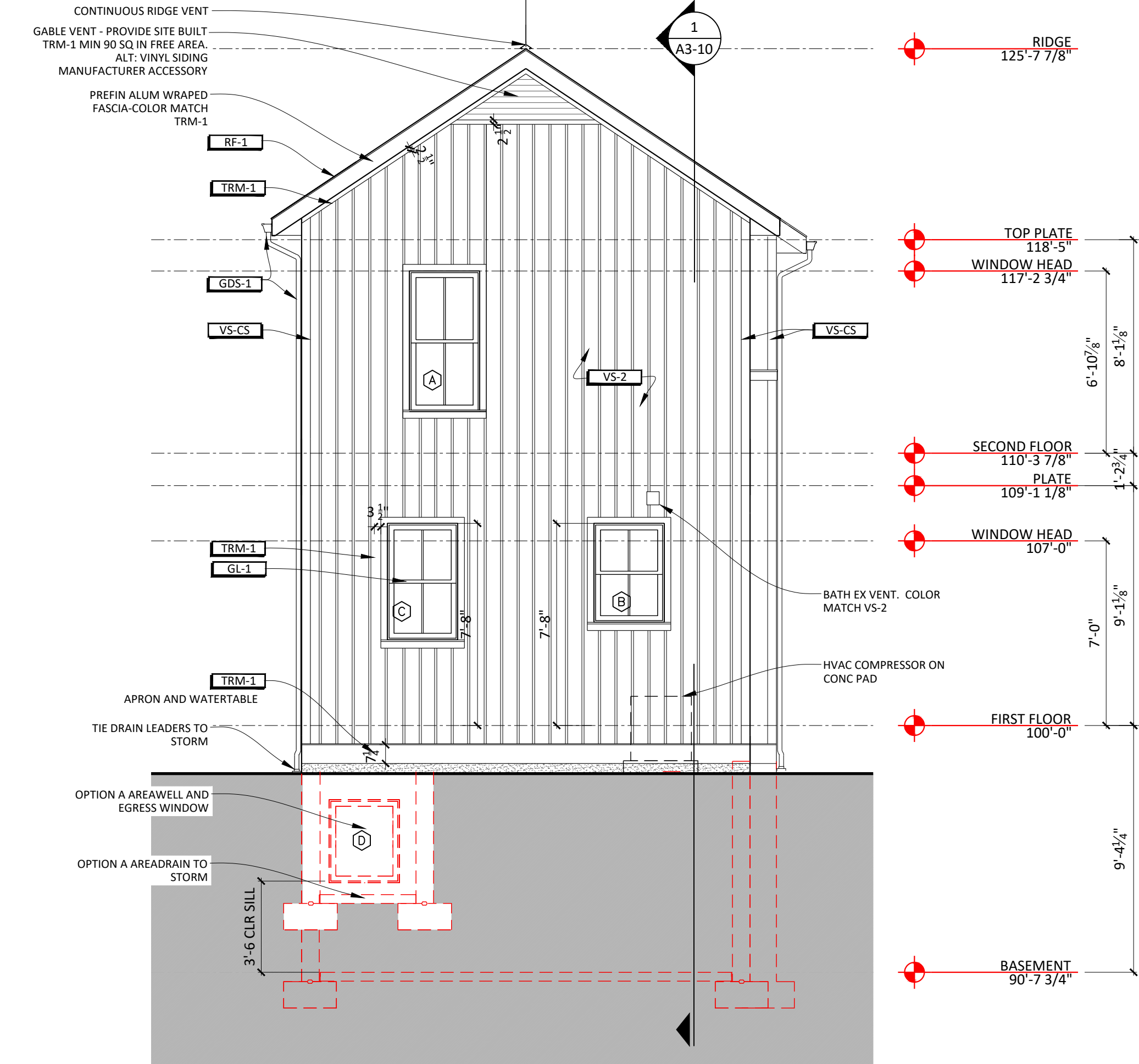
- REFER TO DOOR SCHEDULE FOR ALL DOOR TAGS.
- ALL DOORS TO BE LOCATED 3" FROM THE NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).
- ALL WINDOW ROUGH OPENINGS TO BE FIELD VERIFIED PRIOR TO PRICING & FABRICATION. ALSO REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFO.
- REFER TO SHEET A4-00 FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR WALL CONSTRUCTION IS TYPE "B" UNLESS OTHERWISE NOTED AND TO BE 1/2" EXTERIOR RATED WOOD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) & WEATHER BARRIER OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. ALL WALL COMPONENTS TO BE AS FOLLOWS:
 - EXTERIOR CLADDING: REFER TO ELEVATIONS
 - WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF SHEATHING
 - CAVITY INSULATION: FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD SPACING
 - VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.

EXTERIOR FINISH LEGEND

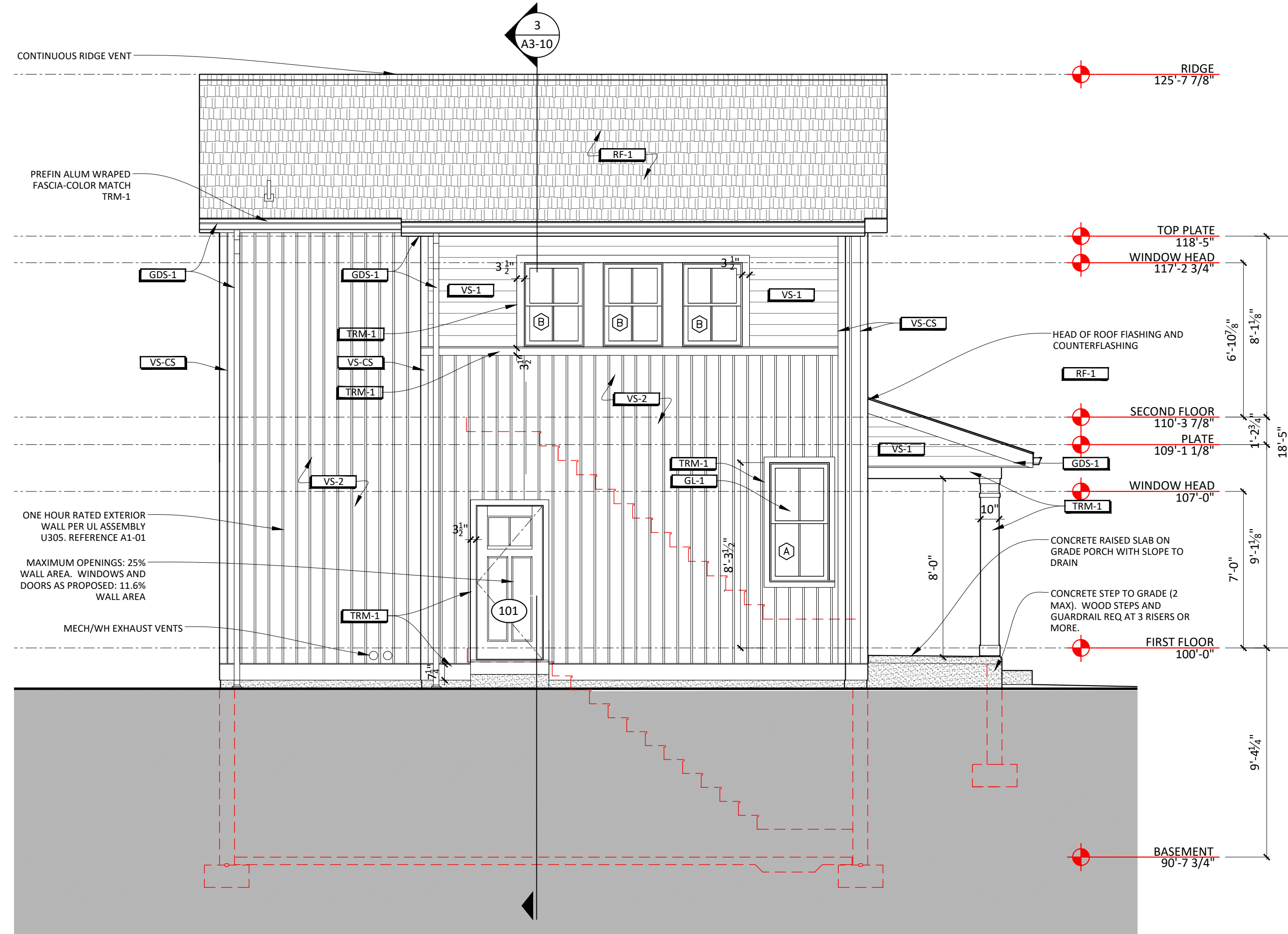
- | | |
|---|---|
| <p>RF-1 - DIMENSIONAL ASPHALT SHINGLE</p> <p>-MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL)</p> <p>-STYLE: TBD</p> <p>-COLOR: TBD</p> <p>-NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.</p> | <p>TRM-1 - CELLULAR PVC TRIM BOARDS</p> <p>-MFR.: AZEK (OR APPROVED EQUAL)</p> <p>-STYLE: TRADITIONAL TRIM, SMOOTH FINISH</p> <p>-COLOR: TO BE SELECTED BY OWNER</p> <p>-NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED</p> |
| <p>VS-1 - VINYL SIDING - CLAPBOARD</p> <p>-MFR.: CERTAINTED (OR APPROVED EQUAL)</p> <p>-STYLE: MONOGRAM DOUBLE 5" CLAPBOARD.</p> <p>-COLOR: WHITE</p> <p>-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> | <p>GDS-1 - PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT</p> <p>-MFR.: (AS APPROVED BY OWNER)</p> <p>-STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT</p> <p>-COLOR: WHITE</p> <p>-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> |
| <p>VS-2 - VINYL SIDING - BOARD AND BATTEN</p> <p>-MFR.: CERTAINTED (OR APPROVED EQUAL)</p> <p>-STYLE: SINGLE 8" VERTICAL BOARD AND BATTEN</p> <p>-COLOR: WHITE</p> <p>-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> | <p>WD-1 - COMPOSITE WOOD DECKING</p> <p>-MFR.: TREX, MOISTURE SHIELD (OR APPROVED EQUAL)</p> <p>-STYLE: T.B.D.</p> <p>-COLOR: T.B.D.</p> <p>-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> |
| <p>VS-CS - VINYL SIDING CORNER BOARD</p> <p>-MFR.: CERTAINTED (OR APPROVED EQUAL)</p> <p>-STYLE: 1-1/4" TRADITIONAL SUPERCORNER</p> <p>-COLOR: WHITE</p> <p>-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY</p> | |



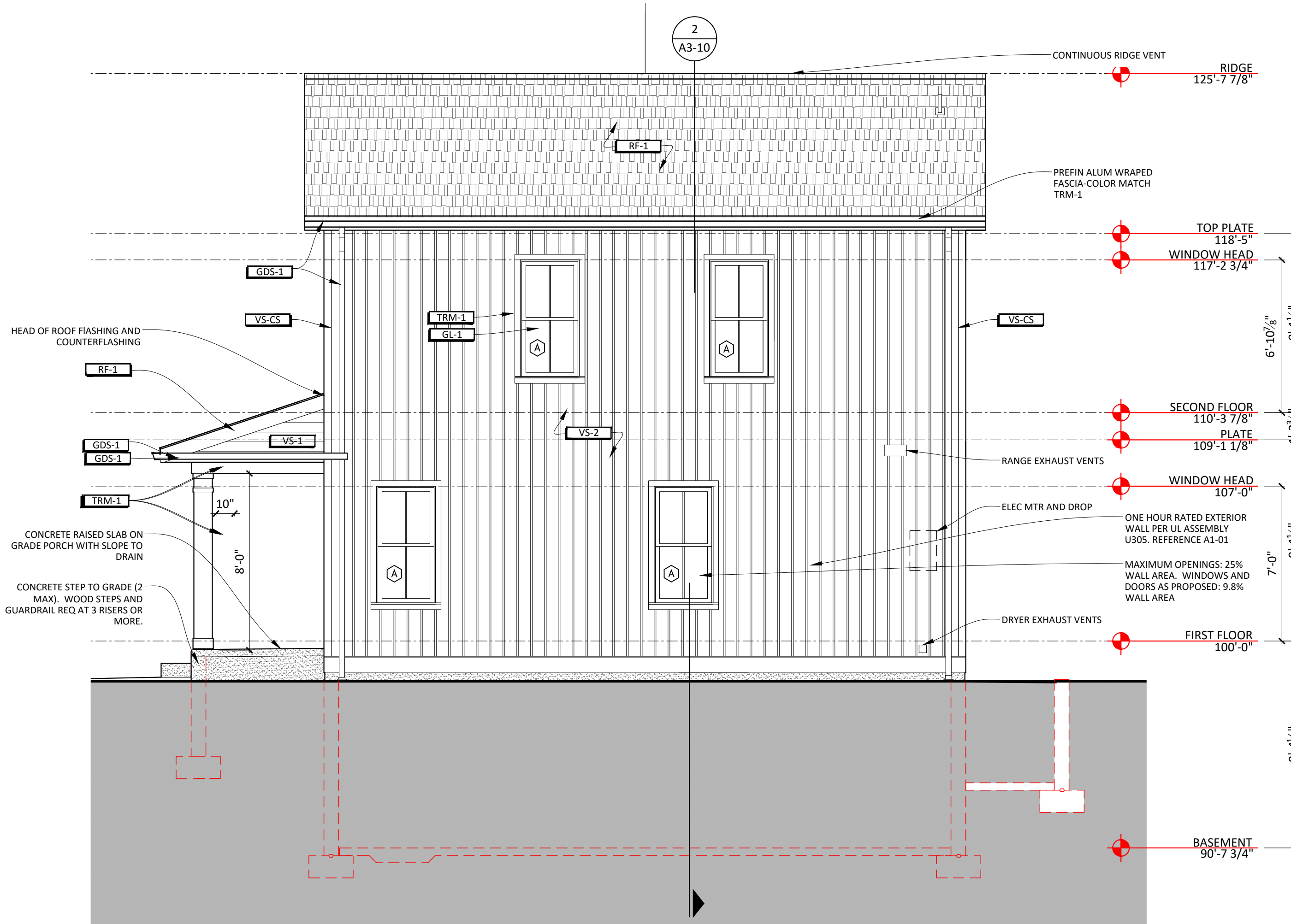
1
A2-01R
EXTERIOR ELEVATION
FRONT FACADE
SCALE: 1/4" = 1'-0"



2
A2-01R
EXTERIOR ELEVATION
REAR FACADE
SCALE: 1/4" = 1'-0"



3
A2-01R
EXTERIOR ELEVATION
LEFT SIDE FACADE
SCALE: 1/4" = 1'-0"



4
A2-01R
EXTERIOR ELEVATION
RIGHT SIDE FACADE
SCALE: 1/4" = 1'-0"

SEAL:

JAMES GREYDON PETZNIK
1416104
03.14.2021
EXP: 12.31.2021

100% CDs	02.22.2021	03.15.2021	04.09.2021
100% CDs with Revisions			
Planning Review			

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Single Family Residence
A Small Footprint Home for:
Ohio City Incorporated
Cleveland, Ohio

TITLE:
EXTERIOR ELEVATIONS

ISSUE: _____ DATE: 04-09-2021

SHEET:
A2-01R

Cleveland, Ohio

Lot Consolidation / Split



April 16, 2021

For PPNs 004-01-038, -037, -066, & -067

Project Addresses: 2041 & 2035 West 20th Street; 2060 West 20th Street; parcel adjacent to previous to the south

Project Representative: Westleigh Harper, Horton Harper Architects



view down W. 20 St.



view across W. 20 St. towards site



adjacent site across Smith Ct.



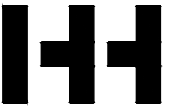
overall site view



overall site view from Smith Ct.



2060 W. 20th Place site



812 Huron Road East, Suite 301
Cleveland, Ohio 44115
216.600.9028
hortonharper.com

Stamp

Project
2060
W. 20TH PLACE
2060 W. 20TH PLACE
Cleveland, OH 44113

Client
BERGES HOME
PERFORMANCE, LLC
2030 W. 19TH STREET
CLEVELAND, OH 44119

Revisions

Original Date 03/17/21

Submission

- Progress
- Design Review
- Lot Split/Consolid.
- Planning
- Zoning
- Schematic Design
- Design Develop.
- Permit
- Construction

Current Date 03/17/21

Drawn By HMN

Checked By WMH

Job Number 21007

Sheet

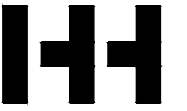
EXISTING SITE
CONDITION
IMAGES

Discipline & Number

P1.00

1 - Existing Site Images

Scale: N/A



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Cleveland, Ohio 44115
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Stamp

Project

2060
W. 20TH PLACE
2060 W. 20TH PLACE
Cleveland, OH 44113

Client

BERGES HOME
PERFORMANCE, LLC
2030 W. 19TH STREET
CLEVELAND, OH 44119

Revisions

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Submission

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- Permit
- Construction

Current Date 03/17/21

Drawn By HMN

Checked By WMH

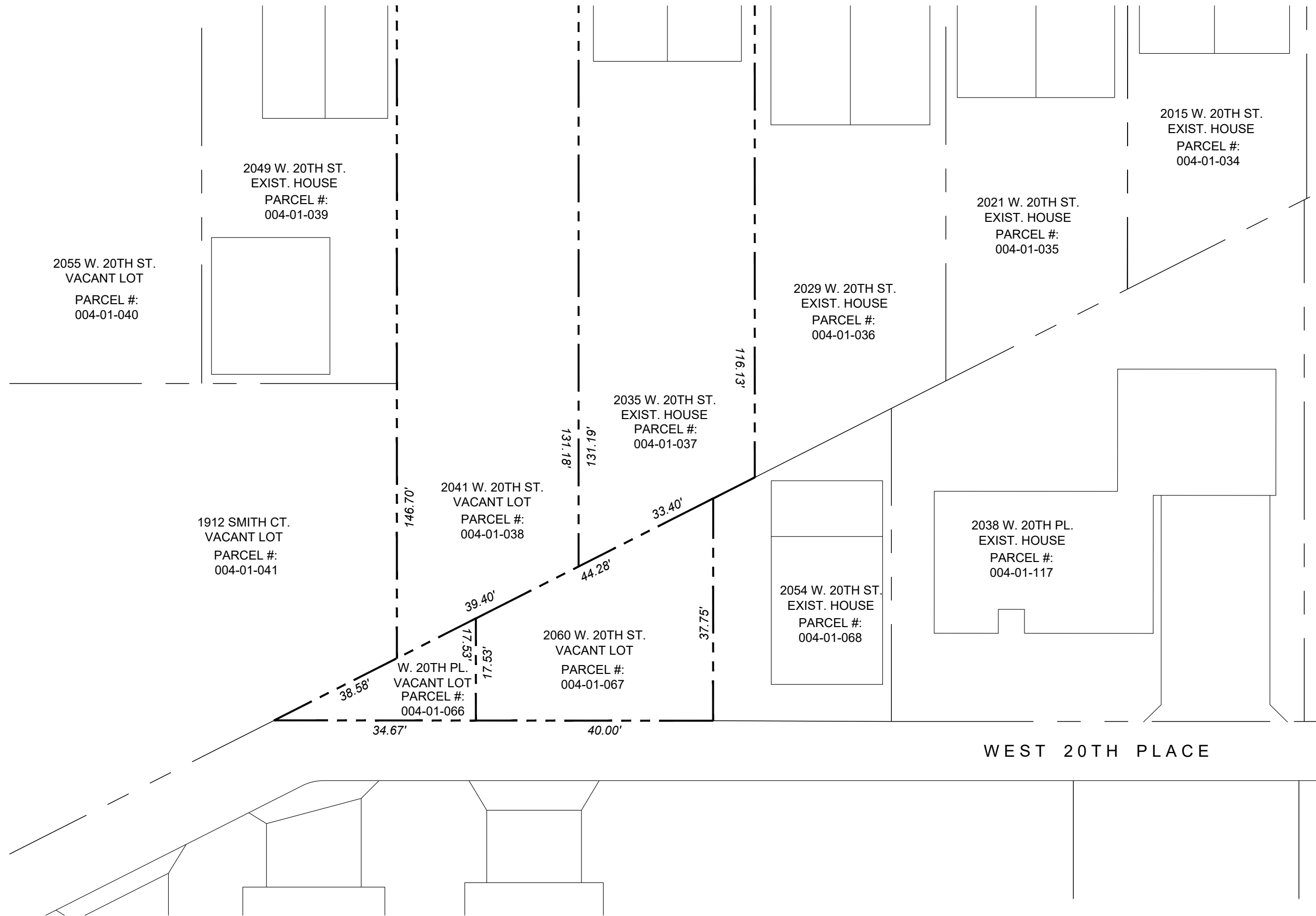
Job Number 21007

Sheet

EXISTING
PARCEL PLAN

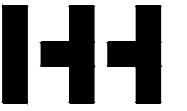
Discipline & Number

P1.01



1 - Existing Parcel Plan

Scale: 1/16" = 1'-0" N>



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 Cleveland, Ohio 44115
 216.600.9028
 hortonharper.com

Stamp

Project

2060
W. 20TH PLACE
 2060 W. 20TH PLACE
 Cleveland, OH 44113

Client

BERGES HOME
PERFORMANCE, LLC
 2030 W. 19TH STREET
 CLEVELAND, OH 44119

Revisions

Original Date 03/17/21

Submission

- Progress
- Design Review
- Lot Split/Consolid.
- Planning
- Zoning
- Schematic Design
- Design Develop.
- Permit
- Construction

Current Date 03/17/21

Drawn By HMN

Checked By WMH

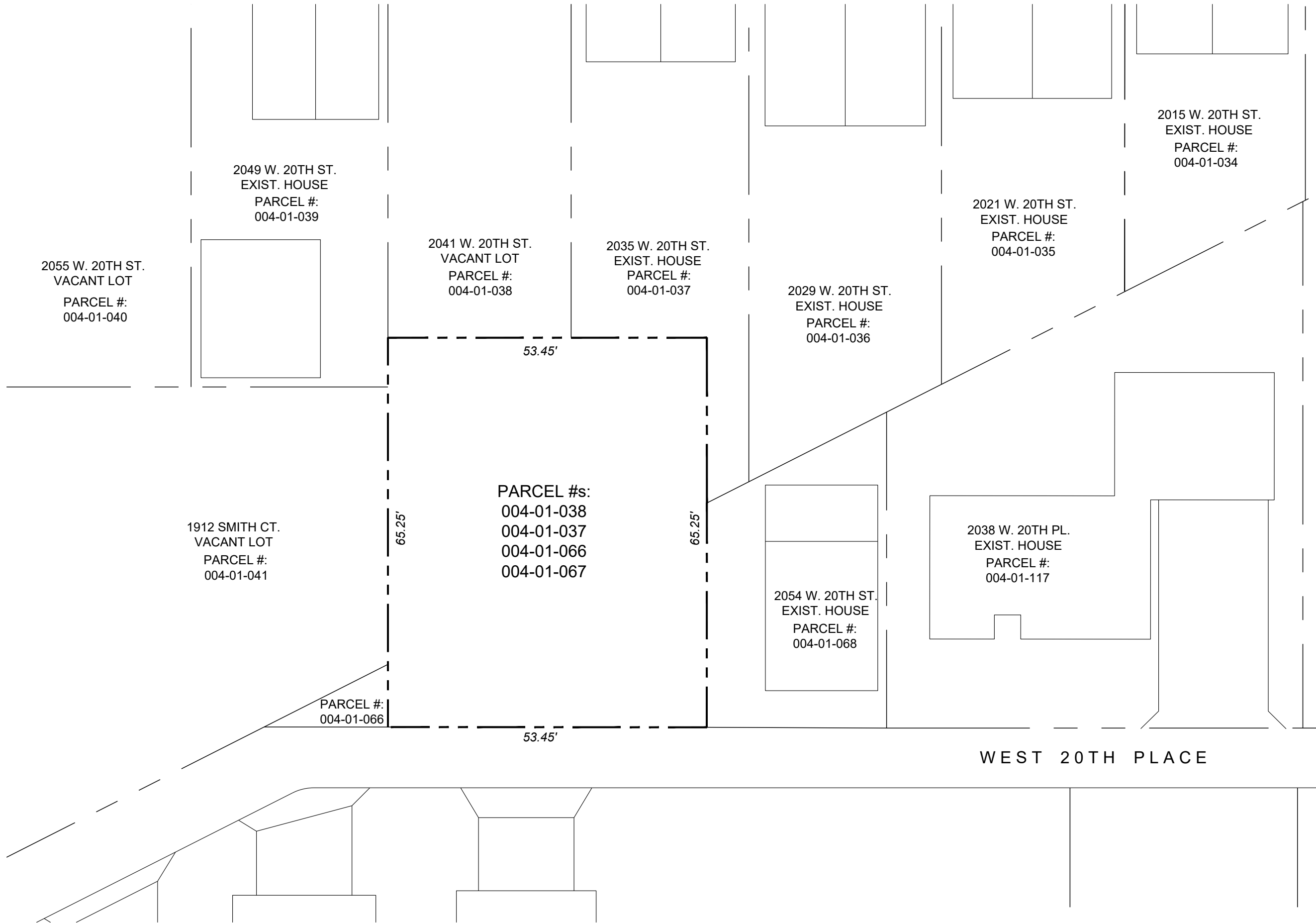
Job Number 21007

Sheet

PROPOSED
PARCEL PLAN

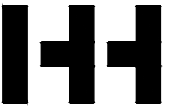
Discipline & Number

P1.02



1 - Proposed Parcel Plan

Scale: 1/16" = 1'-0" N>



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Cleveland, Ohio 44115
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Stamp

Project

2060
W. 20TH PLACE
2060 W. 20TH PLACE
Cleveland, OH 44113

Client

BERGES HOME
PERFORMANCE, LLC
2030 W. 19TH STREET
CLEVELAND, OH 44119

Revisions

Original Date 03/17/21

Submission

- Progress
- Design Review
- Lot Split/Consolid.
- Planning
- Zoning
- Schematic Design
- Design Develop.
- Permit
- Construction

Current Date 03/17/21

Drawn By HMN

Checked By WMH

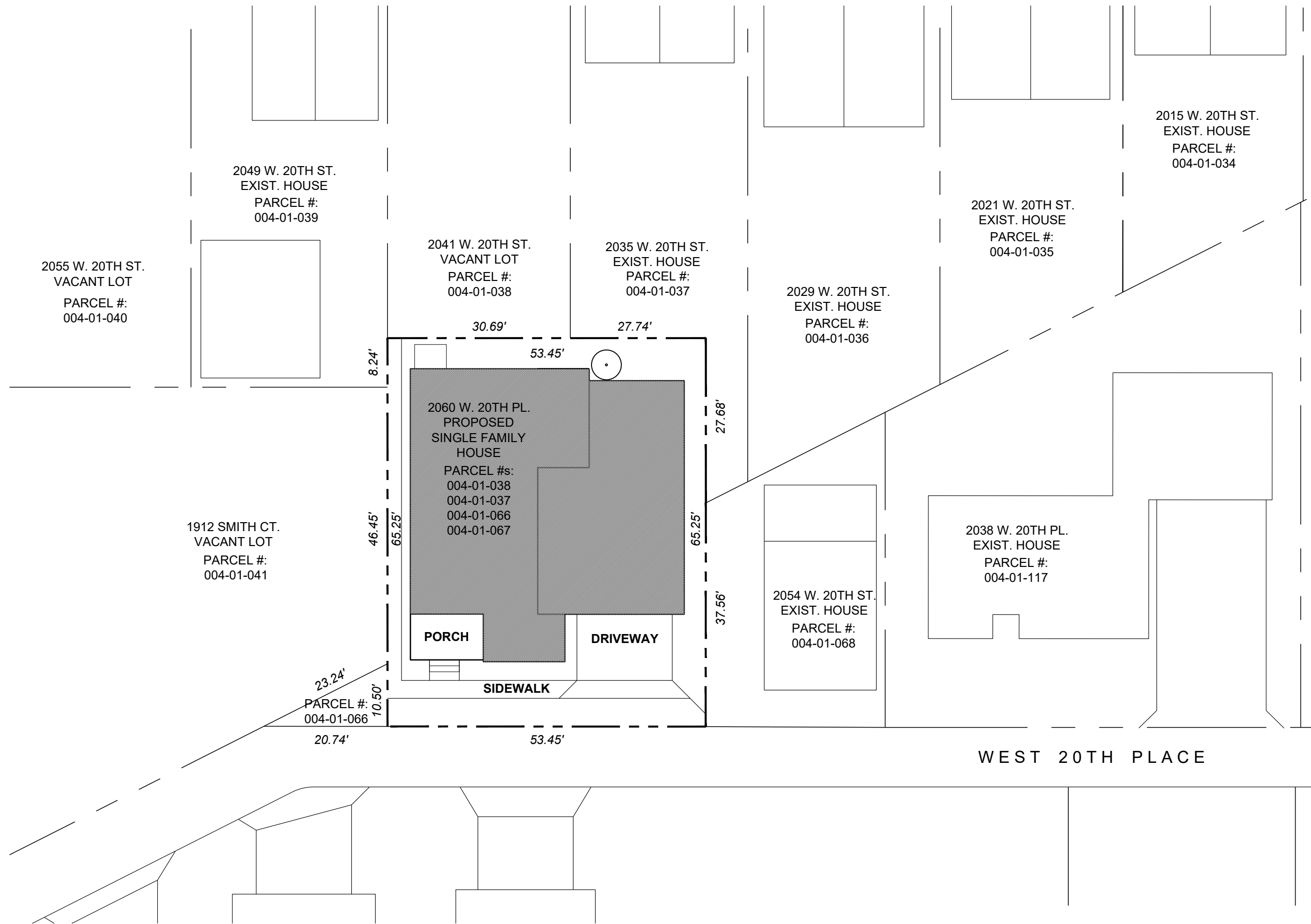
Job Number 21007

Sheet

PROPOSED
SITE PLAN

Discipline & Number

P1.03



1 - Proposed Site Plan

Scale: 1/16" = 1'-0" N>

Cleveland City Planning Commission

Conditional Use Permit



April 16, 2021

April 16, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Mandatory Referrals



April 16, 2021

Mandatory Referrals

April 16, 2021

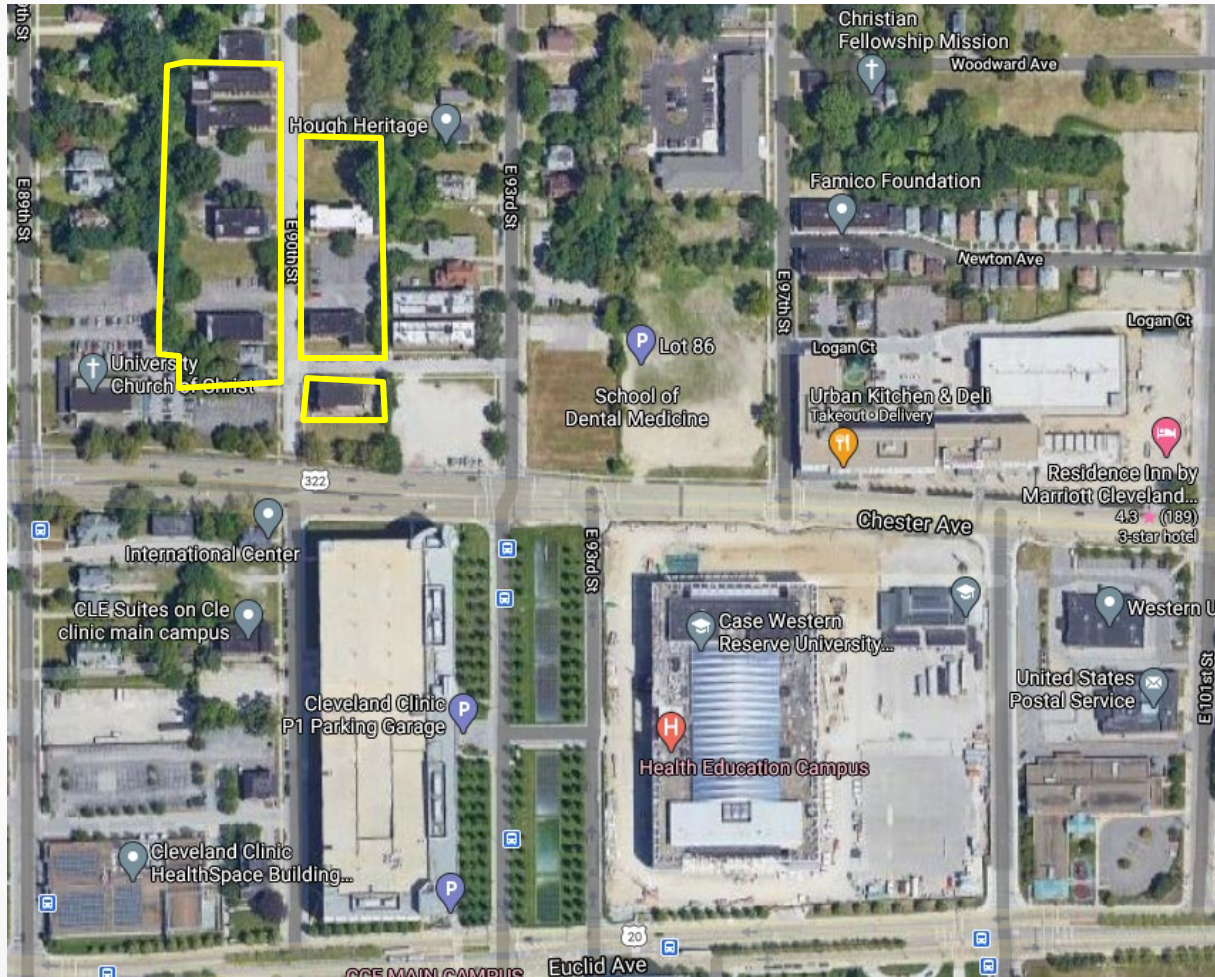


Ordinance No. 215-2021(Ward 7/Councilmember B. Jones): Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by Inspirion Group, LTD, or its designee, located at Chester Avenue and East 90th Street for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the Addis View Apartments Project.



Presentation for
CLEVELAND PLANNING COMMISSION
Addis View Apartments
April 16th, 2020

Location Map



Mixed-Use Phased Development in Hough
East 90th and Chester Avenue

Addis View Overview





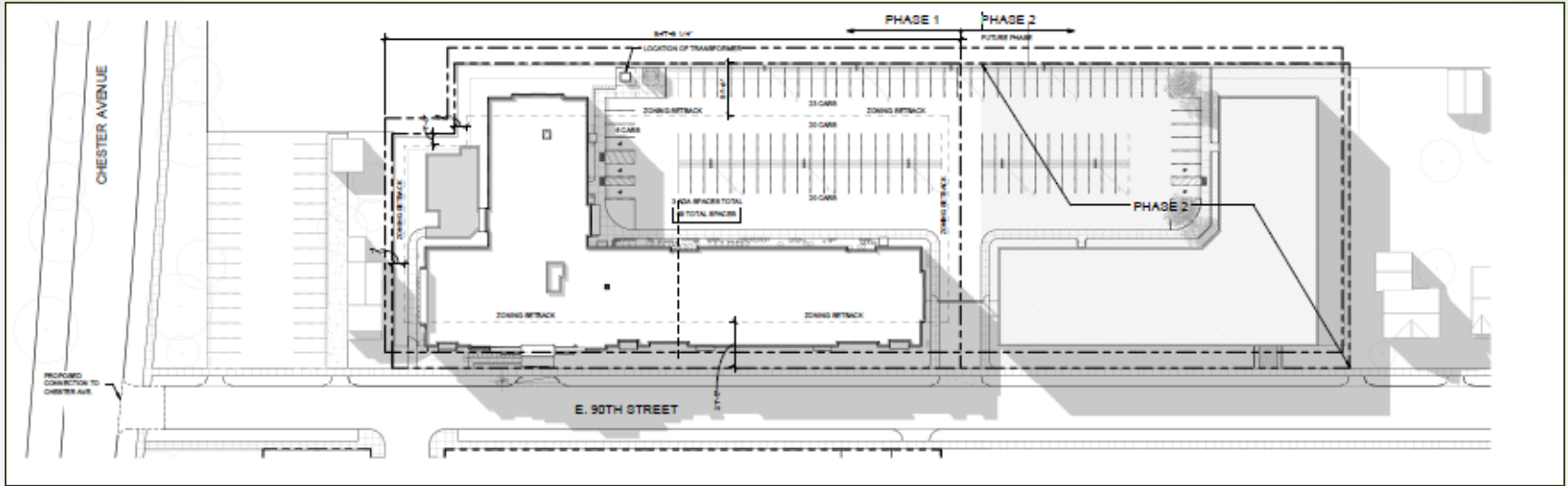
DEVELOPMENT PROGRAMMING

- Phase 1
 - 131 multi-family residential units
 - 4-story development
 - Proposed 69 surface parking spaces for residents
 - 8 bike spaces
 - Balcony features for some units
 - Courtyard for residents

Addis View Rendering



Additional Renderings



2020 Citywide Plan

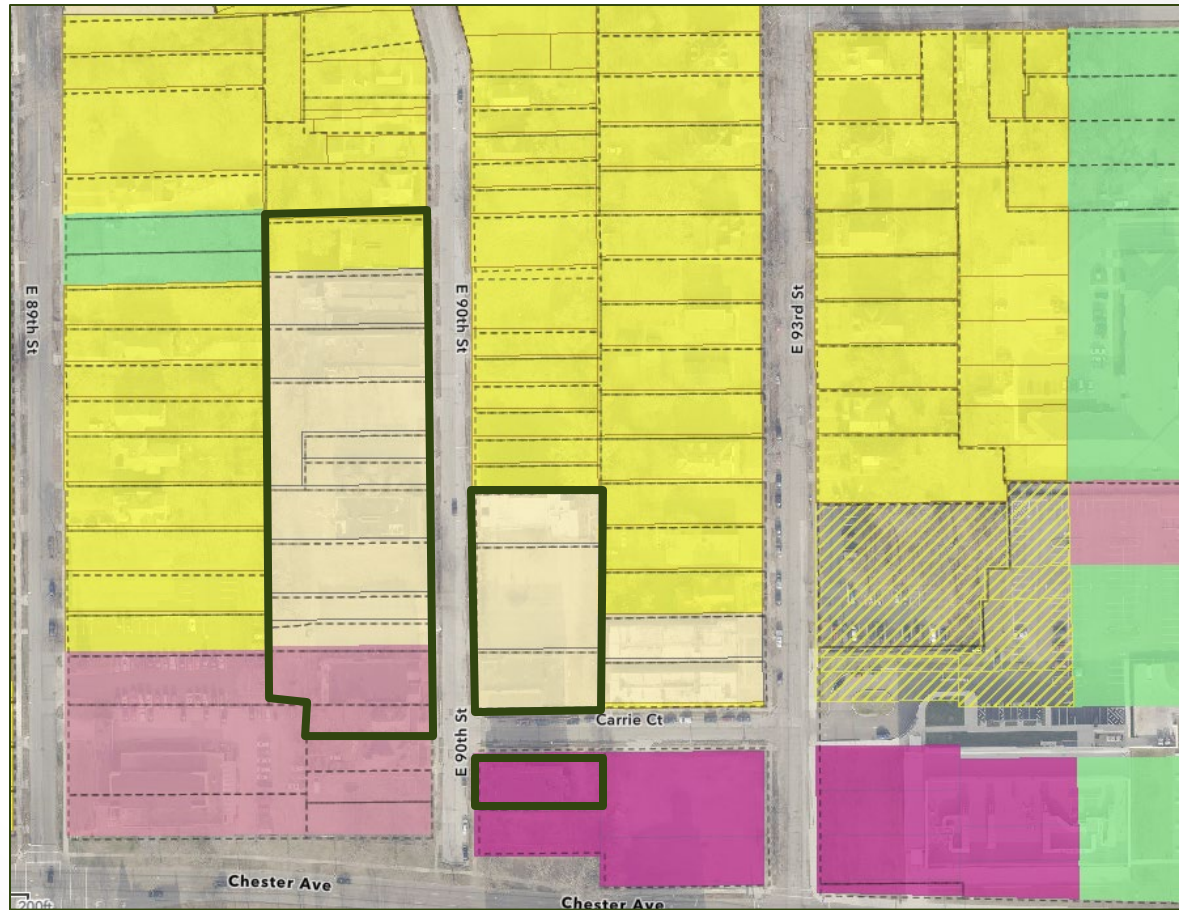
City Planning Layer Group

Overlay Frontage Lines

- PRO Special Sign Provision
- PRO Street Frontage
- Urban Frontage Line

Proposed Landuse 2020

- COMMERCIAL; COMMERCIAL
- LIGHT INDUSTRY; LIGHT INDUSTRY
- RECREATION/OPEN SPACE; RECREATION;
RECREATION/OPEN SPACE; RECREATIONAL
- RETAIL
- SINGLE / TWO FAMILY
- TRANSPORTATION
- COMMERCIAL PARKING
- COMMERCIAL SERVICES
- HEAVY INDUSTRY
- INFRASTRUCTURE
- INSTITUTIONAL
- MIXED-USE
- MULTI FAMILY; MULTI-FAMILY
- OFFICE
- OPEN SPACE
- RETAIL; RETAILL
- TOWNHOUSE; TOWNHOUSES
- TRANSPORTATION





PROCESS

- Economic Development Incentive – 30 year non-school TIF
- Per Ohio Revised Code, the City needs to enter into the Chain of Title prior to the adoption of a TIF
- Project has been presented for design review

Mandatory Referrals

April 16, 2021



Ordinance No. 228-2021(Ward 5/Councilmember Cleveland): Authorizing the Director of Economic Development to lease certain property located in the Opportunity Corridor Superblock 3B, to Norsom Development & Construction LLC, or its designee, for a term not to exceed three years; authorizing the Director of Public Works to enter into a Purchase Agreement with Norsom Development & Construction LLC, or its designee for those properties which are currently in the City's Land Reutilization Program, in connection with the construction and operation of the Construction Opportunity Institute of Cleveland; and authorizing the Commissioner of Purchases and Supplies to convey the properties, which are no longer needed for the City's public use.

CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND

EAST 79TH STREET, RAWLINGS AVENUE AND HOLTON AVENUE

DRAWING INDEX:

- 01 COVER PAGE
- 02 COIC CASE STATEMENT SUMMARY
- 03 CONTEXT MAP
- 04 SITE PLAN
- 05 TRAINING INSTITUTE FIRST FLOOR
- 06 TRAINING INSTITUTE SECOND FLOOR
- 07 WEST ELEVATION
- 08 NORTH, EAST, AND SOUTH ELEVATIONS
- 09 SERVICE BUILDING FLOOR PLAN
- 10-17 3D VIEWS



COIC'S GOALS ARE TO:

- Increase economic opportunities for people of color and people who identify as women in Northeast Ohio.
- Increase diversity in the construction sector by building a pipeline of skilled laborers.
- Contribute to inclusive economic growth in Northeast Ohio.

The heart of COIC is a state-of-the-art community campus situated in Cleveland's Kinsman neighborhood (bordered to the North and South by Rawlings Avenue and Holton Avenue, and to the West and East by E. 79th and E. 83rd). The campus will feature a 47,800-square-foot Education Center, 5,000+ square-foot Service Center, full-scale concrete, pre-cast concrete and asphalt plants for hands-on learning. On this campus, COIC will deliver the following programming--all of which will be provided at *no cost* to participants:

1. Educational assessment and development of individualized academic plan.
2. Pre-apprenticeship workforce development training to prepare participants for a construction career.
3. Holistic wraparound services to help participants overcome barriers that may impede their success.
4. Community programming.

SHORT-TERM OUTCOMES (2-5 YEARS FOLLOWING PROGRAM LAUNCH):

- COIC will serve 100-200 Northeast Ohio residents a year through a pre-apprenticeship workforce development program, with an emphasis on people of color, people who identify as women, people who were formerly incarcerated, and Veterans.
- COIC will serve 50-75 high school students a year through career readiness and career exposure activities.
- COIC will serve 500 community residents a year through a variety of education and outreach activities.
- 80% of participants will successfully complete the pre-apprenticeship program and demonstrate specific competencies associated with their selected specialty (Structural; Mechanical, Electrical, Plumbing; or Construction Design), as detailed in the Ohio Department of Education's Career Field Technical Content Standards for construction technologies.
- Up to 60% of participants will obtain industry credentials or certification.
- Up to 60% of participants will be placed in a wage-earning apprenticeship or job.
- Up to 60% of participants will increase their mastery of soft skills needed for job success, as measured by pre- and post-assessments.

LONG-TERM OUTCOMES (5+ YEARS AFTER LAUNCH):

COIC's long-term goal is to move the needle on the systemic issues that have kept people of color and people who identify as women underrepresented in the construction field. Through COIC's efforts, it will contribute to the following long-term outcomes:

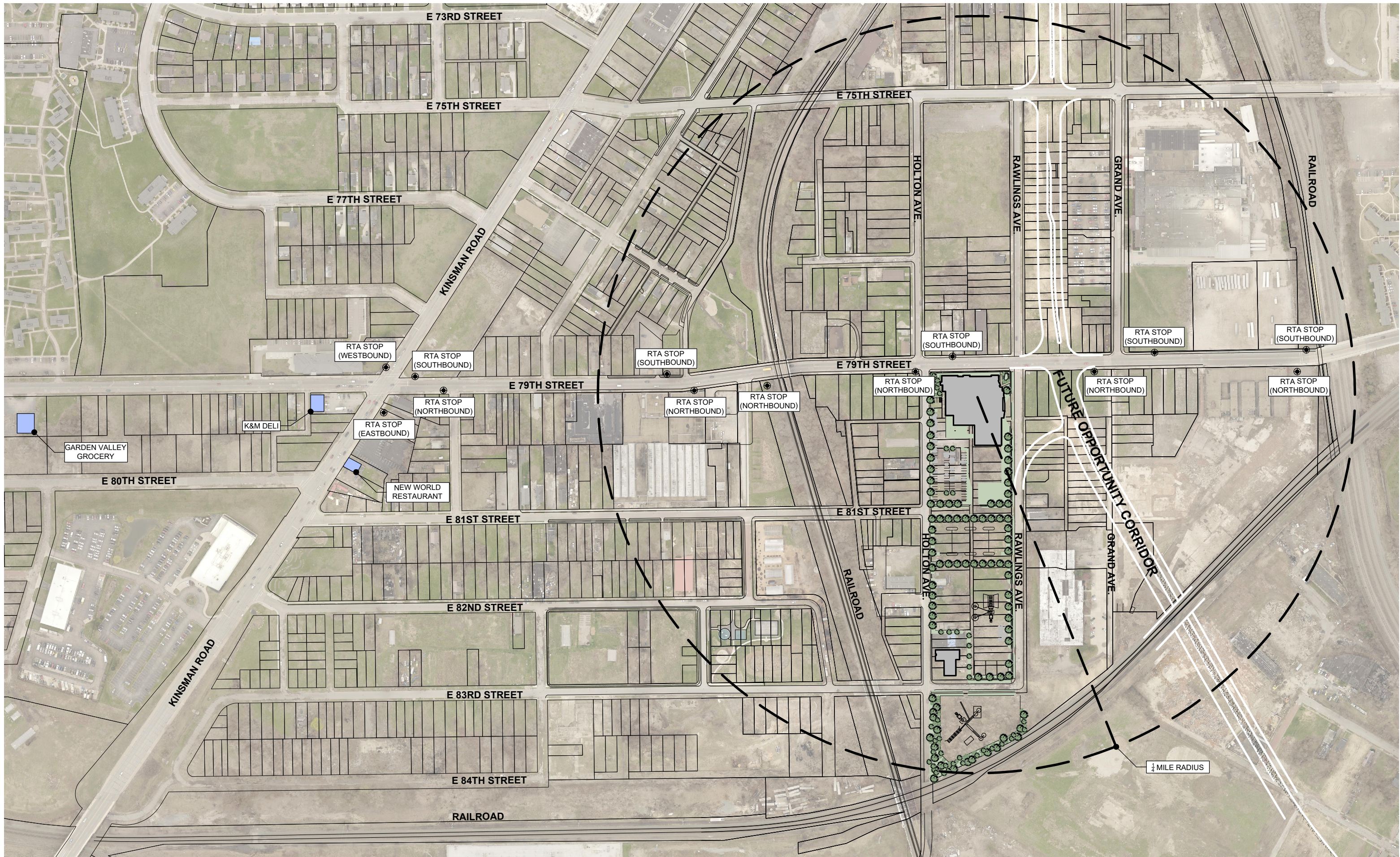
- The percentage of construction workers in Northeast Ohio who are people of color and people who identify as women will increase.
- The number of unfilled jobs in Northeast Ohio's construction field will decrease.
- Northeast Ohio's construction industry will realize economic growth.

COIC CASE STATEMENT SUMMARY

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021





CONTEXT MAP

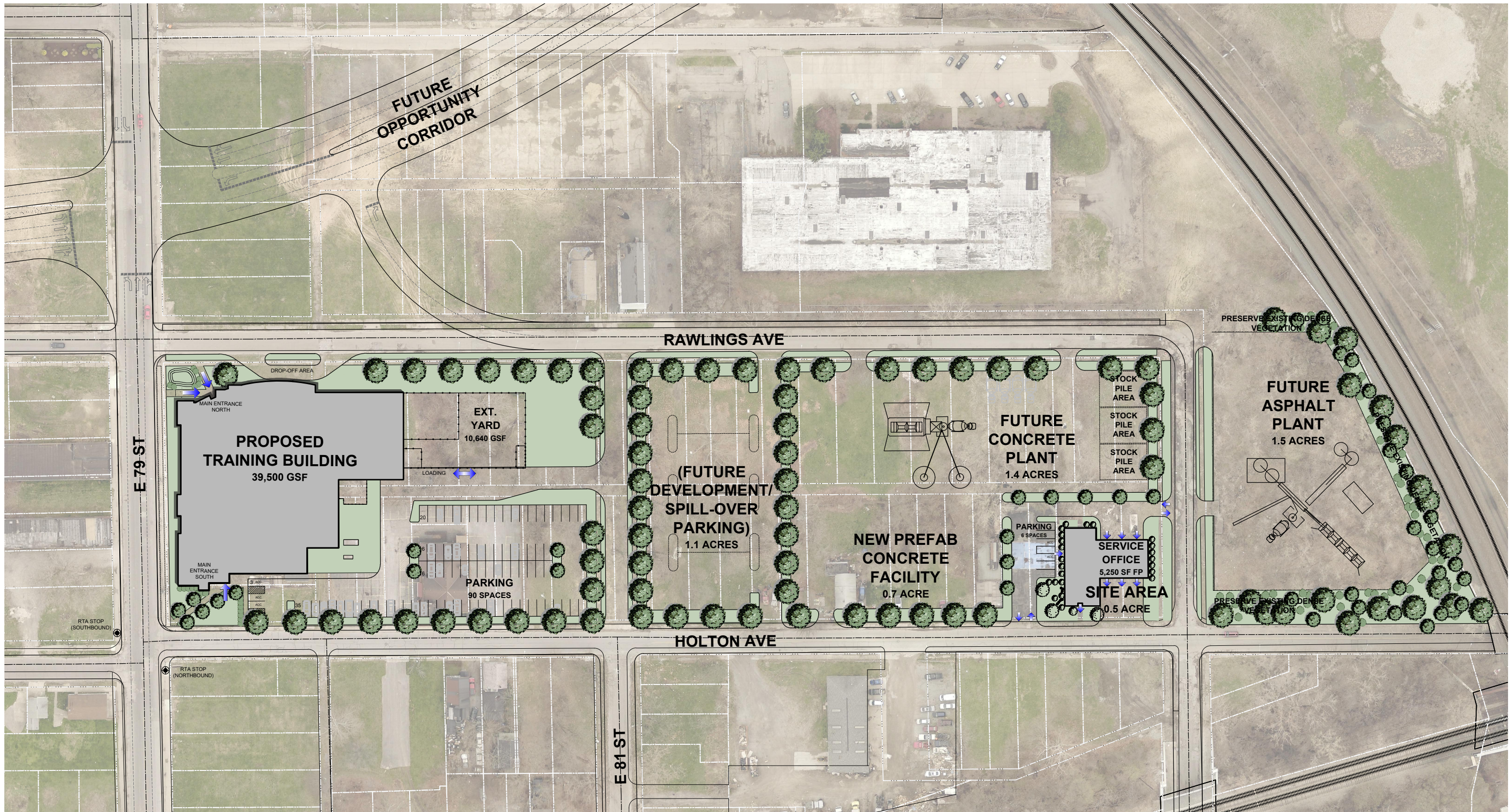
EAST 79TH STREET, RAWLINGS AVENUE, AND HOLT ON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

150' 300' 600' 1,200' 2,400'



APRIL 8, 2021





OFF-STREET PARKING QUANTITY ESTIMATE:

ESTIMATED OCCUPANT LOAD	= 468
STAFF PARKING (1 FOR EVERY 2 STAFF = 20/2)	= 10
TRAINEES (1 FOR EVERY 10 SEATS = $\frac{50}{10}$)	= 5
AUDITORIUM (1 FOR EVERY 6 SEATS = $\frac{200}{6}$)	= 33
TOTAL PARKING REQUIRED PER CODE	= 48
BASE PARKING SHOWN	= 96

TRAINING INSTITUTE - SITE PLAN

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

50' 100' 200' 400' 800'



APRIL 8, 2021



RAWLINGS AVENUE

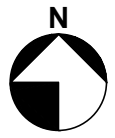
COLOR LEGEND

- ENTRANCES & VERTICAL CIRCULATION
- ASSESSMENT/INTERVENTION/REMEDIAION AREAS
- LIBRARY RESOURCE CENTER
- TECHNOLOGY
- PRE-APPRENTICESHIP
- COIC
- BUILDING SUPPORT
- RENTABLE TENANT SPACE



1ST FLOOR = 39,500 GSF
 2ND FLOOR = 8,315 GSF
 TOTAL = 47,815 GSF

TRAINING INSTITUTE - FIRST FLOOR PLAN
 EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

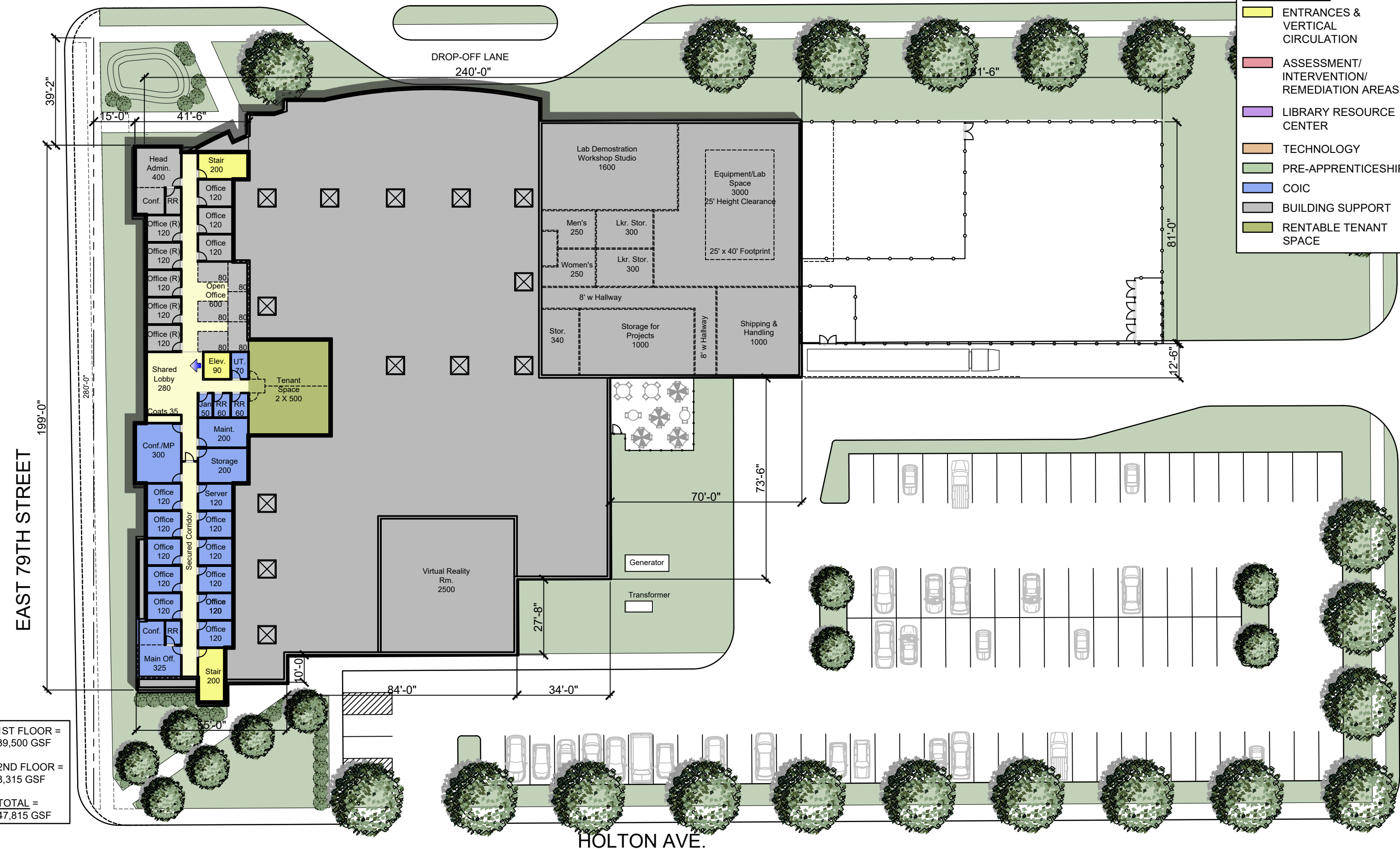


APRIL 8, 2021



16' 32' 64' 128' 256'

RAWLINGS AVENUE



COLOR LEGEND

- ENTRANCES & VERTICAL CIRCULATION
- ASSESSMENT/ INTERVENTION/ REMEDIATION AREAS
- LIBRARY RESOURCE CENTER
- TECHNOLOGY
- PRE-APPRENTICESHIP
- COIC
- BUILDING SUPPORT
- RENTABLE TENANT SPACE

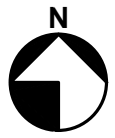
1ST FLOOR =
39,500 GSF

2ND FLOOR =
8,315 GSF

TOTAL =
47,815 GSF

TRAINING INSTITUTE - SECOND FLOOR PLAN

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)



APRIL 8, 2021

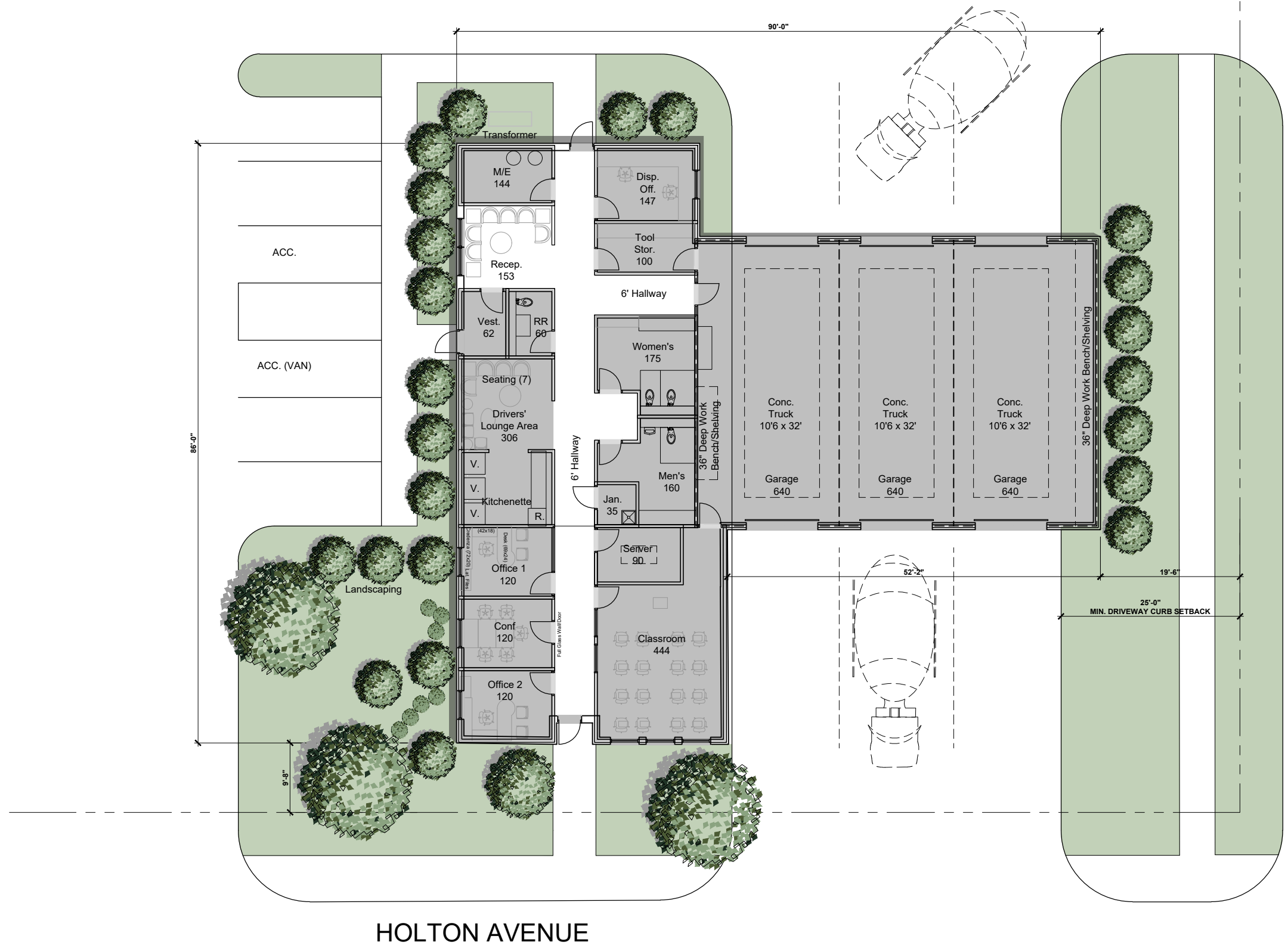


16' 32' 64' 128' 256'

GARAGE WING =
2,295 GSF

OFFICE WING =
2,955 GSF

TOTAL =
5,250 GSF



EAST 83RD STREET

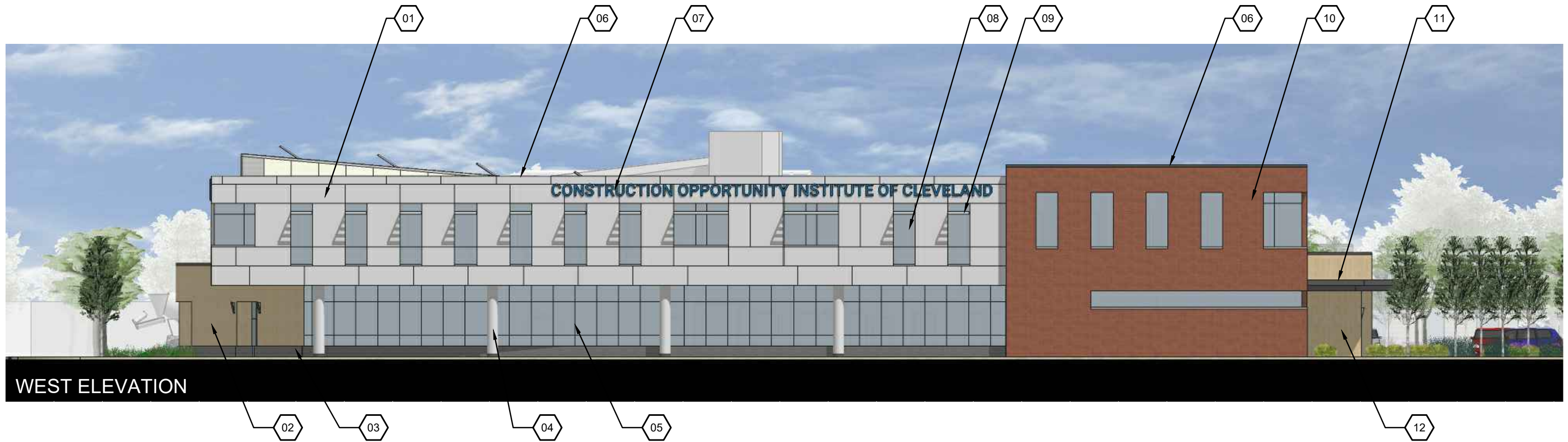
SERVICE BUILDING - FLOOR PLAN

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021



8' 16' 32' 64' 128'



WEST ELEVATION

ELEVATION CODED NOTES:

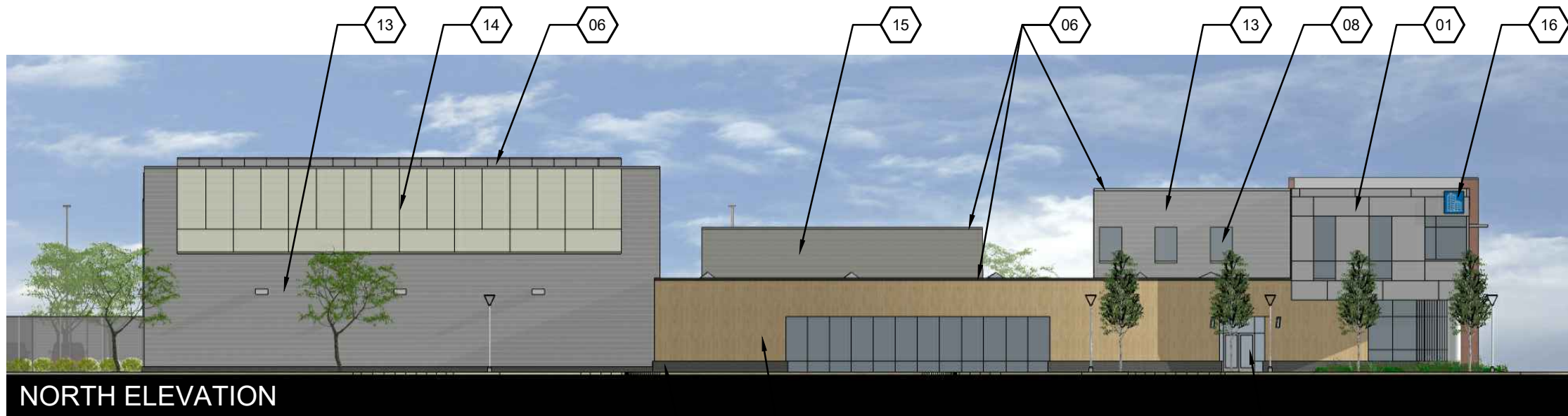
17	NORTH STOREFRONT ENTRANCE	09	PRE-FINISHED SUNSCREEN LOUVER	01	PRE-FINISHED ALUMINUM COMPOSITE PANELING
18	SOUTH STOREFRONT ENTRANCE	10	FACE BRICK VENEER	02	MODULAR CAST-STONE VENEER
19	15' TALL PEDESTRIAN LED LIGHT POLE	11	PRE-FINISHED METAL CANOPY	03	GROUND-FACED CMU
20	30' TALL STREET/PARKING LED LIGHT POLE	12	MODULAR CAST-STONE VENEER	04	PRE-FINISHED COLUMN COVERS
21	PAINTED STEEL DOOR	13	PRE-FINISHED HORIZONTAL METAL SIDING, COLOR "A"	05	ALUMINUM-FRAMED, PRE-FINISHED, INSULATED, GLAZED STOREFRONT SYSTEM
22	LED WALL SCONCE	14	TRANSLUCENT SANDWICH PANELS	06	PRE-FINISHED METAL COPING
23	SOLAR PANELS	15	PRE-FINISHED HORIZONTAL METAL SIDING, COLOR "B"	07	26' HIGH ILLUMINATED CHANNEL LETTER BUILDING SIGNAGE
24	10' TALL PRE-FINISHED STEEL SECURITY FENCE	16	ILLUMINATED COIC LOGO SIGNAGE	08	ALUMINUM-FRAMED, INSULATED, FIXED WINDOW SYSTEM

WEST ELEVATION

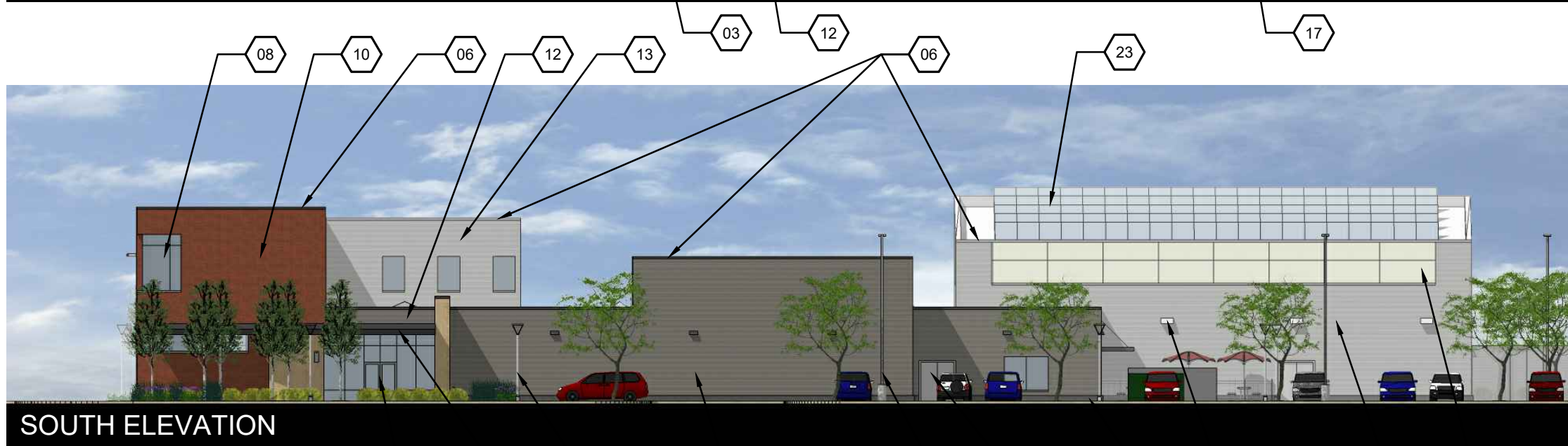
EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021

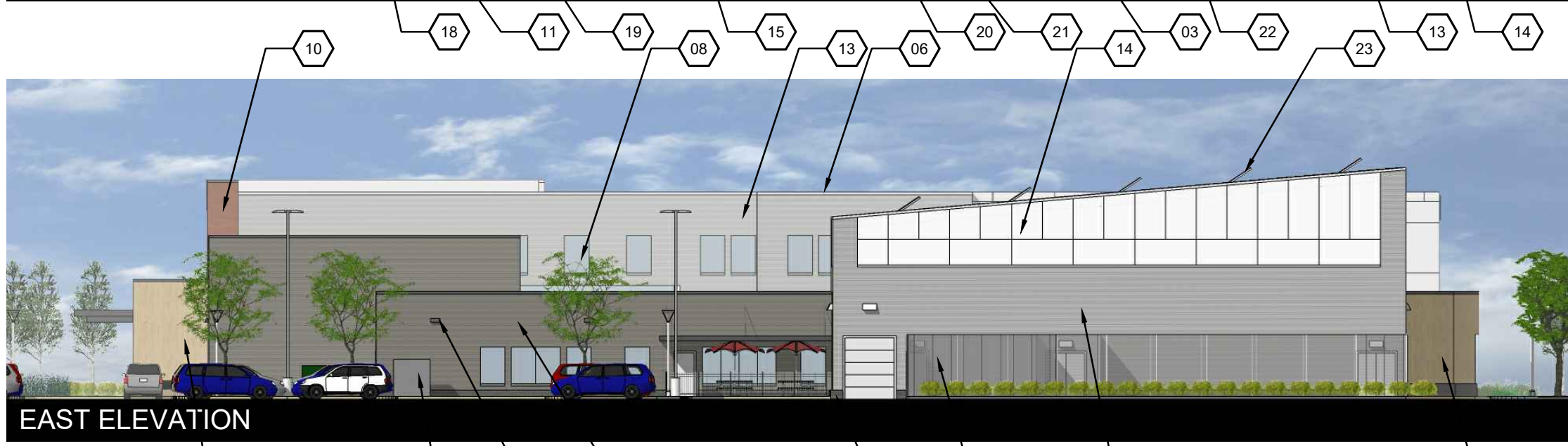




NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

NORTH, SOUTH, AND EAST ELEVATIONS

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

ELEVATION CODED NOTES:

01	PRE-FINISHED ALUMINUM COMPOSITE PANELING
02	MODULAR CAST-STONE VENEER
03	GROUND-FACED CMU
04	PRE-FINISHED COLUMN COVERS
05	ALUMINUM-FRAMED, PRE-FINISHED, INSULATED, GLAZED STOREFRONT SYSTEM
06	PRE-FINISHED METAL COPING
07	26' HIGH ILLUMINATED CHANNEL LETTER BUILDING SIGNAGE
08	ALUMINUM-FRAMED, INSULATED, FIXED WINDOW SYSTEM
09	PRE-FINISHED SUNSCREEN LOUVER
10	FACE BRICK VENEER
11	PRE-FINISHED METAL CANOPY
12	MODULAR CAST-STONE VENEER
13	PRE-FINISHED HORIZONTAL METAL SIDING, COLOR "A"
14	TRANSLUCENT SANDWICH PANELS
15	PRE-FINISHED HORIZONTAL METAL SIDING, COLOR "B"
16	ILLUMINATED COIC LOGO SIGNAGE
17	NORTH STOREFRONT ENTRANCE
18	SOUTH STOREFRONT ENTRANCE
19	15' TALL PEDESTRIAN LED LIGHT POLE
20	30' TALL STREET/PARKING LED LIGHT POLE
21	PAINTED STEEL DOOR
22	LED WALL SCONCE
23	SOLAR PANELS
24	10' TALL PRE-FINISHED STEEL SECURITY FENCE

APRIL 8, 2021





NORTHWEST LOOKING SOUTHEAST

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021





EAST 79TH STREET NORTHWEST VIEW LOOKING SOUTH

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021





SOUTHEAST REAR VIEW FROM HOLTON AVE.

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021





SOUTHWEST LOOKING NORTHEAST

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021





SOUTHWEST LOOKING NORTHEAST

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

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SERVICE BUILDING - SOUTHWEST LOOKING NORTHEAST

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021





NORTHWEST LOOKING SOUTHEAST

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021



NORTHWEST LOOKING SOUTHEAST

EAST 79TH STREET, RAWLINGS AVENUE, AND HOLTON AVENUE - CONSTRUCTION OPPORTUNITY INSTITUTE OF CLEVELAND (COIC)

APRIL 8, 2021

Mandatory Referrals

April 16, 2021



Ordinance No. 230-2021(Ward 10/Councilmember Hairston): Authorizing the Commissioner of Purchases and Supplies to sell certain City-owned property not needed for public use located at 5470 Lake Court to SCN Services LLC for purposes of business expansion; and proffering certain representations for purposes of the Amended and Restated Trust Indenture from the City of Cleveland.

Cleveland City Planning Commission

Real Estate Legislation
April 16, 2021

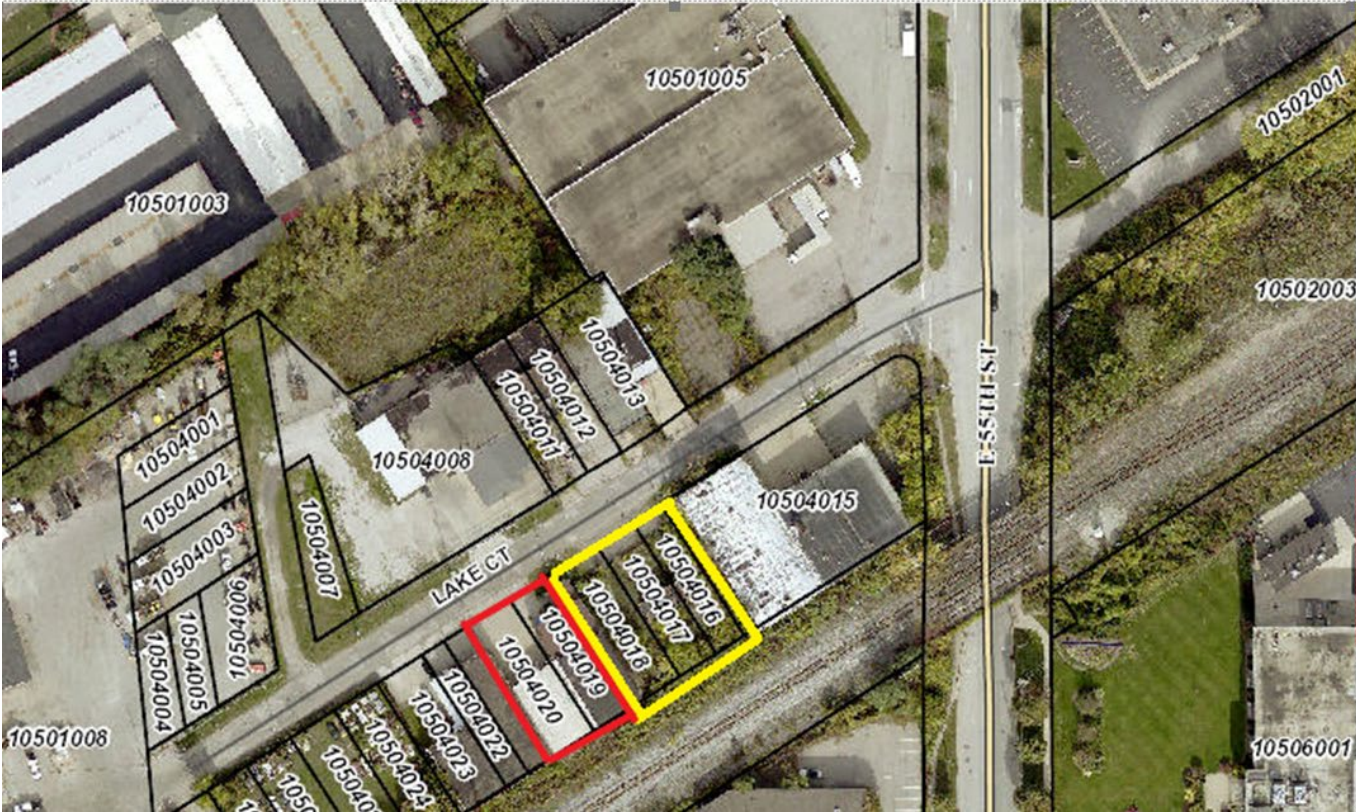


CITY OF CLEVELAND
Mayor Frank G. Jackson



Ord. No. 230-2021

Sale of PPNs 105-04-016, -017 and -018 for Business Expansion



CPP owned land to be sold to SCN Services LLC

Existing SCN Services LLC-owned building and operations

Ord. No. 230-2021

Sale of PPNs 105-04-016, -017 and -018 for Business Expansion
Existing Headquarters Building 5466 Lake Court



Ord. No. 230-2021

Sale of PPNs 105-04-016, -017 and -018 for Business Expansion
Existing Condition of CPP Property 5470 Lake Court



Ord. No. 230-2021

Sale of PPNs 105-04-016, -017 and -018 for Business Expansion

Project Details:

- Director of Dept. of Public Utilities will sell land no longer needed by CPP located at 5470 Lake Court to SCN Services LLC for expansion of its existing power tool and equipment servicing business, Kay Dee Air & Electric Tool.
- The 3 parcels of surplus land will be consolidated with the Company's existing headquarters. The Company has been working with the Department of Economic Development on plans for the expansion of its existing business, a factory authorized service center, which provides parts and service for all commercial applications, contractors, and individual users of power tools and equipment.

Ord. No. 230-2021

Sale of PPNs 105-04-016, -017 and -018 for Business Expansion

- The CPP Properties consist of 3 parcels totaling approximately 106' x 120' and containing 12,720 square feet, or 0.29 acres.
- A substation formerly used by Cleveland Public Power is located on the CPP Properties, and SCN Services LLC has agreed to purchase the property with the existing building and subject to any environmental issues.
- The sale will put the land into productive reuse, while removing maintenance responsibility from the City.

Cleveland City Planning Commission

Administrative Approvals



April 16, 2021

Administrative Approvals

April 16, 2021



Ordinance No. 207-2021(Ward 2/Councilmember Bishop): Authorizing the Director of Public Works to ground lease certain property located at 13000 Harvard Avenue from the Cleveland Metropolitan School District, for a term not less than ten years, for operating the John F. Kennedy Recreation Center located on the John F. Kennedy High School campus.

Administrative Approvals

April 16, 2021



Ordinance No. 210-2021(Citywide – Introduced by Councilmembers Bishop and Kelley by departmental request): Determining the method of making the public improvement of constructing, rehabilitating, renovating, replacing or otherwise improving recreation facilities, ancillary recreation buildings, and other similar structures, on City-owned and City-leased park property, including site improvements and appurtenances; authorizing the Director of Public Works or Capital Projects, as appropriate; enter into one or more public improvement contracts for the making of the improvement; enter into one or more professional services and other contracts needed to implement the improvement; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Department of Public Works and Office of Capital Projects.

Administrative Approvals



April 16, 2021

Ordinance No. 211-2021(Citywide – Introduced by Councilmembers Bishop and Kelley by departmental request): Determining the method of making the public improvement of constructing, rehabilitating, renovating, replacing or otherwise improving public facilities, buildings, and other similar structures, including site improvements and appurtenances; and authorizing the Director of Public Works or Capital Projects, as appropriate, to enter into one or more public improvement contracts for the making of the improvement; enter into one or more professional services and other contracts needed to implement the improvement; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Department of Public Works and Office of Capital Projects.

Administrative Approvals

April 16, 2021



Ordinance No. 212-2021(Citywide – Introduced by Councilmembers Bishop and Kelley by departmental request): Determining the method of making the public improvement of repairing, constructing, or installing, roadways, bus pads, sidewalks, driveway aprons, curbs, brick streets, ADA compliant curb ramps, minor bridge repairs, and appurtenances, and asphalt resurfacing and asphalt crack sealing; authorizing the Director of Capital Projects to enter into one or more public improvement requirement contracts for the making of the improvement; authorizing the director to apply for and accept any gifts or grants; and authorizing any agreements, for a period not to exceed two years.

Administrative Approvals

April 16, 2021



Ordinance No. 217-2021(Ward 7/Councilmember B. Jones): Establishing an Urban Form Overlay on the Chester Avenue frontage of Permanent Parcel Number 118-10-042.

Administrative Approvals

April 16, 2021



Ordinance No. 220-2021(Ward 12/Councilmember Brancatelli): Changing the Use, Area and Height Districts of parcels of land north and south of Harvard Avenue between slightly west of East 71st Street to Ottawa Road and east and west of East 71st Street between Indiana Avenue and Clement Avenue.

Administrative Approvals

April 16, 2021



Ordinance No. 221-2021(Ward 12/Councilmember Brancatelli): Changing the Use, Area and Height Districts of parcels of land west of the Pennsylvania Railroad and north and south of Harvard Avenue between East 76th Street and the Pennsylvania Railroad.

Cleveland City Planning Commission

Design Review Cases



April 16, 2021

Northeast Design Review Case



April 16, 2021

NE2021-004 – McPhillips Plumbing Pole Sign: Seeking Final Approval

Project Address: 16115 Waterloo Road

Project Representative: Tom Yankovich, Ellet Sign

16115 WATERLOO ROAD

CITY PLANNING COMMISSION
APRIL 16, 2021



Proposal

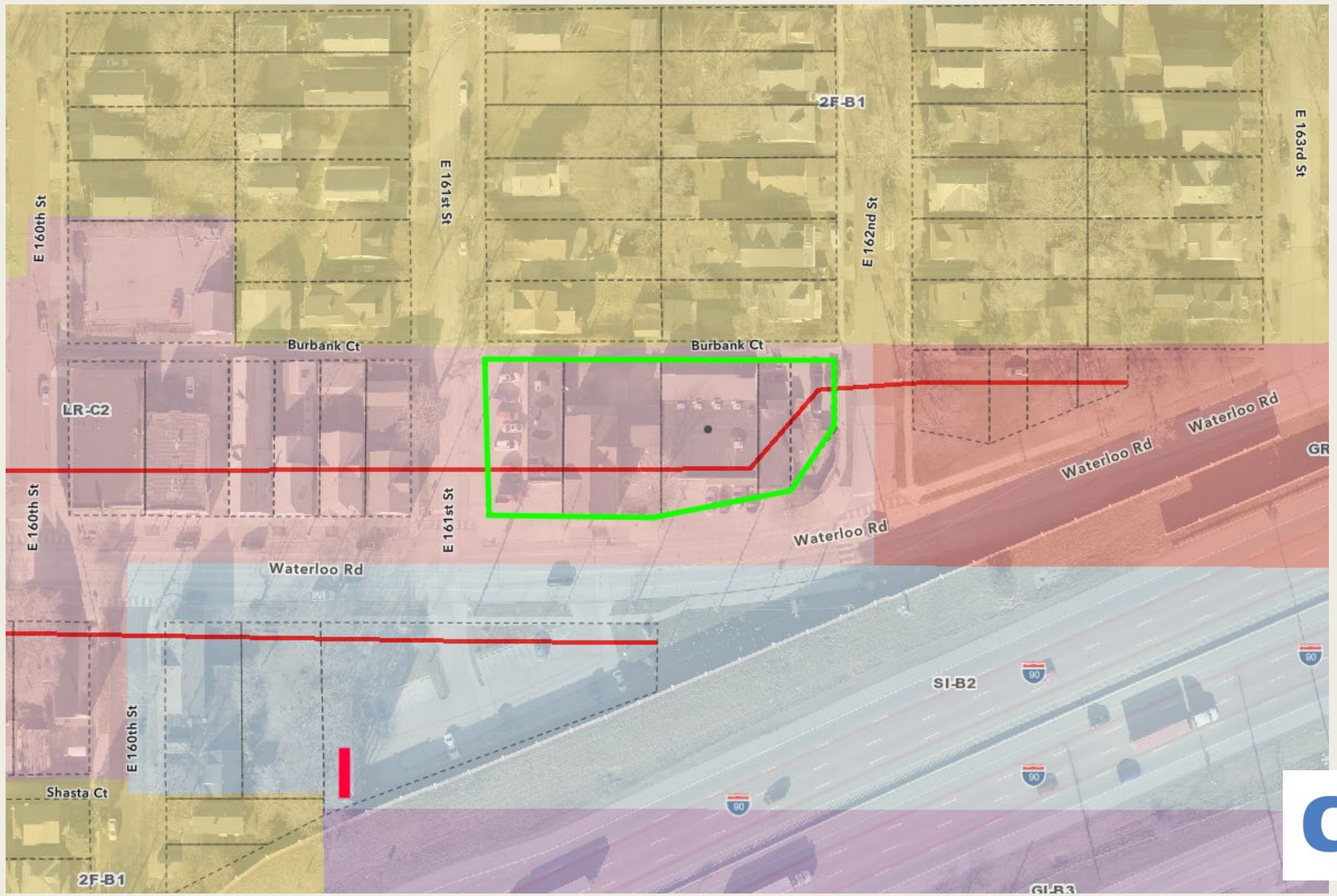
Replacing existing business identification sign with an **80 foot tall** (above grade) (6 feet below grade), **219 sf double faced** pole sign with an **Electronic Message Center** (Automatic Changeable Copy), in a Local Retail Business District & Pedestrian Retail Overlay District.

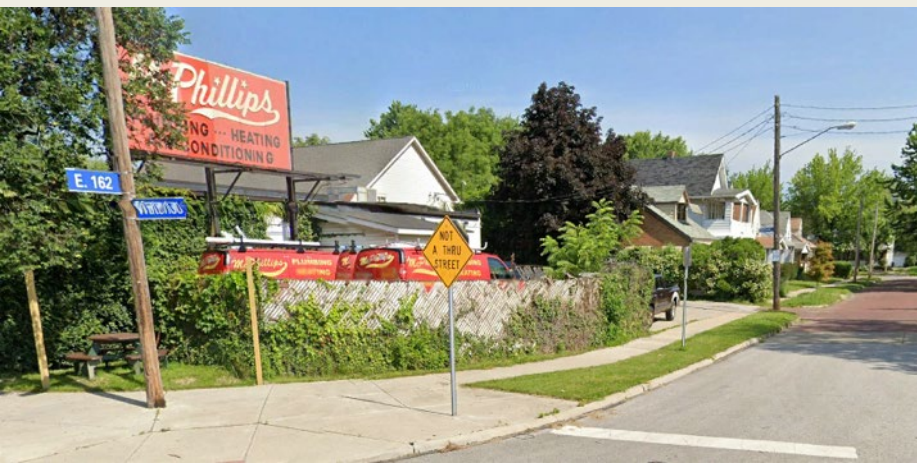
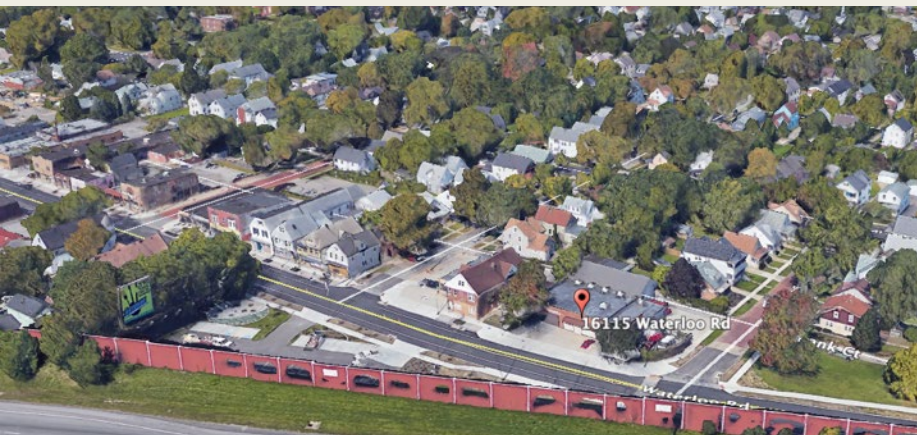
Purpose

Applicant suggests 30-foot brick sound barrier prohibits them from advertising their heating/plumbing services to the I-90 Freeway.



Zoning & Existing Conditions





Why City Planning Commission?

- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: *(Administrative approval does not apply)*
 - **Design Compatibility:** may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
 - **Design Guidelines:** any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
 - **Minimum Variation:** Any variation shall be the **MINIMUM** necessary to ensure design compatibility



What is a Freeway Interchange Sign?

- A sign that provides information to a highway traveler that is permitted for a business located on a parcel that is immediately adjacent to freeway in proximity to a freeway interchange and meets the following standards:
 - A retail business that is located within 660 feet (1/8 mile) of the nearest freeway exit ramp
 - Height shall not exceed 80 feet above grade level at the base of structure
 - Sign shall not exceed 225 square feet
 - Sign must be located on business premises and shall be setback 5 feet from freeway right of way, ten feet from other street right of way lines, twenty five feet from interior lot lines and fifty feet from Residential District lines
 - Shall be oriented principally to freeway
 - Only permitted in General Retail Zoning Districts and Industrial Districts

Why is this not defined as a *Freeway Interchange Sign*?

- Sign proposal is on parcel not adjacent to freeway but across Waterloo
- Parcel is 1,624 feet away from the nearest exit ramp
- Sign is immediately adjacent to a residential district and a residential dwelling unit to the north.
- Parcel is zoned Local Retail Business in a PRO
- A legally existing billboard is within 183 feet

Proposed sign & location does not meet the requirements to be defined as a Freeway Interchange Sign and if defined, would need the above variances as well



Free-Standing Business Identification Sign

- **Business Sign:** An identification sign which may also display such detailed information about the operation of the business as brand names of goods or services offered on the premises, prices or special “sale” information, forms of payment accepted, hours of operation, telephone number and so forth
- **Identification Sign:** A sign identifying or naming of business, building, use, etc.
- **Free-Standing Sign:** A sign not attached to a building that is either attached directly to the ground, placed in the ground, displayed on natural or man-made object (not a building) or elevated on a pole or other structure attached to the ground
- **Automatic Changeable Copy Sign:** A sign or portion thereof on which the copy changes automatically or animation is displayed through electronic means (message centers)



Variances Required

Free-standing business identification signs are only permitted to have a maximum sign face of 50 square feet. **169 sf variance required**

Local Retail Business districts only permit 12' free standing business identification signs; All other retail and industry districts permit free standing signs to be a maximum height of 25 feet. **69 ft tall variance required**

Automatic Changeable Copy Signs are only permitted in Local Retail Business Districts if receive a variance in accordance with following standards:

- proposed sign will not adversely impact character of nearby properties and will NOT cause disturbances to those properties
- design and placement is approved by CPC
- Each display of info is static or fixed for minimum of 20 seconds – prohibiting flashing, scrolling, animated or other that gives appearance of motion unless CPC determines animation or more frequent displays can occur without disturbing nearby properties.



Variations Required

Free-standing business identification signs are only permitted to have a maximum sign face of 50 square feet. Applicant is proposing 219 sf.

169 sf variance required



Free-standing signs are only permitted to be 12 feet in height in LR Districts; 25 ft height max in all other districts. Applicant is proposing 80 ft above grade;

69 ft tall variance required

Billboards

max height = 50 feet and shall in no case be taller than max height district (Height district = "2" or 60 feet)

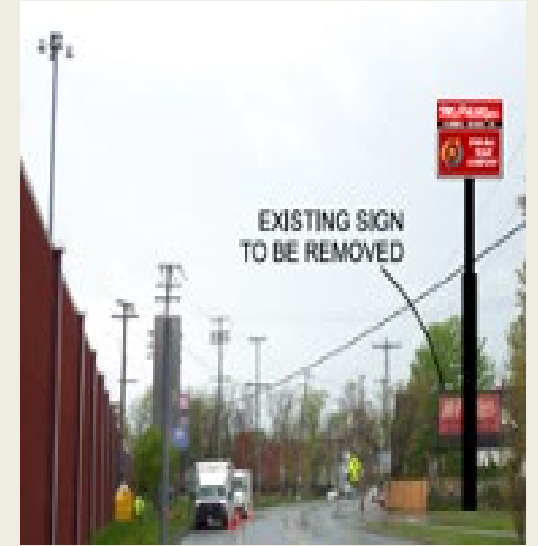


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69 ft tall variance required

Variations Required



Variances Required

Automatic Changeable Copy Signs are only permitted in Local Retail Business Districts if receive a variance in accordance with following standards:

- proposed sign will not adversely impact character of nearby properties and will NOT cause disturbances to those properties
- design and placement is approved by CPC
- Each display of info is static or fixed for minimum of 20 seconds – prohibiting flashing, scrolling, animated or other that gives appearance of motion unless CPC determines animation or more frequent displays can occur without disturbing nearby properties.

Public and/or Community Messaging proposal is content based regulations & not permitted



Motion

Initial Motion to approve variances failed 3-2 because:

- ❑ Sign Face Area & Height Variances needed does not meet requirement of “minimum variation” as required by §350.16[c]
 - ❖ Variance request for height over sound barrier is excessive, a shorter sign would make more sense
 - ❖ A regular static/cabinet identification sign sufficient that meets code
- ❑ Sign Face Area, Height & EMC Variances does not meet the requirement of “design compatibility” to enhance the character of property and surrounding residential/retail properties for CPC ability to vary (per §350.16[a]/[b])
 - ❖ *Despite light study, automatic changeable copy sign at 80 feet tall will be a nuisance to the residential neighbors to the north, is unnecessary & does not enhance the character of the area*



Motion

Initial Motion of 2 in support to approve used Rick Case Hyundai Sign as precedent to meet visibility goals:

- ❑ Rick Case Hyundai sign is located at 19991 Villaview Rd is on an exit ramp and as such is a legally established freeway interchange sign.
- ❑ Rick Case Hyundai sign is 48 feet tall and located in an *Industrial District* and within a commercial/industrial corridor

- ❑ Rick Case Hyundai sign is not within 50 feet of residential district as it fronts property

NO VARIANCES REQUIRED



Variations Required

Free-standing business identification signs are only permitted to have a maximum sign face of 50 square feet. **169 sf variance required**

Local Retail Business districts only permit 12' free standing business identification signs; All other retail and industry districts permit free standing signs to be a maximum height of 25 feet. **69 ft tall variance required**

Automatic Changeable Copy Signs are only permitted in Local Retail Business Districts if receive a variance in accordance with to the aforementioned standards

Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ Are these variances the *minimum necessary* to ensure **design compatibility with surrounding properties and residential neighbors?**



16' 2"

4' 9"

13' 7"

8' 10"

66'



219 SQ FT



PROPOSED VIEW

ONE (1) DOUBLE-FACED HI-RISE POLE SIGN

CLIENT MC PHILLIPS	PROJECT/LOCATION 16115 WATERLOO RD, CLEVELAND, OHIO 44110	DATE 1/26/21	ACCOUNT REP TY	DESIGNER MC	FILE H2894 A2
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NO SCALE

APPROVED _____

DATE _____

PH 1-330-628-9907
 FX 1-330-628-8347
 TOLL FREE 1-888-652-8607
 www.elletneon.com

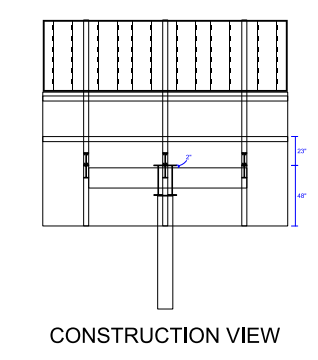
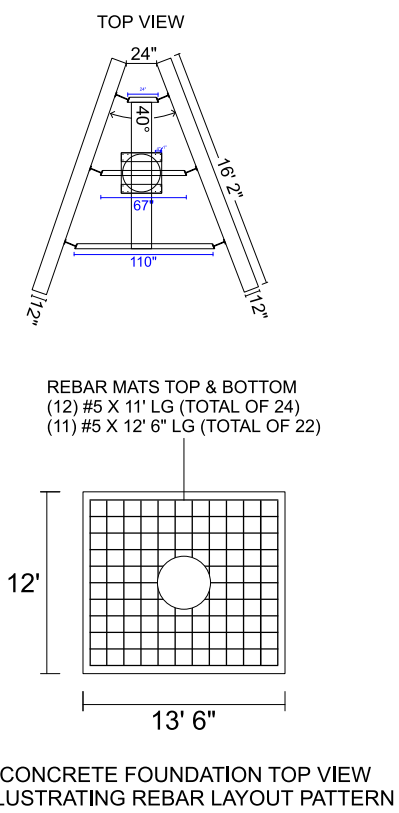
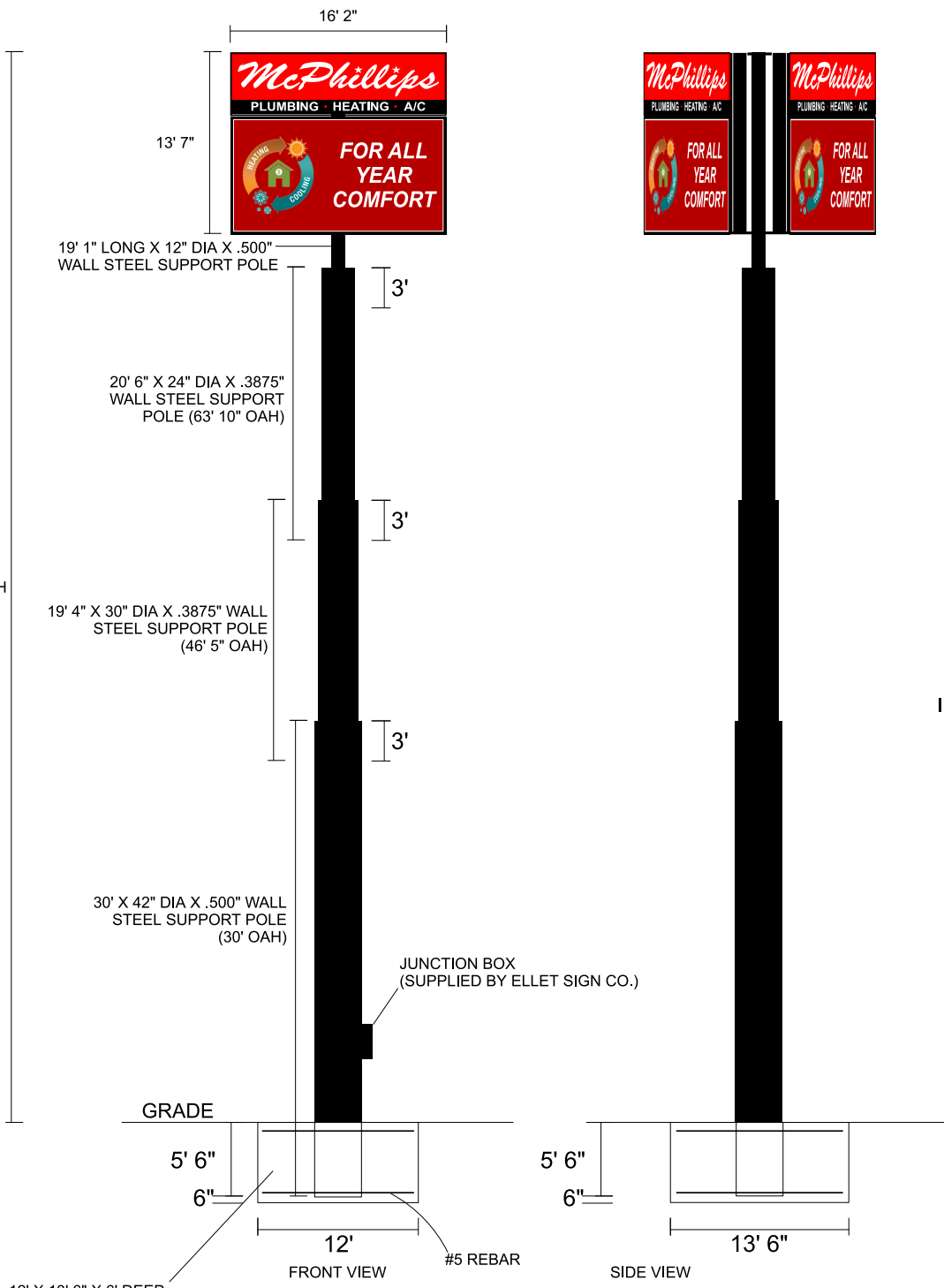


ELLET SIGN COMPANY
 3445 E. WATERLOO RD. AKRON, OH

FOR ARTISTIC PRESENTATION ONLY. TO BE RELEASED INTO PRODUCTION & INSTALLATION, DRAWING MUST BE APPROVED:

SALES AGENT _____

DATE _____



ONE (1) V SHAPED HI-RISE POLE SIGN)

- TOTAL OF TWO (2) SINGLE FACED CABINETS
- 12" DEEP HEAVY GAUGE ALUMINUM PAINT MAP BLACK SATIN FINISH
- INTERNALLY ILLUMINATED VIA WHITE LED MODULES
- FACE TO BE VACUUM FORMED FROM HI IMPACT SOLAR GRADE QUALITY POLYCARBONATE PLASTIC
- BUILT AND LABELED TO UL SPECIFICATIONS (ACCOUNT E22689)

- EMC DISPLAY
- DAKTRONICS BRAND 15.85MM FULL COLOR
- READABLE VIEWING AREA 160 DEGREES HORIZONTAL AND 90 DEGREES VERTICALLY
- CELLULAR COMMUNICATION

NEW ELECTRIC LINE SUPPLIED BY OTHERS

CLIENT MC PHILLIPS	PROJECT/LOCATION 16115 WATERLOO RD, CLEVELAND, OHIO 44110	DATE 12/9/20	ACCOUNT REP TY	DESIGNER MC	FILE H2894 A3
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SITE PLAN

CLIENT MC PHILLIPS	PROJECT/LOCATION 16115 WATERLOO RD, CLEVELAND, OHIO 44110	DATE 10/1/20	ACCOUNT REP. TY	DESIGNER MC	FILE H2894 C
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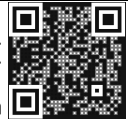
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DATE _____

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ELLET SIGN COMPANY
 3445 E. WATERLOO RD. AKRON, OH



Light Analysis for GS6-160X300-15.85-RGB-2V

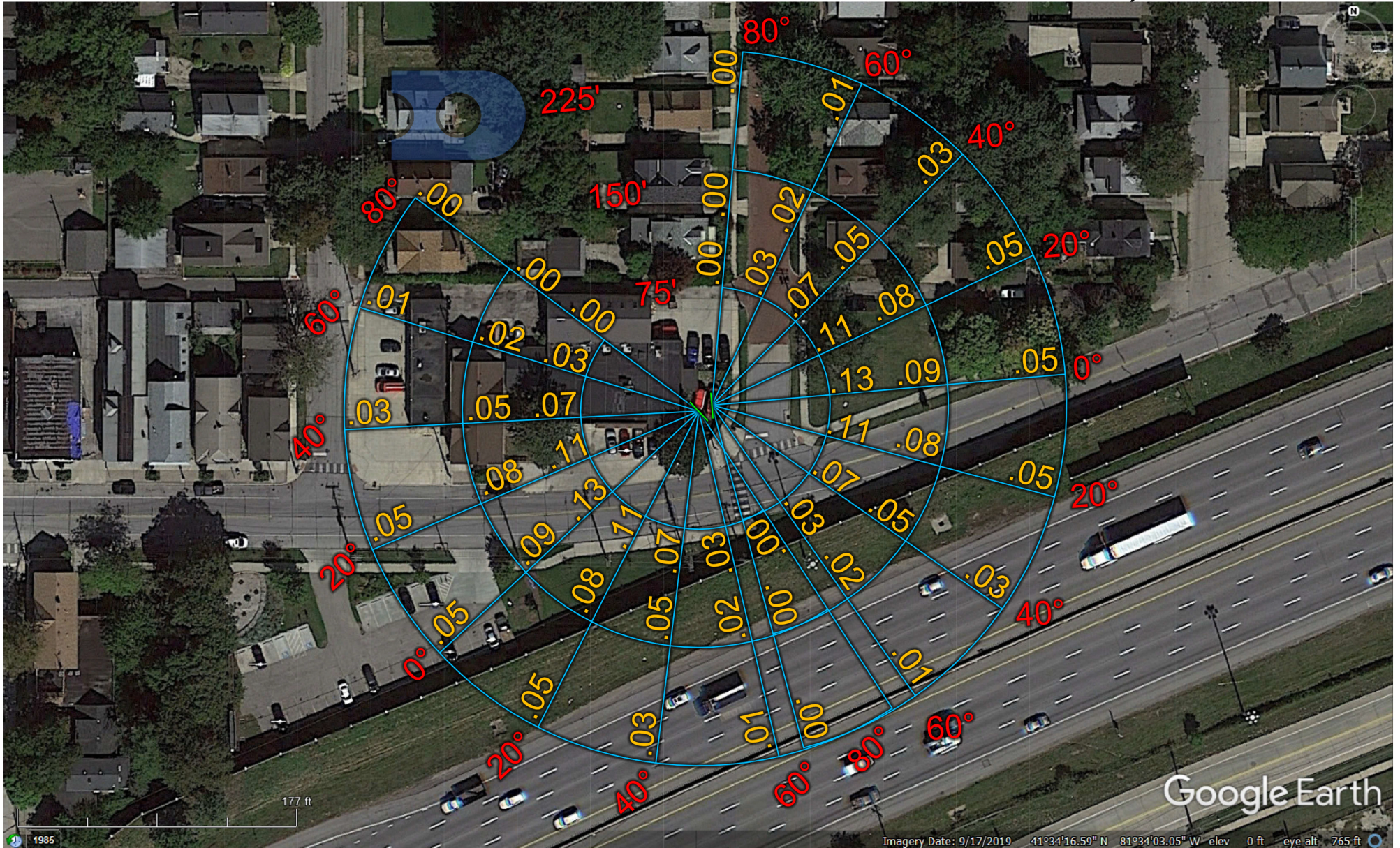
McPhillips Plumbing

16115 Waterloo Rd Cleveland, OH 44110

Date: 2/10/2021

Prepared by: Eric Johnson

Values expressed are specific to Daktronics product only



- Display at 4% of Maximum Daytime Brightness
- Calculations take into account an overall height of 75'
- Any rise or fall in elevation or physical blockage is not shown in calculations

*Calculations are based on Red, Green, and Blue LEDs (White Content) powered to their maximum potential for nighttime viewing. Values are shown in footcandles (fc).

February 11, 2021

**Re: Lighting Analysis for Daktronics GS6-160x300-15.85-RGB-2V
16115 Waterloo Rd Cleveland, OH 44110**

The attached lighting analysis pertains to the digital display manufactured by Daktronics, Inc., and proposed for installation at 16115 Waterloo Rd, Cleveland OH 44110. The following is an explanation of the analysis:

1. Units of Measurement. A foot-candle (or foot-candle, fc, lm/ft², or ft-c) is a measurement of light intensity. One foot-candle is defined as enough light to saturate a one-foot square with one lumen of light. For example, where the display illuminates at 0.19 foot-candles, it has a light intensity of approximately 19% of a single wax candle as viewed from 1 foot away.
2. Assumptions: The accompanying graph depicts illumination levels in foot candles that the display will produce based on nighttime running levels at a measurement height of 75 feet in elevation. The measurements assume *total darkness* with regards to the surrounding light and an *all-white content* on the display. These assumptions provide for the worst-case scenario, not the more likely application.
3. Practical Application: Typical content runs at 25-35% of the brightness of all-white content, therefore, the actual levels of illumination will nearly always be markedly lower than that shown in the graph.
4. Ambient Light Effects. The presence of ambient light producing elements at night including, but not limited to, roadway and traffic lighting, commercial lighting from nearby commercial properties, the moon, etc., will further diminish the impact of the light output from the display in question.
5. Other Limiting Factors. The Daktronics digital display is equipped with a light sensor allowing for automatic dimming utilizing 256 levels of dimming. The display's dimming capabilities are designed to ensure that it does not exceed 0.3 foot candles above ambient light as measured from an appropriate distance from the sign¹. The 0.3 foot candles metric is a leading industry standard and has been adopted in numerous states and municipalities throughout the U.S.

201 Daktronics Dr. PO Box 5128
Brookings, SD 57006-5128

tel 800-325-7446 605-692-0200
fax 605-692-0381

www.daktronics.com

Please let me know if you have any questions or concerns.

Sincerely,
Daktronics, Inc.



Eric Johnson
Applications Engineer
605-692-0200

¹ Please note, while the sign's brightness during daylight hours would be almost always incidental, there may be times in which the sign would produce illumination levels above ambient light during such hours. Examples when such an occurrence could happen would be during a very dark and stormy day. It is important to note, however, that the sign is equipped with a working photo-sensor that automatically adjusts its brightness based on ambient light. The photo-sensor adjusts the sign's brightness to lower levels, preventing the sign from appearing overly bright during those rare occasions where its brightness would exceed ambient light.

Near West Design Review Case



April 16, 2021

NW2021-006 – Proposed Demolition of a 2 ½- Story Mixed-Use Building: Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

Project Address: 3267 West 25th Street

Project Representative: Matt Moss, Staff Planner



ALTERATIONS
REPAIRS

W2



MTA
51
51A
51B
51C

NO STOPPING
BUS STOP
NO STOPPING
7-9:30 AM
NO PARKING
EXCEPT ON 6/11

WAGGERS

Far West Design Review Case



April 16, 2021

FW2021-009 – West Park Library Renovation: Seeking Schematic Design Approval

Project Address: 3805 West 157th Street

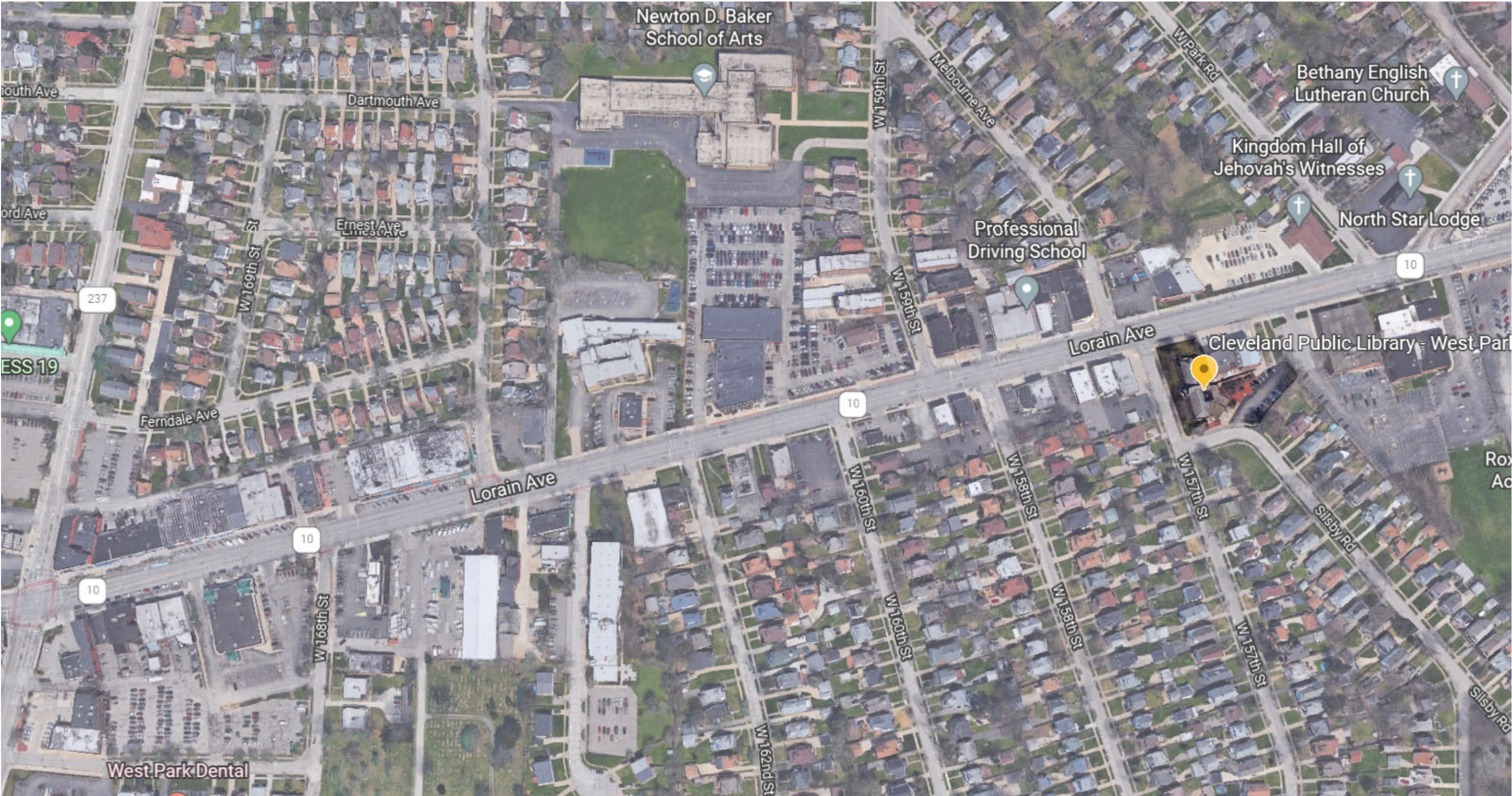
Project Representative: Laura Rees, Vocon

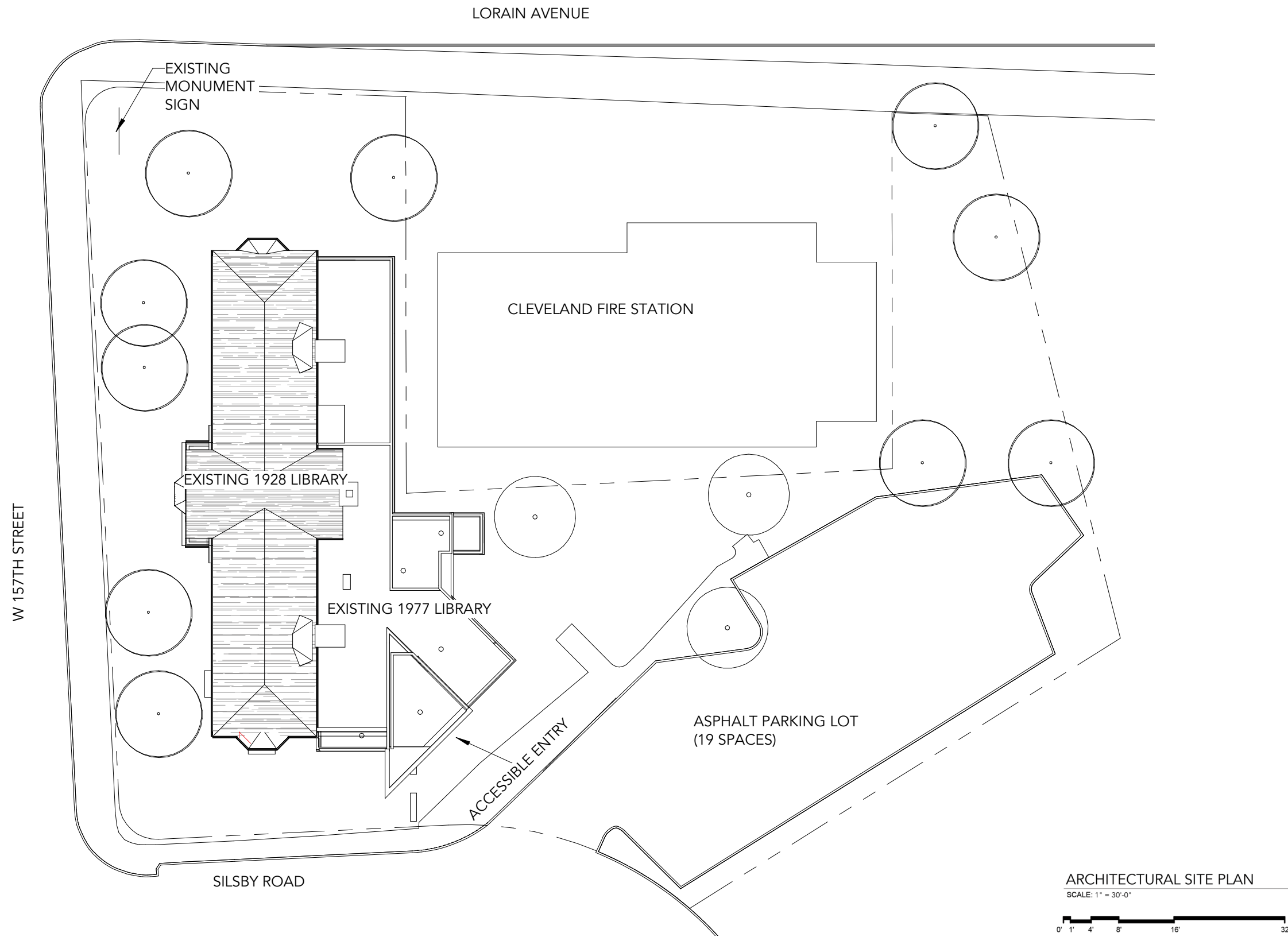
DESIGN REVIEW

MARCH 26 2021

CLEVELAND PUBLIC LIBRARY WEST PARK BRANCH

LOCATION MAP |





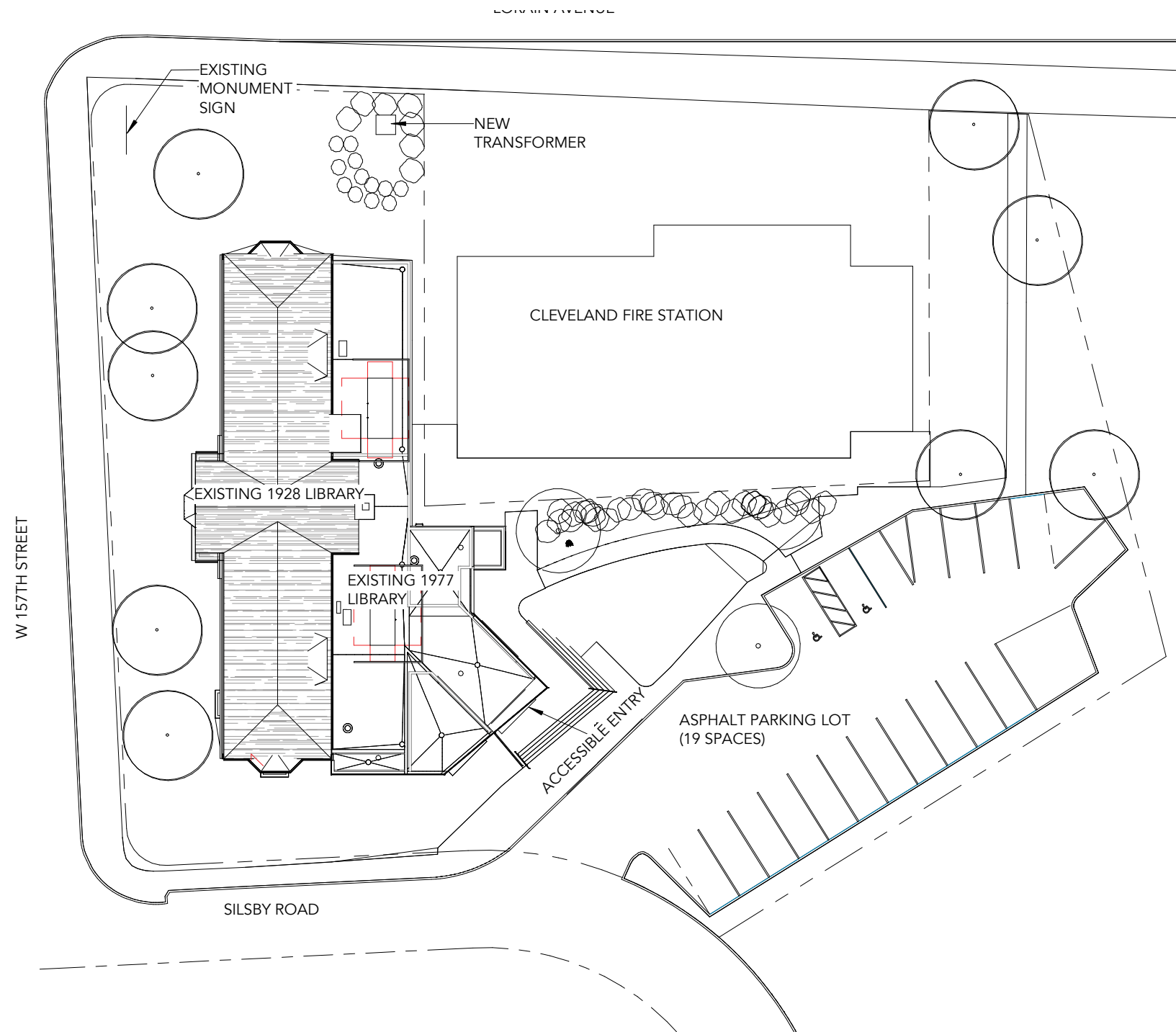
EXISTING EXTERIOR VIEWS | LORAIN ROAD | WEST 157TH



EXISTING EXTERIOR VIEW | SILSBY ROAD

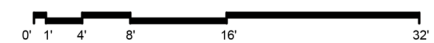


SITE PLAN | PROPOSED

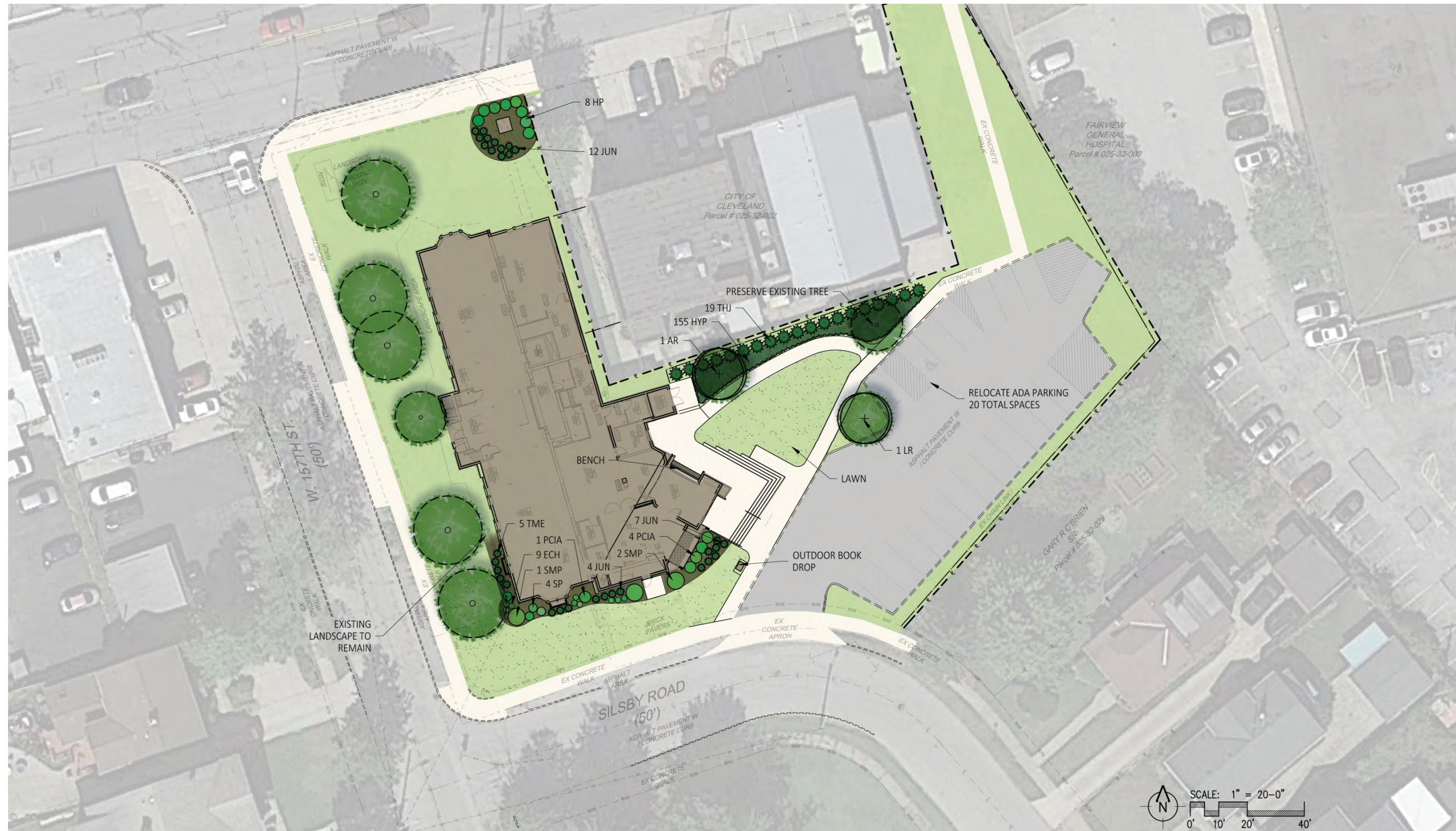


ROOF NOTES:
 EXISTING FLAT ROOFS TO BE REPLACED WITH NEW SINGLE PLY MEMBRANE ROOF SYSTEM.
 EXISTING GRADUATED SLATE ROOF TO BE REPLACED WITH NEW STANDARD SLATE ROOF.
 EXISTING COPPER GUTTERS AND ROOFS TO REMAIN.

ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30'-0"



LANDSCAPE SITE PLAN | PROPOSED



DERU landscape architecture
812 Huron Road E. #411 Cleveland, OH 44115 | 216.466.4355

Landscape Plan
Cleveland Public Library West Park Branch | 03.24.21

Trees



AR - Red Maple



LR - Fruitless Sweetgum

Wausau Tile Long Base Block Bench

Color: Night

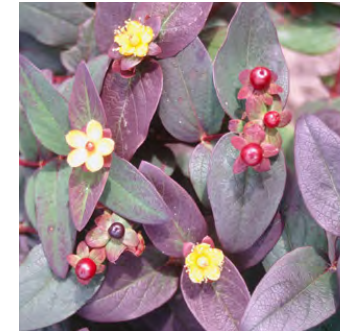


DERU landscape architecture
812 Huron Road E, #411 Cleveland, OH 44115 | 216.466.4355

Shrubs and Perennials



HP - Hydrangea



HYP - St. Johnswort



JUN - Juniper



PCIA - Mock Orange



SMP - Lilac



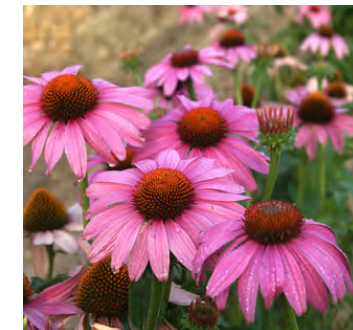
SP - Spirea



THJ - Arborvitae



TME - Everlow Yew



ECH - Coneflower

Plant Palette and Furnishings
Cleveland Public Library West Park Branch | 03.24.21

PROPOSED EXTERIOR VIEW | LORAIN AVENUE

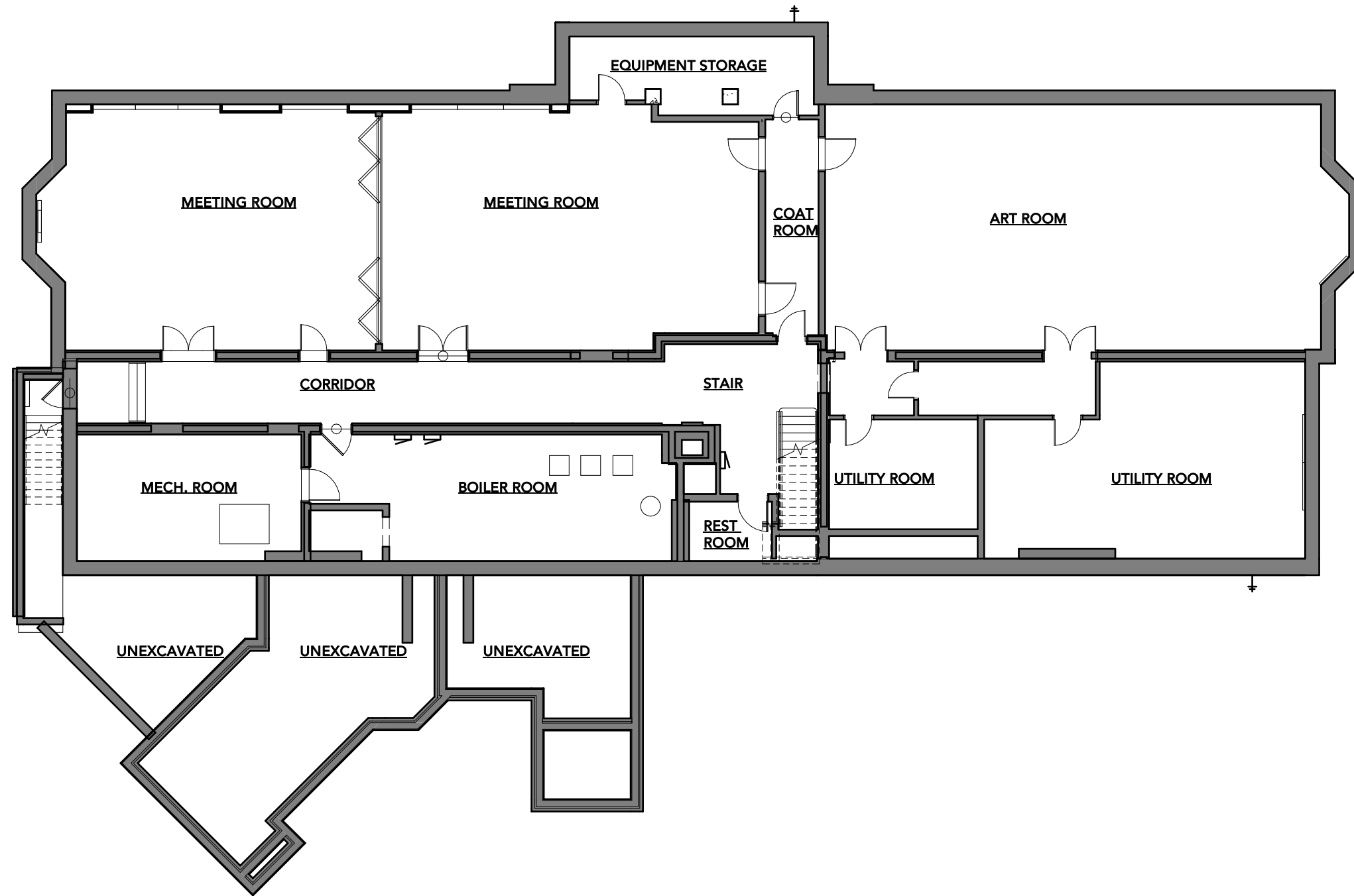




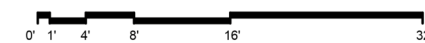
PROPOSED EXTERIOR VIEW | SILSBY ROAD



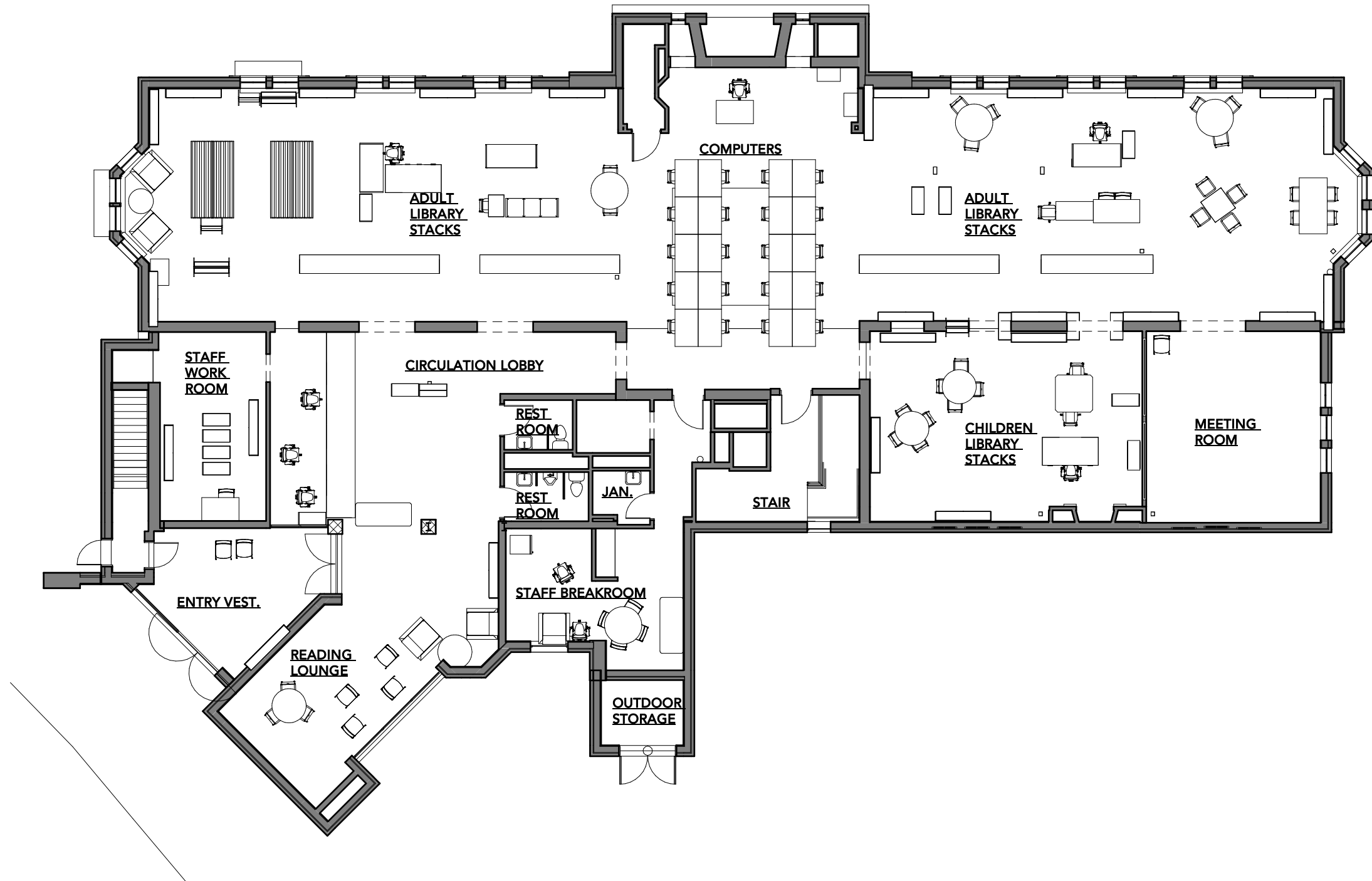
LOWER LEVEL PLAN | EXISTING



LOWER LEVEL FLOOR PLAN
SCALE: 3/32" = 1'-0"

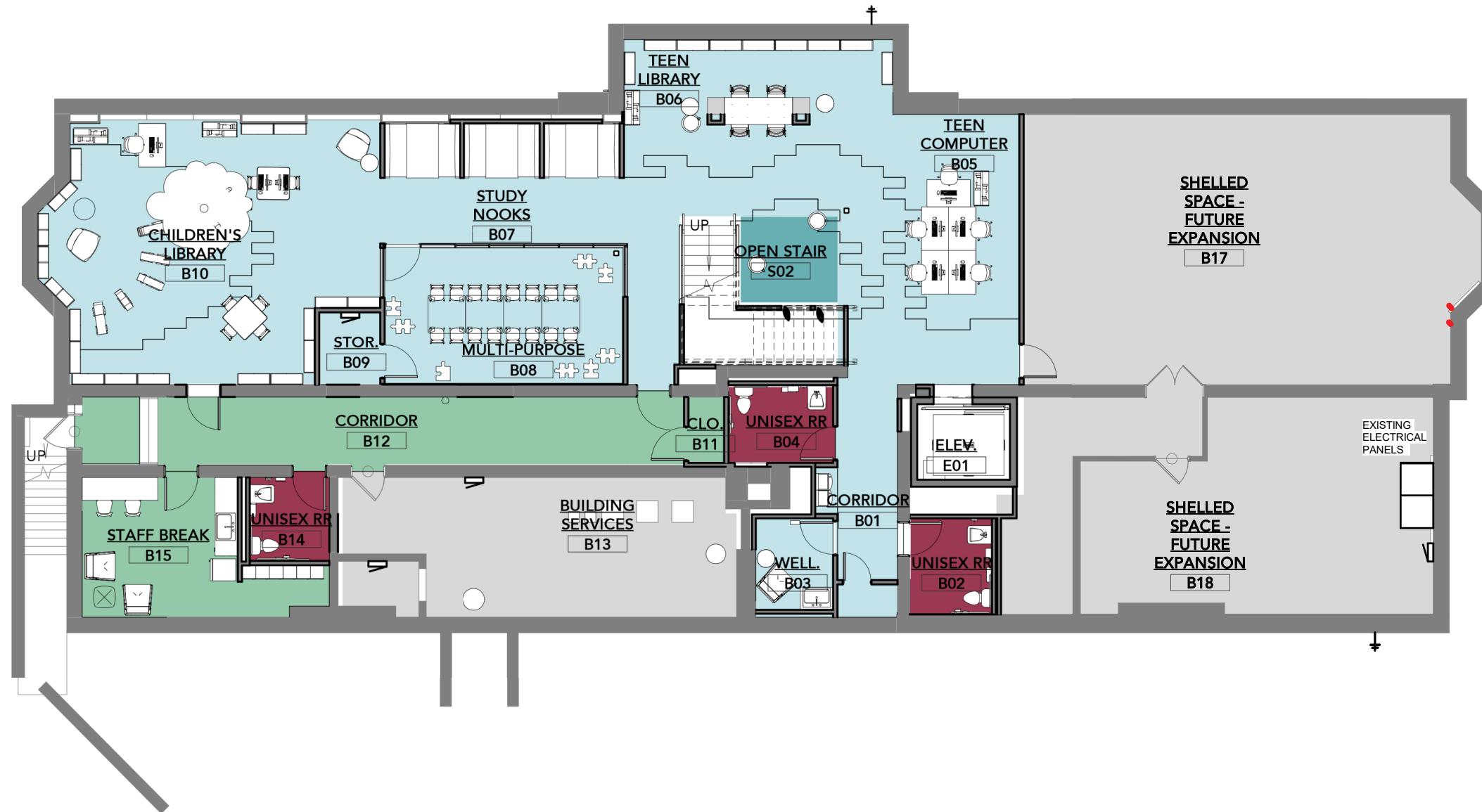


MAIN LEVEL PLAN | EXISTING



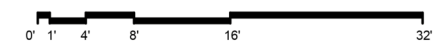
MAIN LEVEL FLOOR PLAN
SCALE: 3/32" = 1'-0"
0' 1' 4' 8' 16' 32'
Project North

LOWER LEVEL PLAN | PROPOSED



LOWER LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"



MAIN LEVEL PLAN | PROPOSED

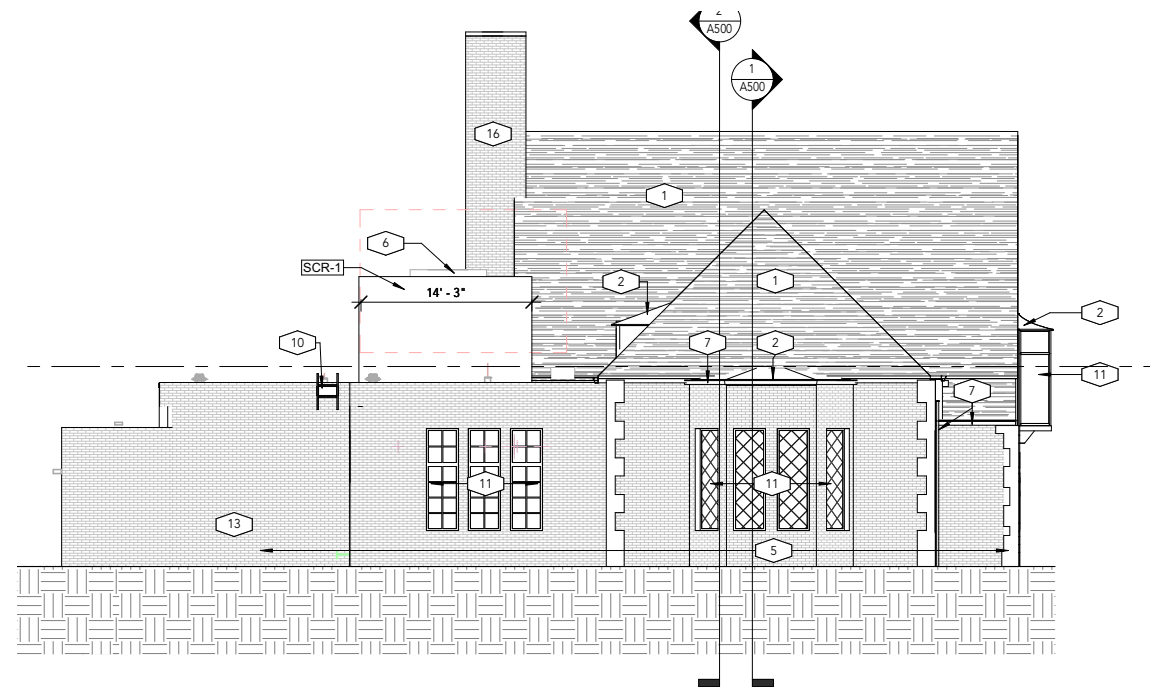


MAIN LEVEL FLOOR PLAN
SCALE: 3/32" = 1'-0"
0' 1' 4' 8' 16' 32'
Project North

PROPOSED EXTERIOR ELEVATIONS | LORAIN AVE AND WEST 157TH



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

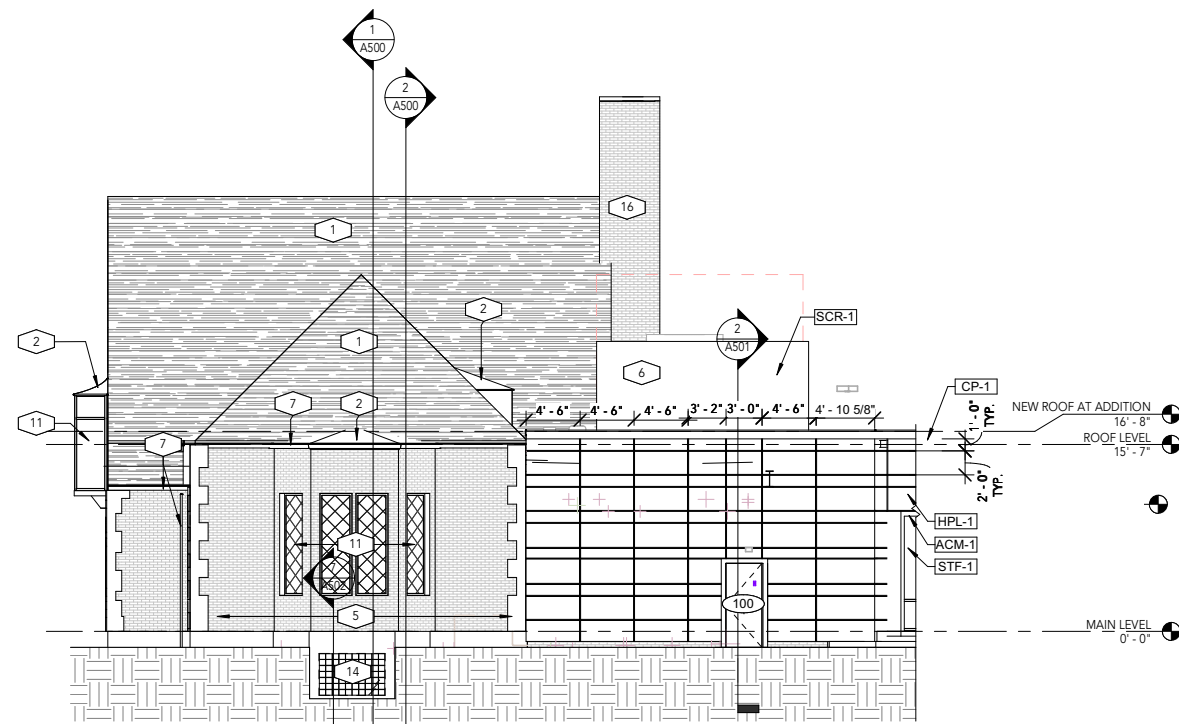


6 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

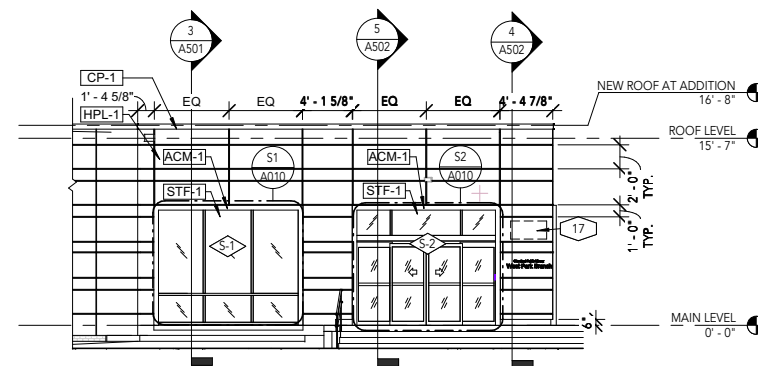
# CODED NOTES - EXTERIOR ELEVATIONS	
NUMBER	DESCRIPTION
1	NEW SLATE ROOF ASSEMBLY - REPAIR DECKING AS REQUIRED TO RECEIVE NEW MULTICOLORED VERMONT SLATE OVER .030 EPDM MEMBRANE OVER 3/4" EXTERIOR PLYWOOD ON SLEEPERS
2	EXISTING COPPER STANDING SEAM METAL ROOF TO REMAIN. REPAIR FLASHING AS REQUIRED AND REWORK FOR NEW SLATE ROOF.
3	NEW SHED ROOF AT ELEVATOR HOISTWAY. SEE ROOF PLAN.
4	EXISTING DOOR TO REMAIN, PAINT BRONZE TO MATCH STOREFRONT FINISH
5	EXISTING BRICK WALL AND PARAPET COPING - REPAIR AND REPOINT AS NEEDED. REFER TO BUILDING ASSESSMENT
6	OUTLINE OF NEW RTU - COORDINATE WITH MECHANICAL DRAWINGS.
7	COPPER GUTTERS AND DOWNSPOUT TO REMAIN. REPAIR AS REQUIRED
9	CONCRETE SITE STAIR AND RAMP. REFER TO SITE PLAN AND CIVIL DRAWINGS
10	G.C. TO PROVIDE STEEL ANGLE LADDER STAND OFF BRACKET AT THIS LOCATION
11	EXISTING WINDOW TO REMAIN
12	CPI MANUAL FULL LITE SWING DOOR. COLOR TO MATCH STOREFRONT. REFER TO DOOR SCHEDULE FOR MORE INFORMATION
13	H.M. INSULATED GALVANIZED EXTERIOR DOOR IN ALUMINUM FRAME, CUSTOM COLOR. REFER TO DOOR SCHEDULE FOR MORE INFORMATION.
14	FORMER 5'-6" x 3'-6" BASEMENT WINDOW LOCATION TO BE RESTORED (OPENING SIZE TO BE VERIFIED IN FIELD). REMOVE INTERIOR AND EXTERIOR INFILL, INSTALL NEW CONCRETE AREA WELL W/NEW DRAINAGE, INSTALL GLASS BLOCK AND NEW INTERIOR TRIM AND SILL
16	EXISTING CHIMMNEY TO BE CAPPED - REPAIR AND REPOINT AS NEEDED. REFER TO BUILDING ASSESSMENT
17	DECORATIVE PIN-MOUNT SIGNAGE
18	EXISTING COPPER GUTTERS - REPAIR/REWORK FLASHINGS AND INSTALL NEW DEBRIS SCREENS. SEE DETAIL XX/AXXX

PROPOSED EXTERIOR ELEVATIONS | SILSBY ROAD

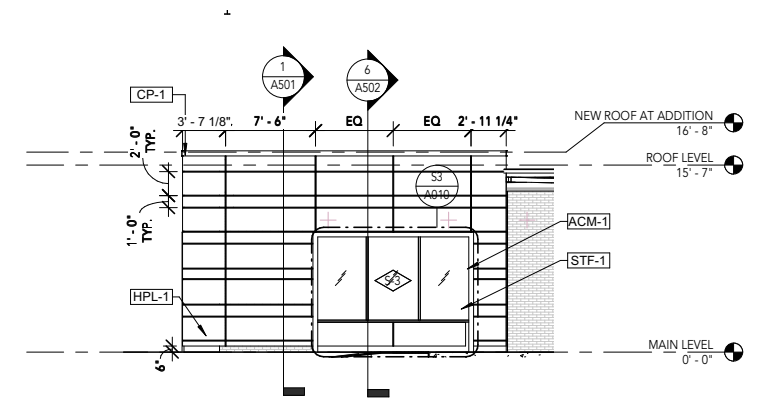
9 CODED NOTES - EXTERIOR ELEVATIONS	
NUMBER	DESCRIPTION
1	NEW SLATE ROOF ASSEMBLY - REPAIR DECKING AS REQUIRED TO RECEIVE NEW MULTICOLORED VERMONT SLATE OVER .030 EPDM MEMBRANE OVER 3/4" EXTERIOR PLYWOOD ON SLEEPERS
2	EXISTING COPPER STANDING SEAM METAL ROOF TO REMAIN. REPAIR FLASHING AS REQUIRED AND REWORK FOR NEW SLATE ROOF.
3	NEW SHED ROOF AT ELEVATOR HOISTWAY. SEE ROOF PLAN.
4	EXISTING DOOR TO REMAIN, PAINT BRONZE TO MATCH STOREFRONT FINISH
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16	EXISTING CHIMNEY TO BE CAPPED - REPAIR AND REPOINT AS NEEDED. REFER TO BUILDING ASSESSMENT
17	DECORATIVE PIN-MOUNT SIGNAGE
18	EXISTING COPPER GUTTERS - REPAIR/REWORK FLASHINGS AND INSTALL NEW DEBRIS SCREENS. SEE DETAIL XX/AXXX



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



5 MAIN ENTRY EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 MAIN ENTRY NORTH ELEVATION
SCALE: 1/8" = 1'-0"

vocon.

**LET YOUR
SPACES SPEAK.**

East Design Review Case

April 16, 2021



EAST 2021-008 – Dunkin’ Donuts Retail Store New Construction: Seeking Final Approval

Project Address: 6001 Hillman Avenue

Project Representative: Steven Kolber, Kolbrook Design

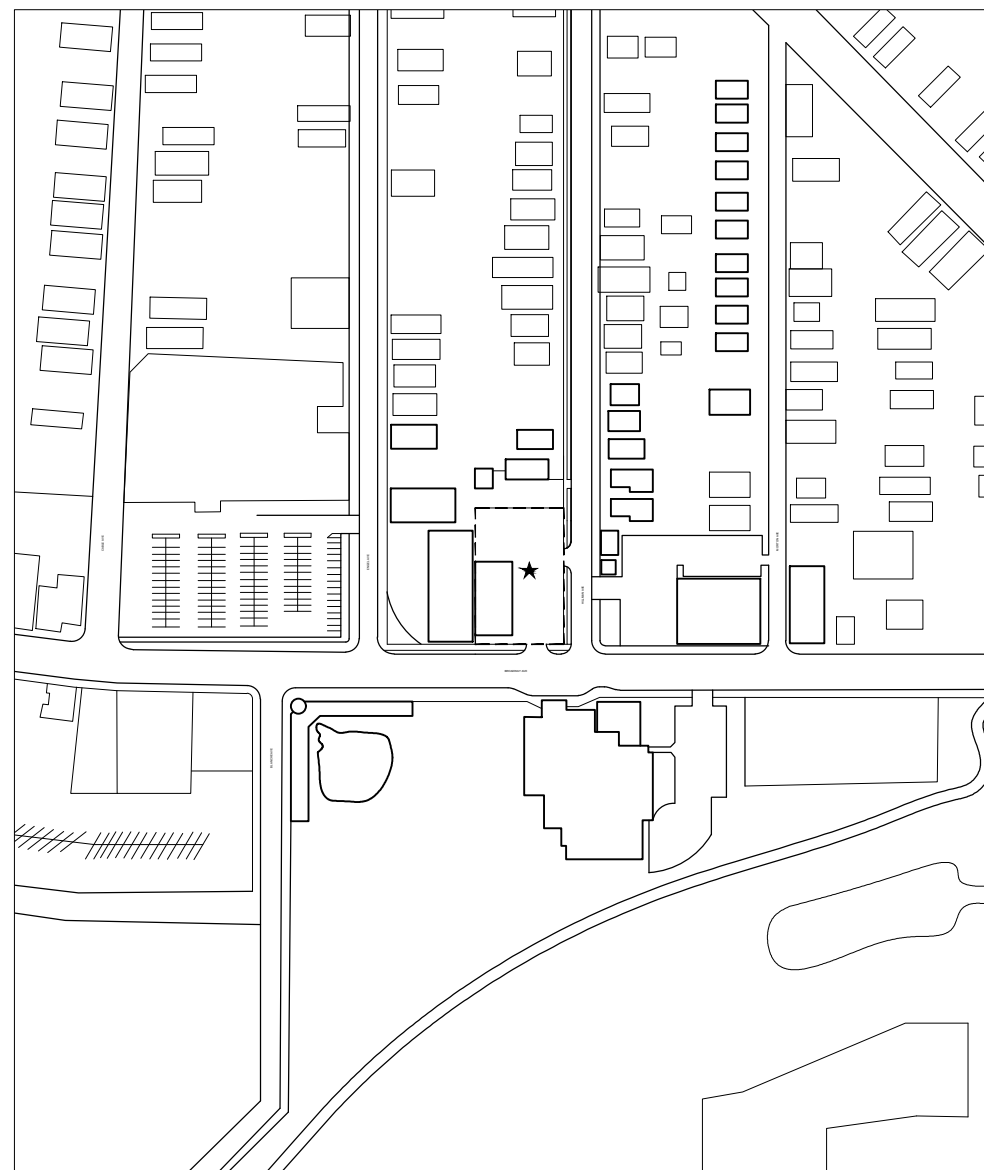
DUNKIN'

DUNKIN DONUTS
6001 HILLMAN AVE
CLEVELAND, OH 44127

IMAGE TYPE: NEXT GEN
BUILDING TYPE: DRIVE-THRU
ONLY GROUND UP



2 SITE LOCATION MAP
SCALE: N.T.S.



1 SITE CONTEXT PLAN
SCALE: N.T.S.

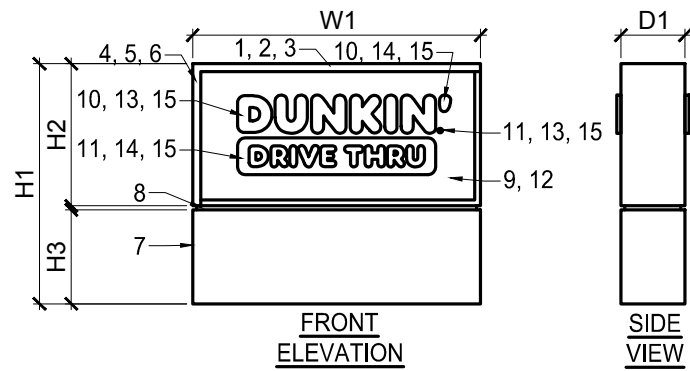


DRAWING INDEX	
SHEET TITLE	
TITLE BLOCK, SITE CONTEXT PLAN & SITE LOCATION MAP	
PARCEL MAP	
SITE PLAN	
EXISTING CONDITIONS PLAN	
EXISTING CONDITIONS PLAN, CONT.	
LANDSCAPE PLAN	
NORTH ELEVATION	
SOUTH ELEVATION	
WEST ELEVATION	
EAST ELEVATION	
EXTERIOR RENDERING	
EXTERIOR RENDERING	
FLOOR PLAN	
SIGNAGE PLAN & SITE AMENITIES	
FURNISHING	
MATERIAL, COLOR, FINISH SAMPLE & LIST	
LIGHTING PLAN	



1 PARCEL MAP
SCALE: N.T.S.





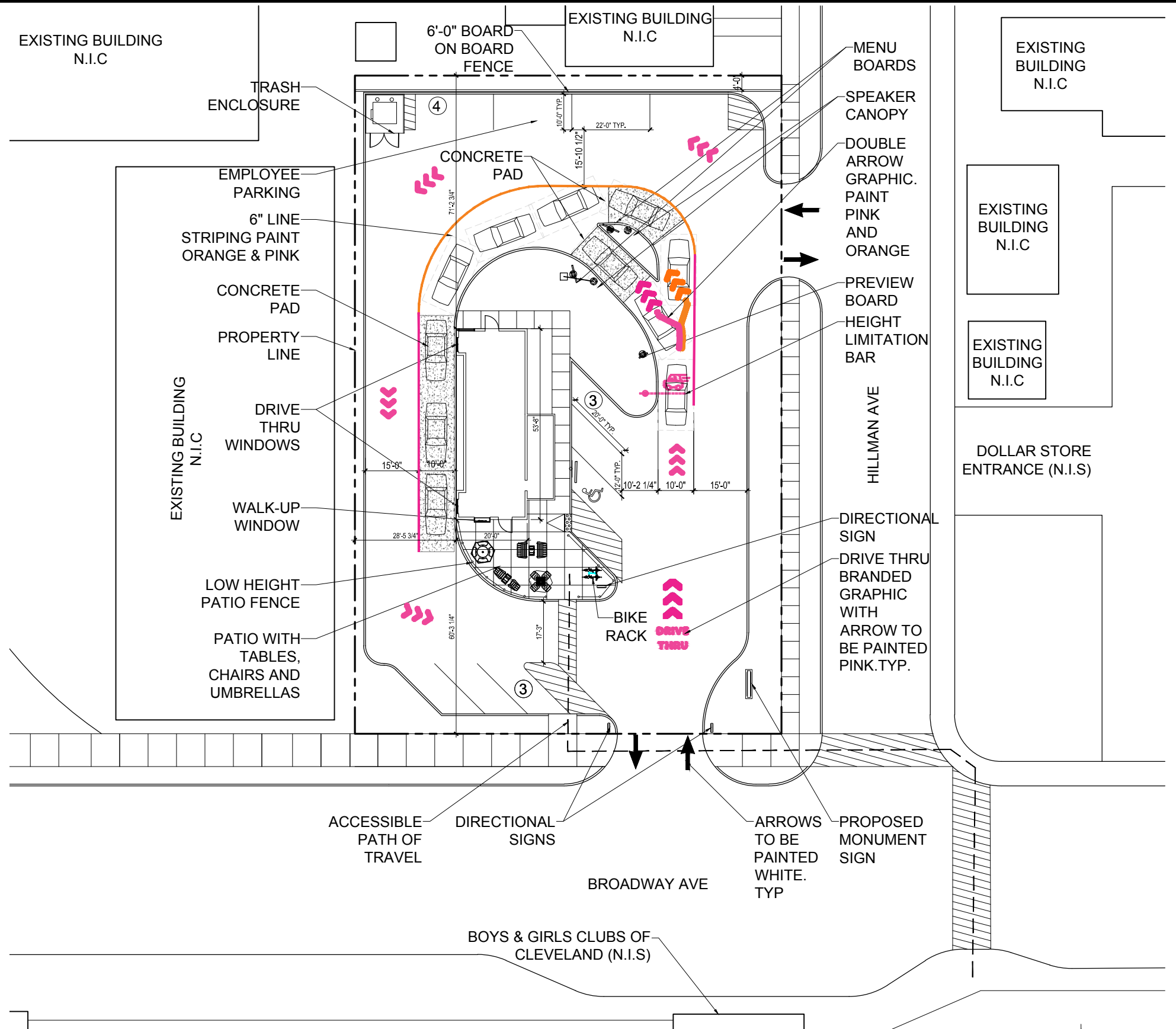
NOTES:

1. ALUMINUM ANGLE FRAME CONSTRUCTION
2. .08" ALUMINUM SKIN
3. ALUMINUM RETAINER ACCENT
4. GE TETRA MAX 7100K WHITE LED'S, AS REQUIRED (OR GE REPLACEMENT EQUIVALENT)
5. INTERNAL POWER SUPPLY, AS REQUIRED
6. INTERNAL DISCONNECT SWITCH
7. SUPPORT TUBE
8. ALUMINUM C-CHANNEL REVEAL
9. FACES TO BE FLAT CLEAR SOLAR GRADE POLYCARBONATE
10. "DUNKIN" LETTERS TO BE EMBOSSED
11. REGISTERED "R" AND "DRIVE THRU" TO BE FLAT GRAPHIC
12. BACKGROUND COLOR 403 WHITE BACK-SPRAY
- 12A. OPTION: SIGN FACE 2ND SURFACE WHITE FACE / NIGHT FACE BACKGROUND COLOR 403 WHITE BACK-SPRAY, BACKED UP WITH OPAQUE SILVER FOR COMPLETE OPAQUE FINISH FOR NIGHT
13. 3M #3630-3123 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE
14. 3M #3630-1379 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
15. 3M #3635-70 WHITE DIFFUSER 2ND SURFACE

ADDITIONAL NOTES:

- ARTWORK FONT: DUNKIN SANS DISPLAY
- EXTERIOR FINISH: PAINT PANTONE 7540C
- INTERIOR FINISH: PAINTED REFLECTIVE WHITE
- ACCENT FINISH / 1 1/2" CABINET W/ RETAINER: PAINT PANTONE 7540C
- REVEAL AND POLE COVER FINISH: PAINT PANTONE 7540C
- SKINS REMOVABLE FOR SERVICE ACCESS
- SADDLE MOUNT INSTALLATION
- ELECTRICAL: (1) 20-AMP / 120 VOLT CIRCUIT
- PERIMETER ANGLE: 1 1/2" X 1 1/2" X 3/16" I U.L. LISTED

SIZE	H1	H2	H3	W1	D1	S.F. (BOX)
LARGE	90"	53.25"	35.25"	108"	16"	39.94'



2 SIGN ELEVATION
SCALE: 1/8"=1'-0"

1 PROPOSED SITE PLAN
SCALE: 1/32"=1'-0"



828 DAVIS STREET
SUITE 300
EVANSTON, IL 60201
Ph 847.492.1992

PROJECT:
DD- CLEVELAND
6001 HILLMAN AVE, CLEVELAND OHIO

Job No.
1502.041

Issue Date
04/16/2021

Project Area
995SF



1



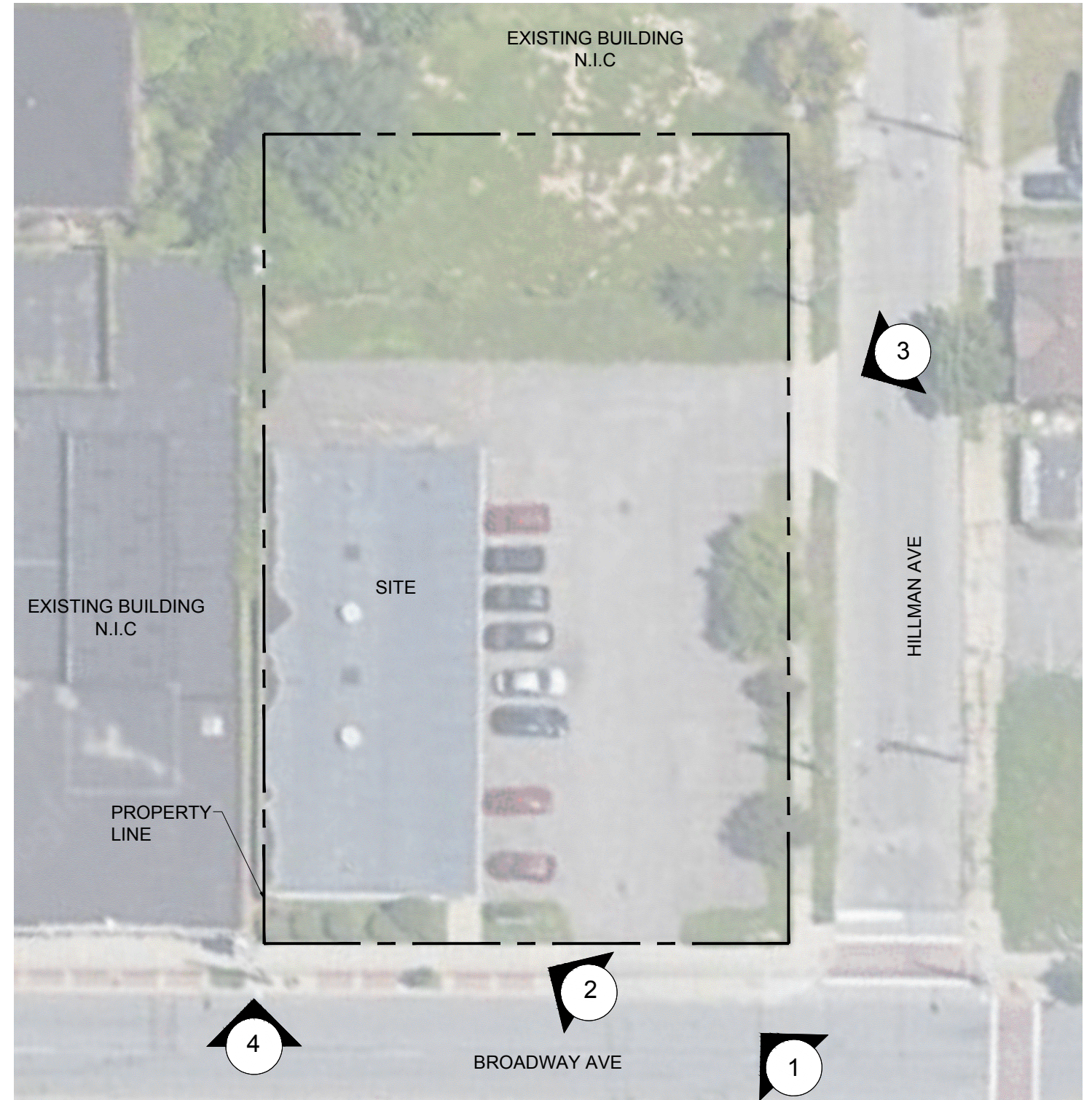
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3

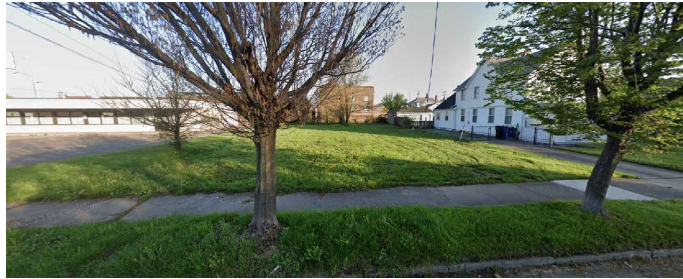


4



1 EXISTING BUILDING CONDITIONS
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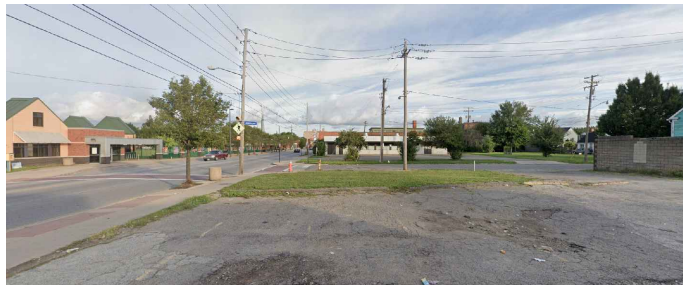




1



2



3

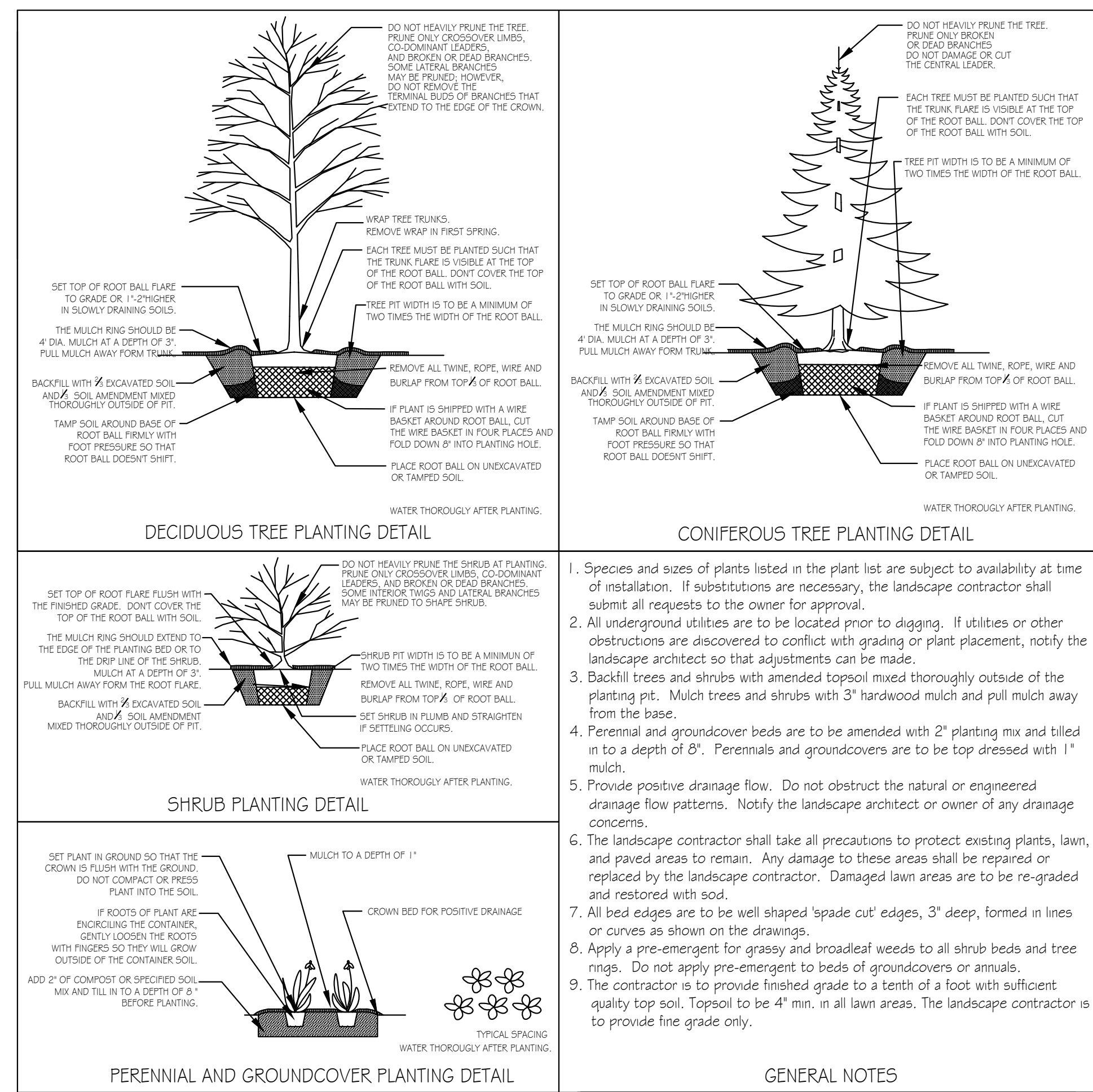
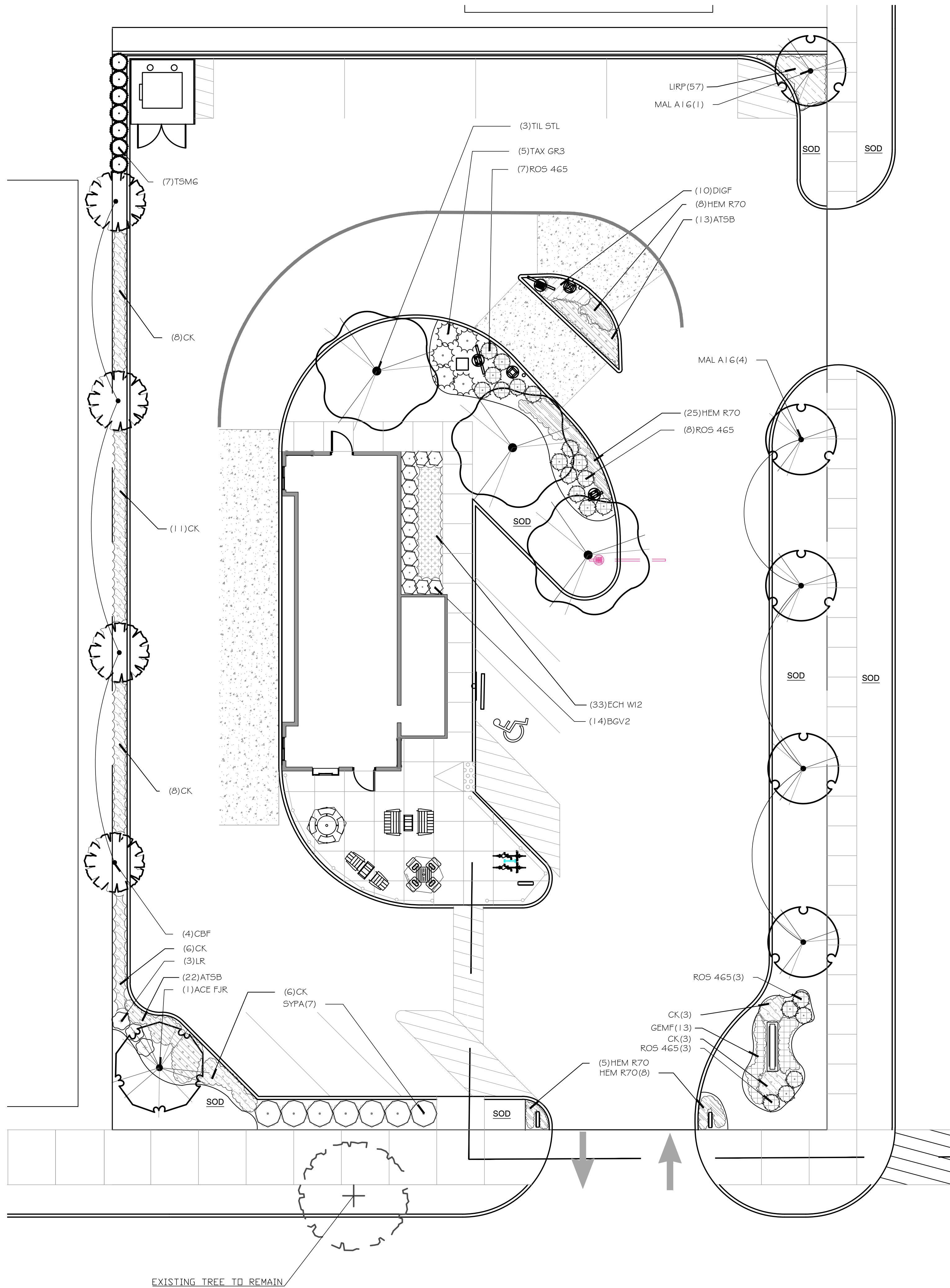


4



2 EXISTING SURROUNDING BUILDINGS
SCALE: N.T.S.

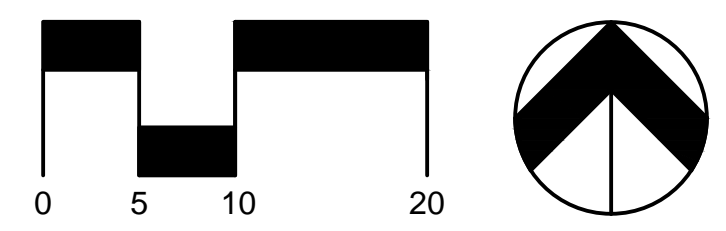




Trees	Quantity	Botanical	Common	Cont	Cal	Size
ACE FJR	1	Acer rubrum 'Frank Jr.' TM	Redpointe Red Maple	2.5" BB	2.5" Cal	
CBF	4	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2.5" BB	3" Cal	
MAL A16	5	Malus x 'Adirondack'	Adirondack Crabapple	2.5" BB	2.5" Cal	
TIL STL	3	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" BB	2.5" Cal	
Evergreen Trees						
TSM6	7	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6" BB		6' Ht.
Shrubs						
LR	3	Diervilla x 'G2X88544' TM	Kodiak Orange Honeysuckle	5 gal		
ROS 465	21	Rosa x 'Meidrifora'	Coral Drift Rose	3 gal		
SYPA	7	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal		
TAX GR3	5	Taxus x media 'Greenwave'	Greenwave Spreading Yew	5 gal		
Evergreen / Broadleaf						
BGV2	14	Buxus microphylla koreana 'Green Velvet'	Green Velvet Boxwood	24" BB		
Ground Covers						Spacing
ATSB	35	Allium tanguticum 'Summer Beauty'	Summer Beauty Globe Lily	1 gal		21" o.c.
DIGF	10	Dianthus gratianopolitanus 'Firewitch'	Firewitch Cheddar Pinks	1 gal		18" o.c.
ECH W12	33	Echinacea purpurea 'PAS702917' TM	PowWow Wild Berry Coneflower	1 gal		18" o.c.
GEMF	24	Geranium sanguineum 'Max Frei'	Dwarf Blood-red Cranesbill	1 gal		18" o.c.
HEM R70	46	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	1 gal		18" o.c.
Low Ground Covers						
LIRP	57	Liriope spicata	Creeping Lily Turf	flat		12" o.c.
Ornamental Grasses						
CK	45	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal		30" o.c.

All base information & dimensions are approximate only. All layout to be verified in the field.

LANDSCAPE PLAN



SCALE: 1" = 10'-0"

DATE: JOB: SCALE: 1"=10'-0" B7JZ SHEET L1 OF 1

DUNKIN' DONUTS
HILLMAN AND BROADWAY AVE.
CLEVELAND, OH

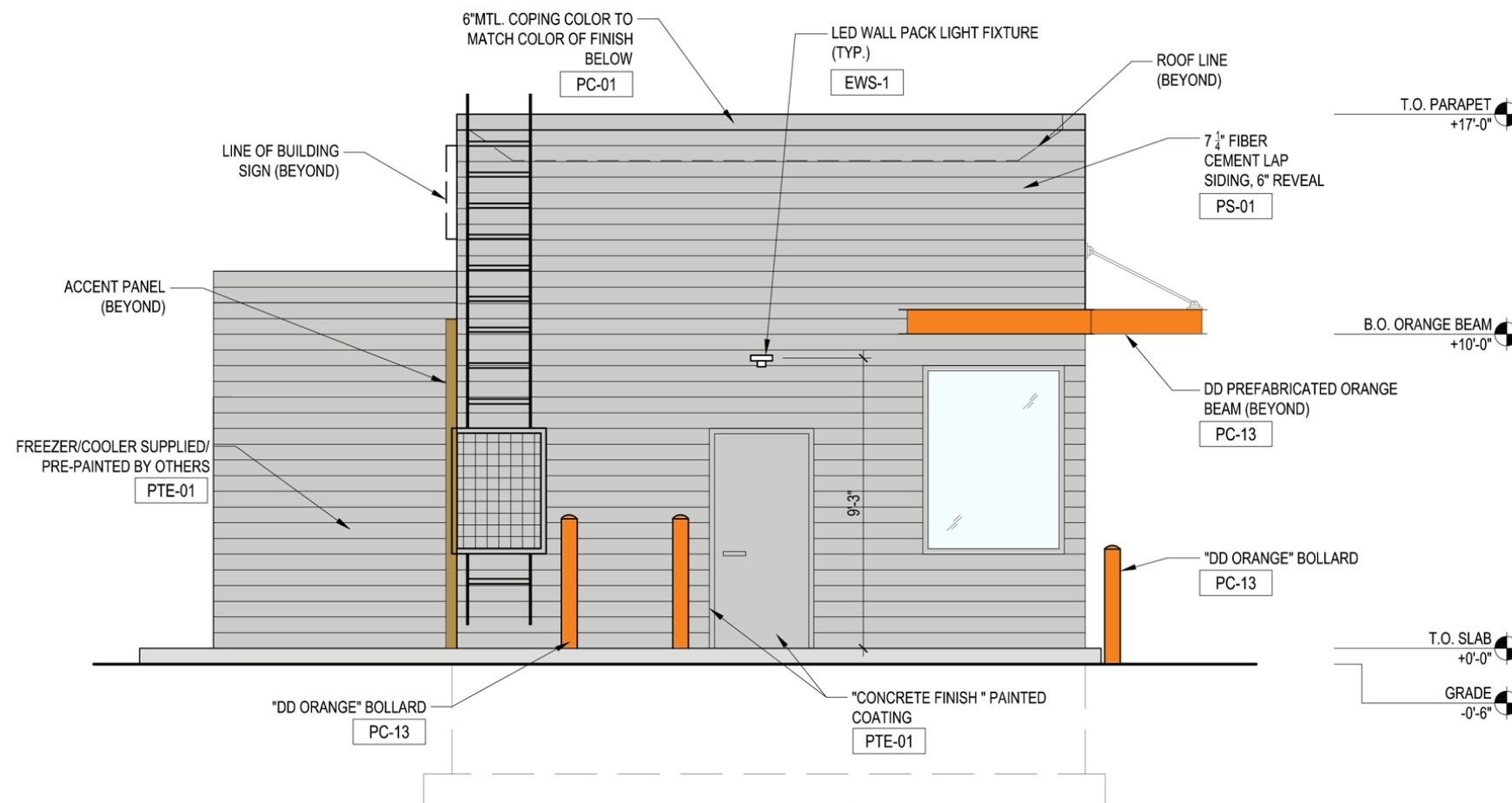
SHEET TITLE:
LANDSCAPE
PLAN

REVISIONS:
REVISIONS PER CITY COMMENTS

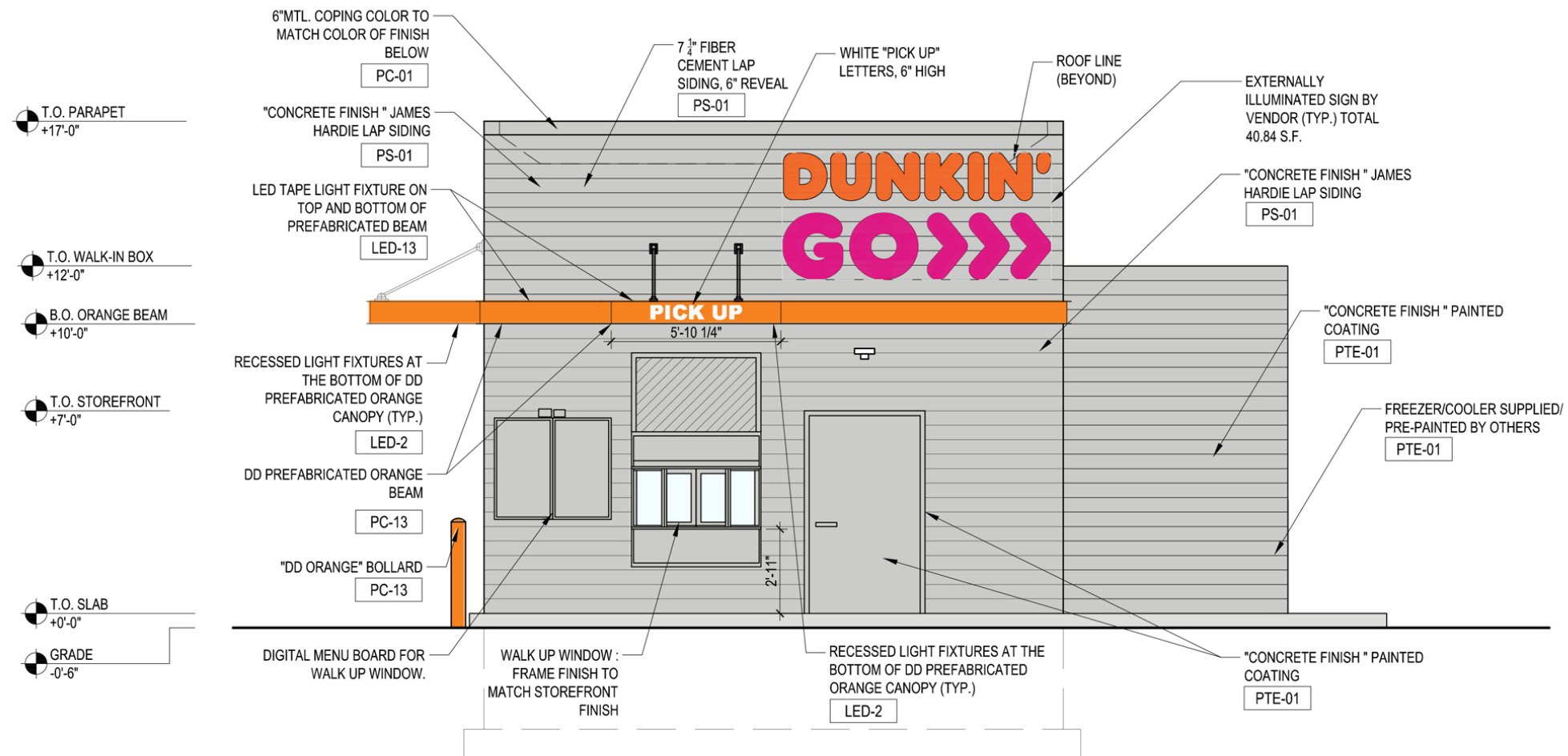
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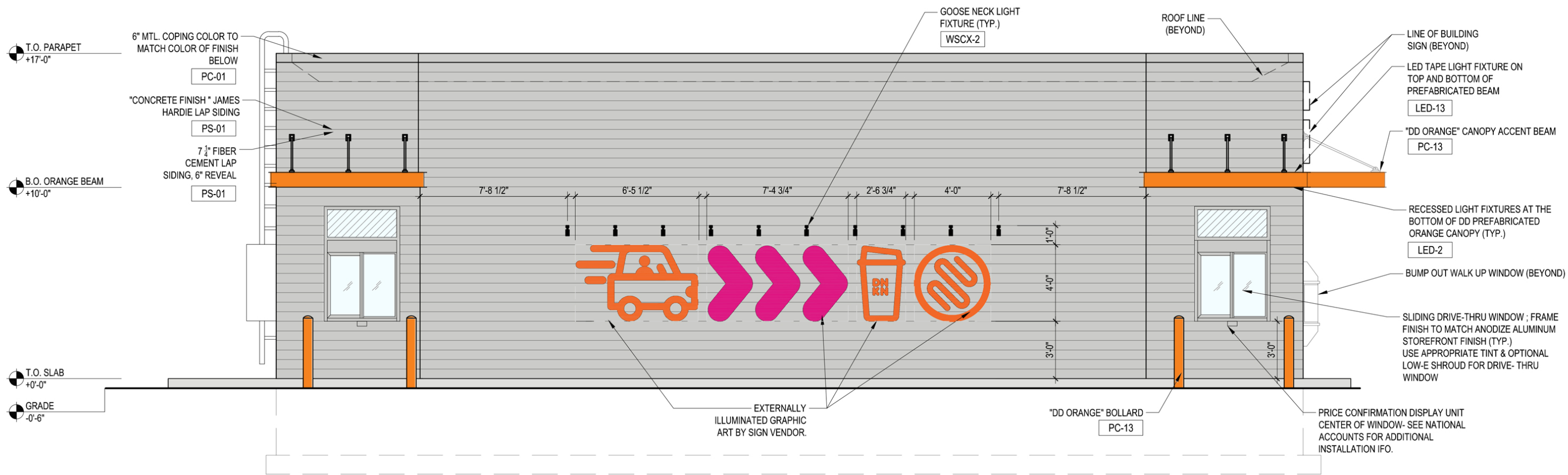
WINGREN LANDSCAPE
A L L T H I N G S O U T D O O R



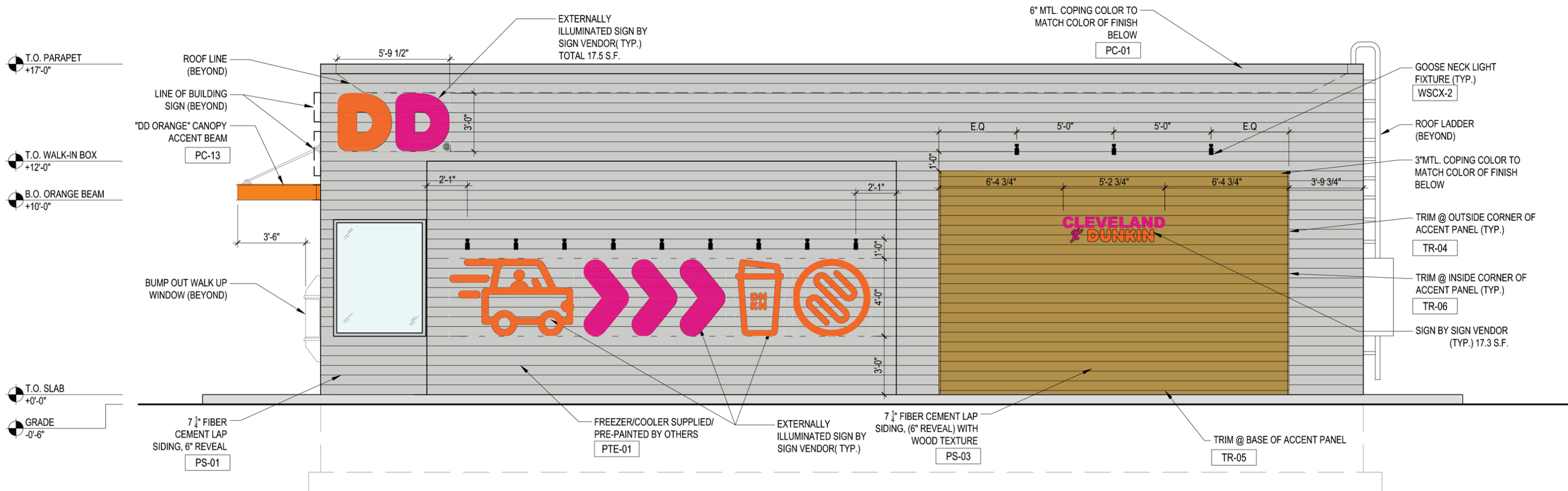
1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



1 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



1 WEST ELEVATION
SCALE: 3/16"=1'-0"



1 EAST ELEVATION
SCALE: 3/16"=1'-0"



828 DAVIS STREET
 SUITE 300
 EVANSTON, IL 60201
 Ph 847.492.1992

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PROJECT:
 DD- CLEVELAND
 6001 HILLMAN AVE, CLEVELAND OHIO

Job No.
 1502.041

Issue Date
 04/16/2021

Project Area
 995SF



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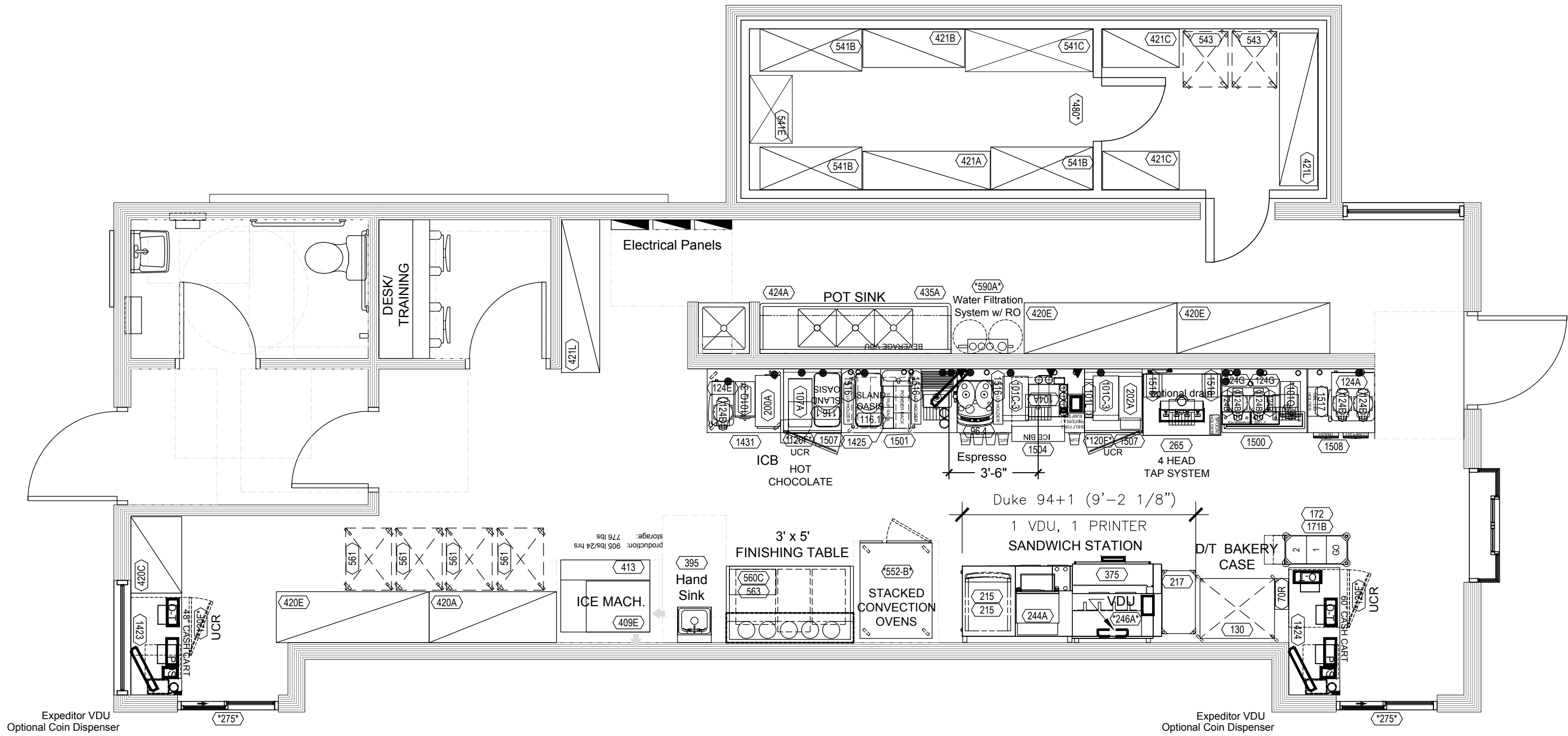
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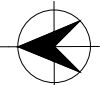
Job No.
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Issue Date
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Project Area
 995SF



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"





QUALITY • INNOVATION • VALUE
IT'S IN EVERYTHING WE DO.



Prepared Exclusively for
SITE DD363067

6001 HILLMAN AVE
CLEVELAND, OH

March 3, 2021

Account Manager: Theresa Behr
tbehr@everbrite.com (414) 529-3500

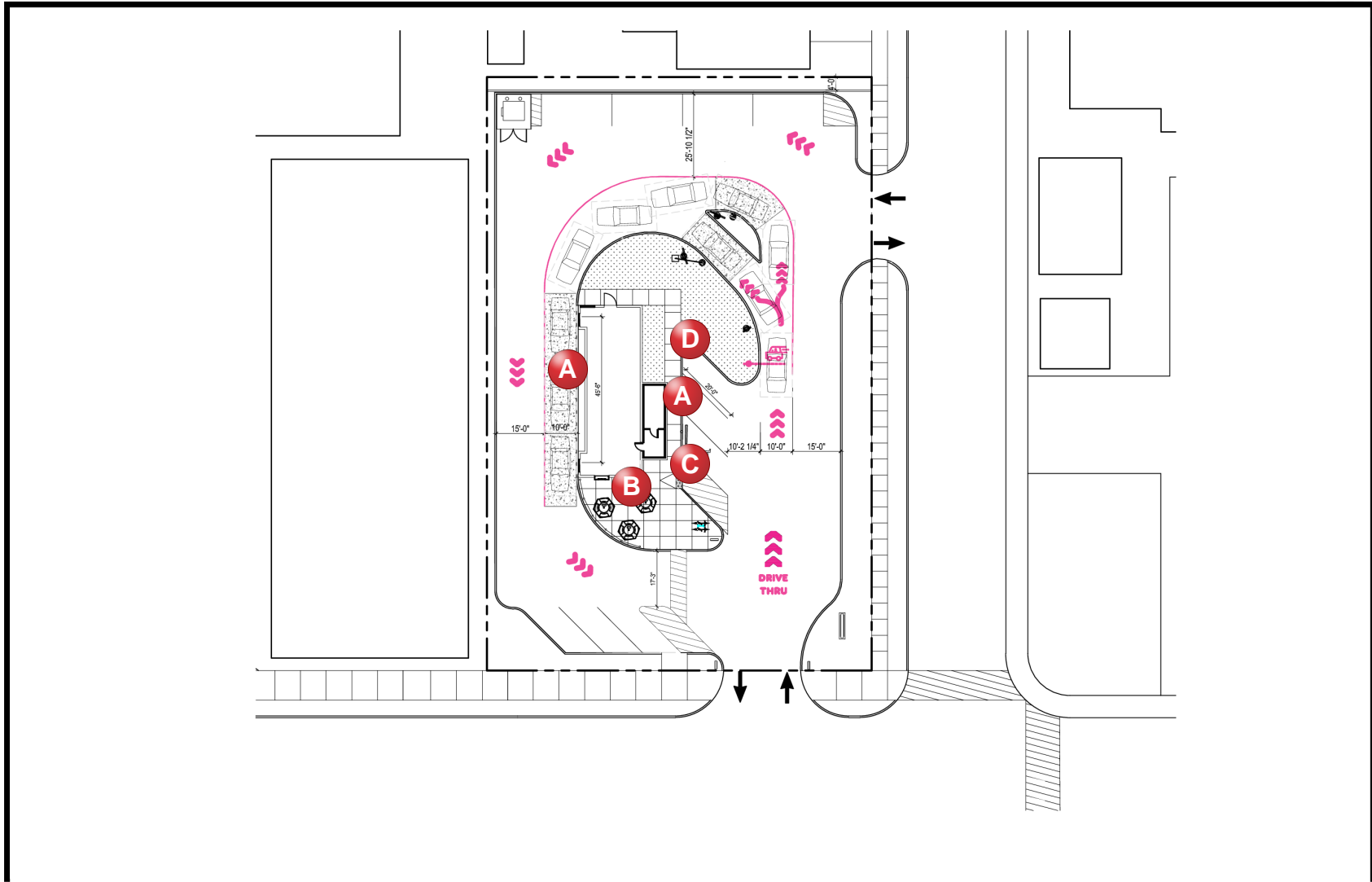


Map data ©2021



Everbrite, LLC - 4949 South 110th Street - Greenfield, WI 53228 - www.everbrite.com		Page 2 of 7	
Customer/Site No: 363067	Prepared By: Theresa Behr		
Address: 6001 HILLMAN AVE CLEVELAND, OH	Date: 03/03/2021	PIF: 445254-1	
Description: DUNKIN - CLEVELAND	Customer Signature:		

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ARCHITECT:



828 DAVIS STREET
SUITE 300
EVANSTON, IL 60201
Ph 847.492.1992

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PROJECT:
DD CLEVELAND
6001 HILLMAN AVE
CLEVELAND, OHIO

SCALE: 1/32" = 1'-0"

SITE PLAN

Job No.
1502.041

Issue Date
02/26/2021

Project Area
995SF



Everbrite, LLC - 4949 South 110th Street - Greenfield, WI 53228 - www.everbrite.com

Customer/Site No: 363067

Address: 6001 HILLMAN AVE CLEVELAND, OH

Description: DUNKIN - CLEVELAND

Prepared By: Theresa Behr

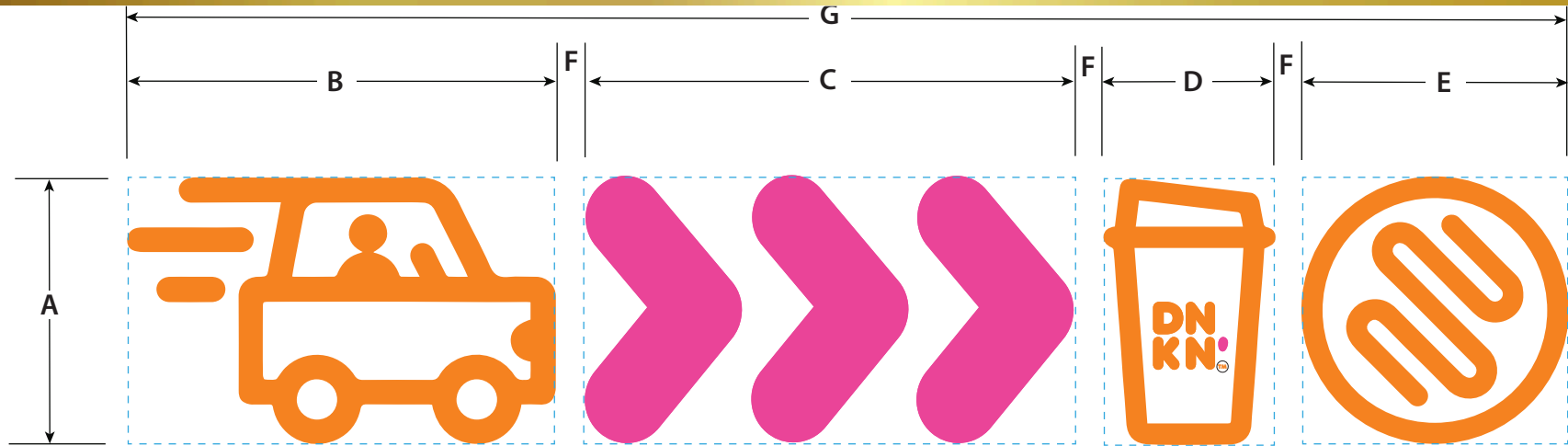
Date: 03/03/2021

PIF: 445254-1

Customer Signature:

Page 3 of 7

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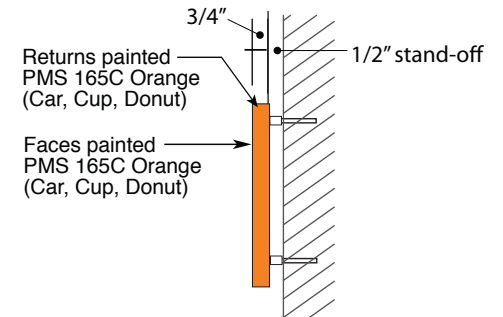


NON-ILLUM'D PVC BLDG. ICONS, PIN MTD.

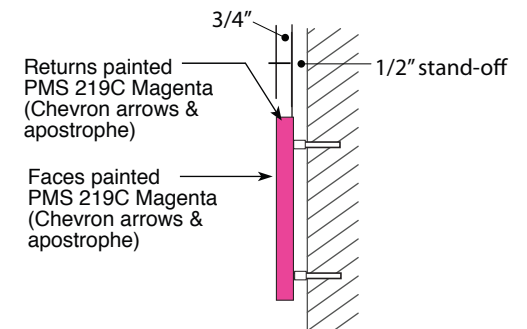
GENERAL SPECIFICATIONS:

- Routed PVC icons to be 3/4" thick
- Car, Cup and Donut painted PMS 165C Orange, faces and returns; Apostrophe on DNKN' logo on cup painted PMS 219C Magenta
- Chevron arrows painted PMS 219C Magenta, face and returns
- Pin-mtd. with 1/2" stand-off from wall surface
- Mounting studs as required per site conditions
- "TM" after DNKN' inside Dunkin cup icon to be orange vinyl on round PVC disk ptd. white

NOTE: Icons to be sold individually. (Specified spacing between icons must be adhered to when installing multiple icons on building exterior.)

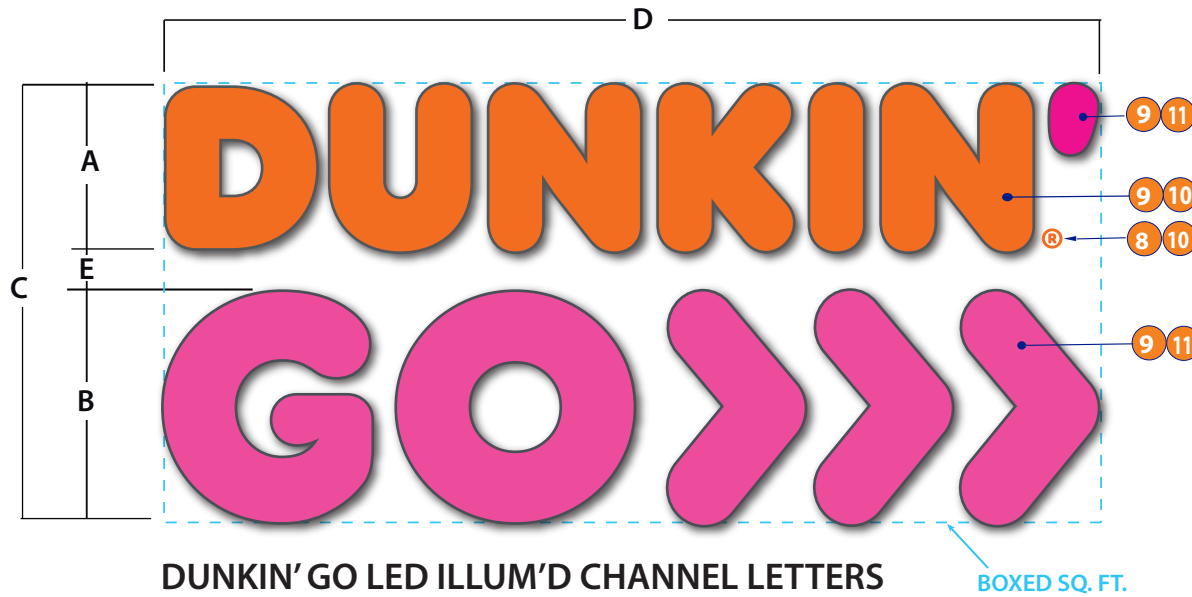


SIDE VIEW- CAR, CUP, DONUT ICONS



SIDE VIEW- CHEVRON ARROWS & APOSTROPHE

PVC ICONS- STD. SIZES												
ICON HEIGHT	CAR WIDTH	CHEVRON ARROWS WIDTH	CUP WIDTH	DONUT WIDTH	SPACE BETWEEN ICONS	OVERALL LENGTH	SQ. FT. CAR ONLY	SQ. FT. CHEVRON ARROWS ONLY	SQ. FT. CUP ONLY	SQ. FT. DONUT ONLY	SQ. FT. OF ALL ICONS BOXED	
A	B	C	D	E	F	G						
36"	57-3/4"	66-1/2"	23"	36"	4"	195-1/4"	14.43	16.62	5.75	9.0	48.81	
48"	77"	88-3/4"	30-3/4"	48"	5-3/8"	260-5/8"	25.66	29.58	10.25	16.0	86.87	
60"	96-1/4"	111"	38-1/2"	60"	6-5/8"	325-5/8"	40.10	46.25	16.04	25.0	135.67	



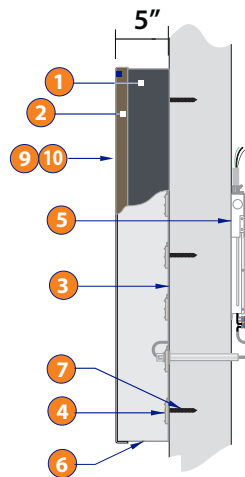
DUNKIN' GO LED ILLUM'D CHANNEL LETTERS

BOXED SQ. FT.

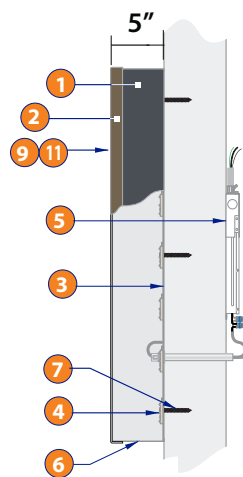
CHANNEL LETTER SPECIFICATIONS	
NO.	DESCRIPTION
1	.050 x 5"D ALUM. RETURNS PAINTED PMS 7540C DARK GRAY
2	1" TRIMCAP TO BE #313 BRONZE
3	.063 ALUMINUM BACKS
4	WHITE LED ILLUMINATION AS REQUIRED
5	REMOTE POWER SUPPLIES AS REQUIRED
6	WEEP HOLES AS REQUIRED
7	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
8	.063 ALUMINUM DISK PTD. WHITE (REGISTER 'R')
9	3/16" #2447 WHITE ACRYLIC FACES
10	3M 3630-3123 ORANGE TRANSLUCENT VINYL (1ST SURFACE)
11	3M 3630-1379 MAGENTA TRANSLUCENT VINYL (1ST SURFACE)

NOTES:

- Letter interiors painted reflective white
- U.L. listed
- LED's to be populated for even and consistent lighting without hot spots or shadows
- Font is Dunkin Sans Display

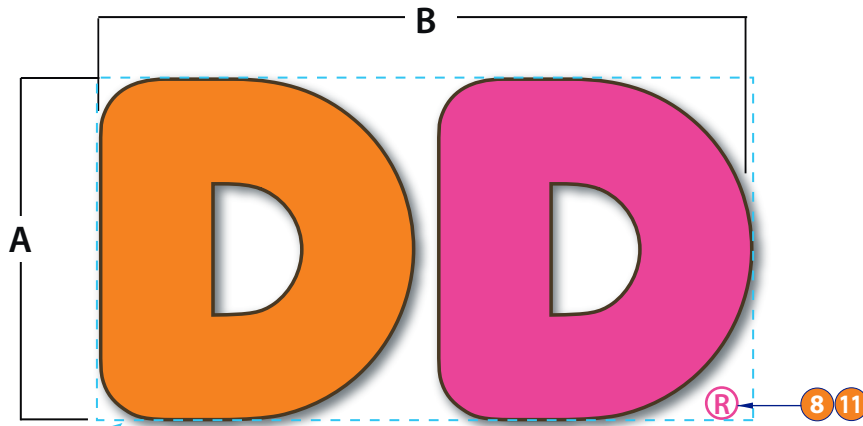


ORANGE DUNKIN' LETTERS
SECTION VIEW



MAGENTA GO>>> & APOSTROPHE
SECTION VIEW

DUNKIN' GO CHANNEL LETTER STD. SIZES					
DUNKIN' HEIGHT	GO>>> HEIGHT	OVERALL HEIGHT	OVERALL LENGTH	SPACE BETWEEN	BOXED SQUARE FOOTAGE
A	B	C	D	E	
16"	22-1/4"	42-1/4"	89-1/4"	4"	26.18
20"	27-3/4"	52-3/4"	111-1/2"	5"	40.84
24"	33-1/4"	63-1/4"	134"	6"	58.85



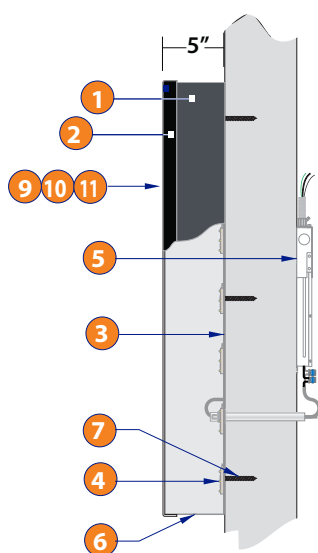
"DD" LED ILLUM'D CHANNEL LETTERS

BOXED SQ. FT.

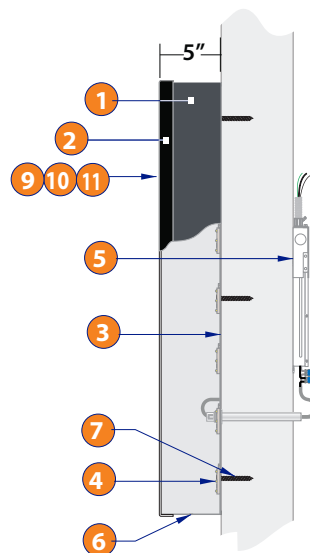
CHANNEL LETTER SPECIFICATIONS	
NO.	DESCRIPTION
1	.050 x 5"D ALUM. RETURNS PAINTED PMS 7540C DARK GRAY
2	1" TRIMCAP TO BE #313 BRONZE
3	.063 ALUMINUM BACKS
4	WHITE LED ILLUMINATION AS REQUIRED
5	REMOTE POWER SUPPLIES AS REQUIRED
6	WEEP HOLES AS REQUIRED
7	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
8	.063 ALUMINUM DISK PTD. WHITE (REGISTER 'R')
9	3/16" #2447 WHITE ACRYLIC FACES
10	3M 3630-3123 ORANGE TRANSLUCENT VINYL (1ST SURFACE)
11	3M 3630-1379 MAGENTA TRANSLUCENT VINYL (1ST SURFACE)

NOTES:

- Letter interiors painted reflective white
- U.L. listed
- LED's to be populated for even and consistent lighting without hot spots or shadows
- Font is Dunkin Sans Display

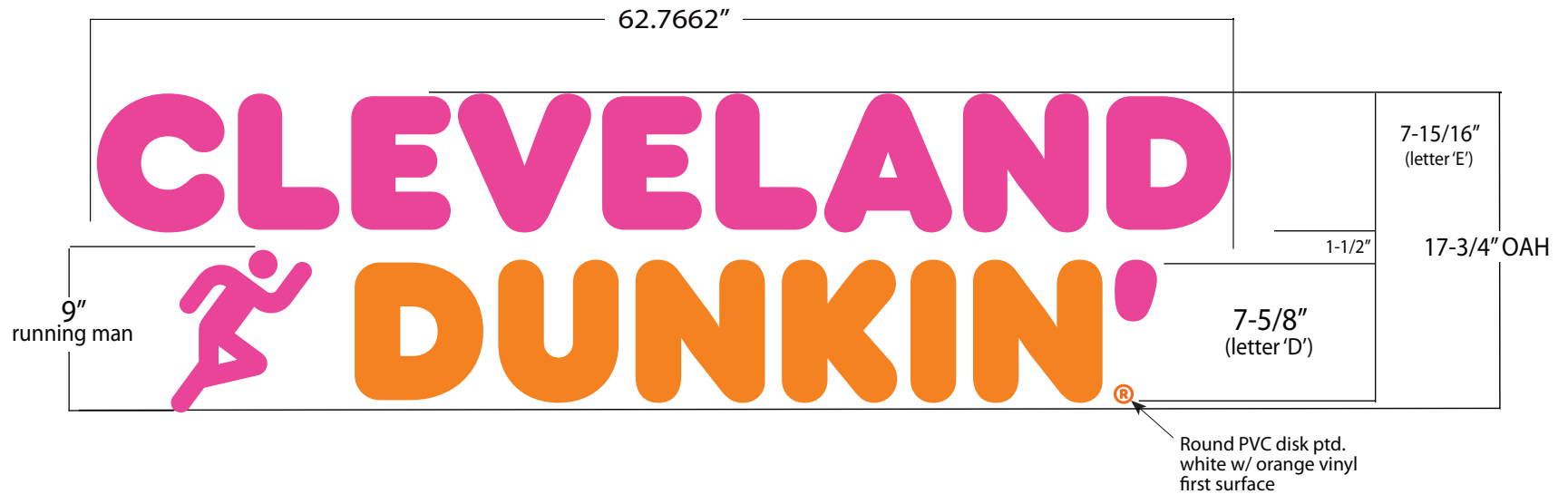


ORANGE "D" LETTER SECTION



MAGENTA "D" LETTER SECTION

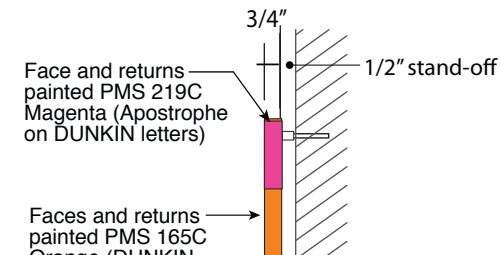
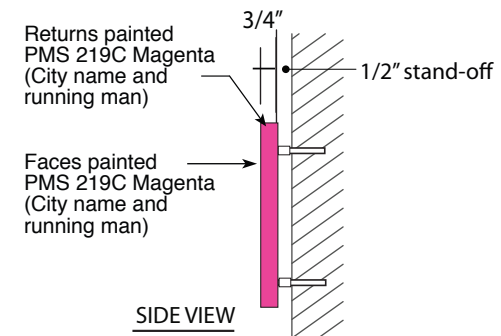
"DD" CHANNEL LETTER STANDARD SIZES				
DISPLAY HEIGHT	DISPLAY LENGTH	ELECTRICAL	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B			
36"	69-3/8"	(1) 20 AMP/120 VOLT CIRCUIT	17.35	13.70
45"	86-3/4"	(1) 20 AMP/120 VOLT CIRCUIT	27.11	21.41
54"	104-1/8"	(1) 20 AMP/120 VOLT CIRCUIT	39.04	30.83



9" NON-ILLUM'D PVC TAGLINE, INLINE, PIN MTD.

GENERAL SPECIFICATIONS:

- Routed PVC city name, "running man" icon and DUNKIN' letters; All elements to be 3/4" thick
- City name letters and running man painted PMS 219C Magenta, face and returns
- DUNKIN' letters painted PMS 165C Orange, faces and returns; Apostrophe painted PMS 219C Magenta, face and returns
- Pin-mtd. with 1/2" stand-off from wall surface
- Mounting studs as required per site conditions
- Font for DUNKIN' letters is Dunkin Sans Display





UMBRELLA



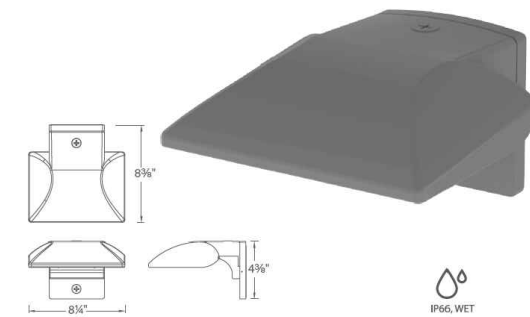
PATIO CHAIRS



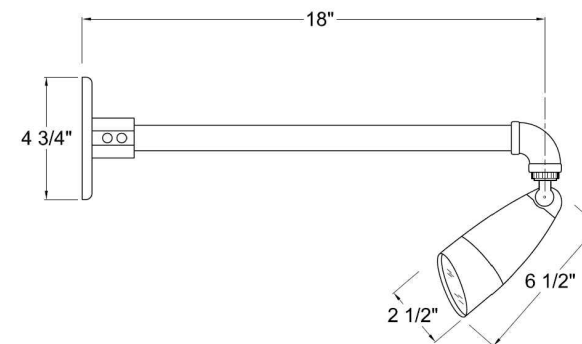
UMBRELLA WITH SEATING



PATIO TABLES



EWS-1



WSCX-2

2 FURNISHING
SCALE: N.T.S.



PC-12
"DD PINK FINISH"
PAINTED COATING

MANUFACTURER:
MATHEWS PAINT,
SHERWIN WILLIAMS
POWDER COAT



PC-13
"DD ORANGE FINISH"
PAINTED COATING

MANUFACTURER:
MATHEWS PAINT,
SHERWIN WILLIAMS
POWDER COAT



PC-01 AND PTE-01
"CONCRETE FINISH"
PASSIVE WHITE
PAINTED COATING, PAINT

MANUFACTURER:
MATHEWS PAINT,
SHERWIN WILLIAMS



PS-03
WOOD FINISH
"HONEY GLAZE WOOD
PATTERN"
FIBER CEMENT SIDING

MANUFACTURER:
WOODTONE

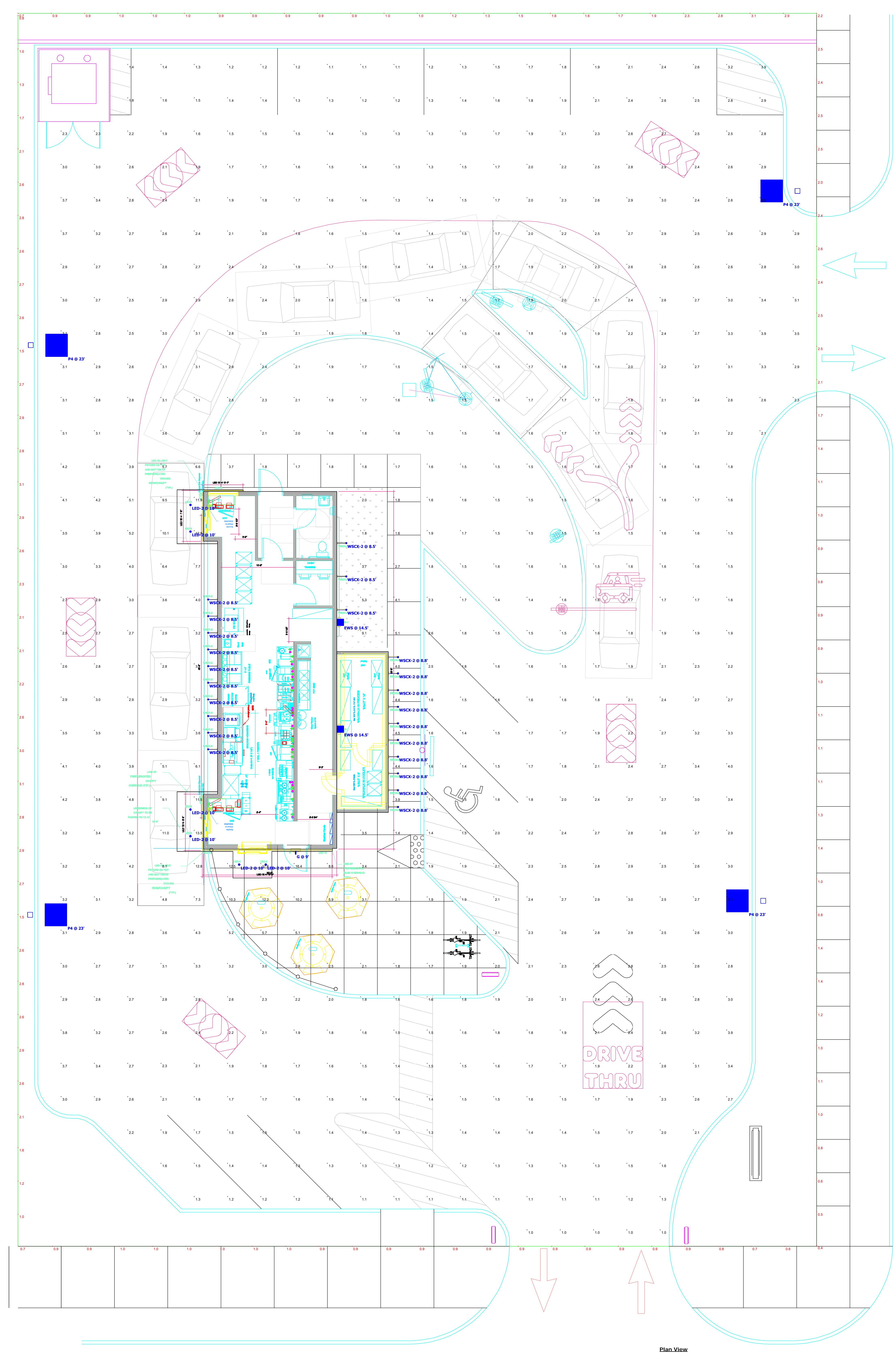


PS-01
CONCRETE FINISH
"PEARL GRAY"
FIBER CEMENT PANEL

MANUFACTURER:
JAMES HARDIE

1 MATERIAL, COLOR, FINISH SAMPLES & LIST

SCALE: N/A



Plan View

Schedule					
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description
	EWS	2	WAC Lighting	SHARK(12) A032714	
	LED-2	6	DMF Lighting	DRD2M10940-DRD2TR4SWH	N/A
	WSCX-2	13	HILITE		H-GU10-119/18-1-119
	P4	4	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T4-BZ-HSS	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LEDS AND TYPE IV OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH
	G	1	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR1B	CROSSTOUR 12W WALL MOUNT LED

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	2.5 fc	17.6 fc	0.5 fc	35.2:1	5.0:1
Property Line	+	1.7 fc	3.4 fc	0.4 fc	8.5:1	4.3:1

Luminaires & Lamps Furnished By Villa Lighting Inc. St Louis, MO. 63103
 (800)325-0693
 www.villalighting.com

The electrical contractor shall be responsible for receiving, storage, installation and wiring of light fixtures.

The electrical contractor shall report any damaged light fixtures or missing parts to Villa Lighting within 48 hours of receipt of light fixture package.

Design is based on current information provided at the time of request. Any changes in mounting height, mounting location, lamp wattage, lamp type, and existing field conditions that effect any of the previously mentioned will void the current layout and require a change request and recalculation. Calculations are based upon a computer simulation and actual field calculations may vary.

Fixtures mounted on 20' pole & 3' base
 Light level calculated on the ground

East Design Review Case

April 16, 2021



EAST 2021-009 – Proposed Demolition of a 1 ½- Story Residential Structure:
Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

Project Address: 2977 East 79th Street

Project Representative: Ayonna Donald, Director, Dept. of Building and Housing



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: February 24, 2021

PROJECT NAME: 2977 E 79 (Demolition)

PROJECT ADDRESS: 2977 E 79

PROJECT LOCATE (if no address):

<u>CONTACT PERSON</u> (for design review):	Woo Jun, Demolition Compliance Officer		
<u>COMPANY</u>:	City of Cleveland		
<u>PHONE</u>:	216) 664-4319	<u>EMAIL</u>:	wjun@city.cleveland.oh.us

OWNER: Willie Bell Cukver

ARCHITECT/CONTRACTOR: To Be Determined

PROJECT TYPE: New Building Rehabilitation Addition Sign

Demo Fence Parking Storefront

USE Residential Commercial Industrial Institutional Mixed-Use

REVIEW LEVEL: Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for subject project.

February 24, 2021

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Design Review Submittals Checklist

Level of Review:

- Conceptual Approval (*general idea of uses, scale, relationship among uses, and context*)
 - Schematic Design Approval (*placement and configurations of footprints, site layout, structure massing, general texture and design of facades*)
 - Final Design Development Approval (*details of structures and site layout including placement, materials, colors, dimensions, etc.*)
-
- Any of the above levels of design may be presented as "Information Only" with no approval action requested

Items Required:

Submissions are required in electronic form as well as hardcopy unless City Planning staff indicates otherwise electronic submissions up to 20 megabytes can be accepted.

- Application Form
- Written Project Summary (*including location, scale, investment; number of units, square feet, residents, employees, parking spaces; potential code issues; and any other pertinent information including but not limited to sustainable features.*)
- Site Location Map (*district level*)
- Site Context Plan (*i.e., site plan showing adjoining properties, buildings and street names*)
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- Lighting Plan (*including locations, fixtures, heights, etc.*)
- Material, Color and Finish Samples and Lists (*for final approval only*)
- Determination letter from Northeast Ohio Regional Sewer District [NEORS] for Combined Sewer Coverage
See page 11 of the Applicants Guide. NEORS contact: Mary Maciejowski 216-881-6600 ext 6466

Due Dates:

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Presentation boards to be used at Design Review Advisory Committee may be brought directly to the meeting (*and must accurately reflect colors that are proposed are required*)

Note:

All drawings must be legible in both digital and hard copy format. Non-legible submissions are subject to rejection.

2977 E 79 (Demolition)

Date: February 24, 2021

Project: 2977 E 79 (Demolition)

Owner: Willie Bell Cukver

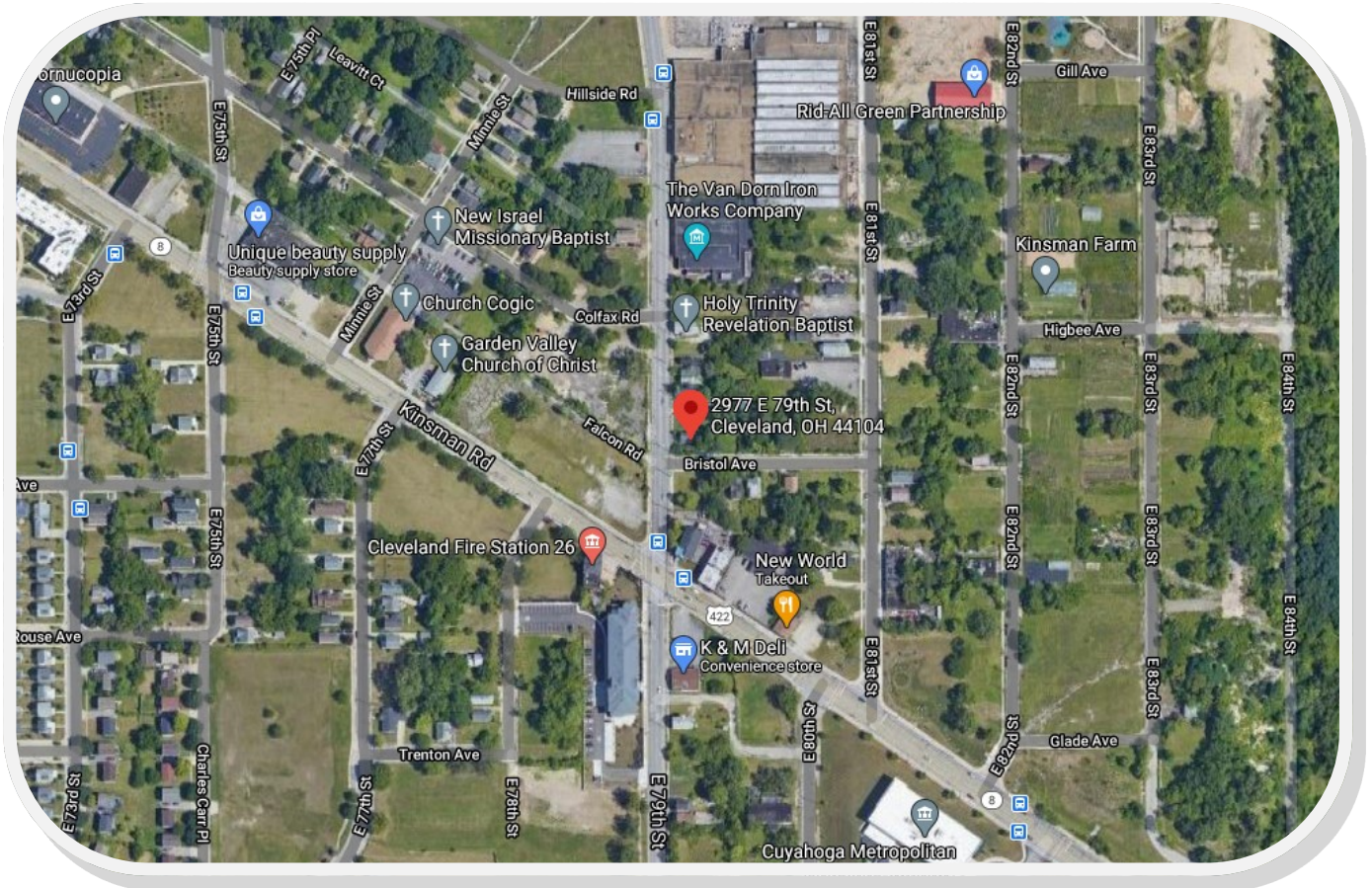
Scope of Project

The City of Cleveland Demolition Bureau will demolish the 1.5 story, cape cod style residential structure and garage, built in 1900 located at 2977 E 79. This will be a complete demolition of the structure(s) per the City of Cleveland specifications.

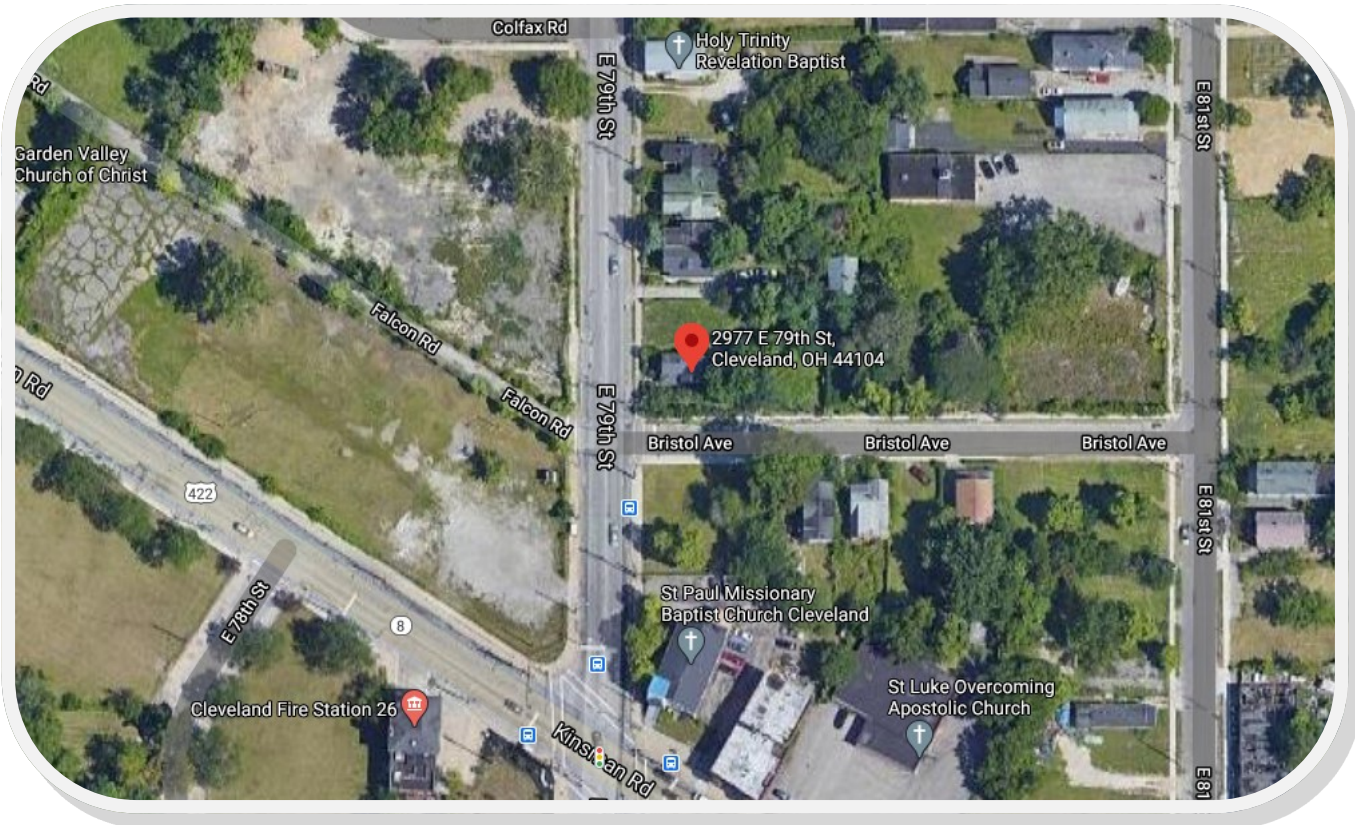
The structure(s) has/have been condemned since December 05, 2019. Willie Bell Cukver has owned the property since February 11, 1998, and has not made any efforts to redeem the property or bring it out of condemnation. It appears that this property has been vacant since at least August 2018 when the City first started boarding up the property. Since then, the City has received at least 7 complaints regarding the property, and boarded it up on 6 separate occasions. There is an outstanding tax bill in the amount of \$2,912.85, including \$254.94 in board-up delinquencies.

After the structure is razed, the remaining land will be cleared, graded, and seeded with grass.

Site Location:



Site Context:



Structure Exterior:



Property to the West: 2973 E 79 (empty lot owned by City of Cleveland Land Bank)



Property to the East: 2985 E 79 (empty lot owned by St Paul Missionary Baptist Church)



Property Across the Street: 2976 E 79(owned by City of Cleveland Land Bank)



Interior Photos:



Interior Photos:



Interior Photos:



Site Finish Plan:



Parcel will be graded and seeded per City specifications

East Design Review Case

April 16, 2021



EAST 2021-010 – Proposed Demolition of a 2 ½-Story Two-Family Residential Structure:
Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

Project Address: 7024 Grand Avenue

Project Representative: Ayonna Donald, Director, Dept. of Building and Housing



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: February 24, 2021

PROJECT NAME: 7024 Grand (Demolition)

PROJECT ADDRESS: 7024 Grand

PROJECT LOCATE (if no address):

CONTACT PERSON (for design review): Woo Jun, Demolition Compliance Officer

COMPANY: City of Cleveland

PHONE: 216) 664-4319 **EMAIL:** wjun@city.cleveland.oh.us

OWNER: City of Cleveland

ARCHITECT/CONTRACTOR: To Be Determined

PROJECT TYPE: New Building Rehabilitation Addition Sign

Demo Fence Parking Storefront

USE Residential Commercial Industrial Institutional Mixed-Use

REVIEW LEVEL: Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for subject project.

February 24, 2021

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Design Review Submittals Checklist

Level of Review:

- Conceptual Approval (*general idea of uses, scale, relationship among uses, and context*)
 - Schematic Design Approval (*placement and configurations of footprints, site layout, structure massing, general texture and design of facades*)
 - Final Design Development Approval (*details of structures and site layout including placement, materials, colors, dimensions, etc.*)
-
- Any of the above levels of design may be presented as "Information Only" with no approval action requested

Items Required:

Submissions are required in electronic form as well as hardcopy unless City Planning staff indicates otherwise electronic submissions up to 20 megabytes can be accepted.

- Application Form
- Written Project Summary (*including location, scale, investment; number of units, square feet, residents, employees, parking spaces; potential code issues; and any other pertinent information including but not limited to sustainable features.*)
- Site Location Map (*district level*)
- Site Context Plan (*i.e., site plan showing adjoining properties, buildings and street names*)
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- Site Plan (*include: north arrow, scale, legend and key dimensions and notes*)
- Landscape and or Streetscape Plan (*with plant list*)
- Furnishings and Site Amenities (*locations, details incl. cut sheets*)
- Section / Elevation Drawings (*including color versions, if requested*)
- Floor Plans (*typical floors*)
- Illustrative Renderings (*perspective or photo simulations to scale*)
- Signage Plan (*including wall signs, freestanding signs, illumination, method of attachment, colors, etc.*)
- Lighting Plan (*including locations, fixtures, heights, etc.*)
- Material, Color and Finish Samples and Lists (*for final approval only*)
- Determination letter from Northeast Ohio Regional Sewer District [NEORS] for Combined Sewer Coverage
See page 11 of the Applicants Guide. NEORS contact: Mary Maciejowski 216-881-6600 ext 6466

Due Dates:

Design proposals should be submitted to staff for preliminary review at least **3 days** prior to submittal deadline

Electronic and Hard Copy Handout submittals are required **7 days** prior to the Design Review Advisory Committee meeting (*electronic: pdf or power point*)

Presentation boards to be used at Design Review Advisory Committee may be brought directly to the meeting (*and must accurately reflect colors that are proposed are required*)

Note:

All drawings must be legible in both digital and hard copy format. Non-legible submissions are subject to rejection.

7024 Grand (Demolition)

Date: February 24, 2021

Project: 7024 Grand (Demolition)

Owner: City of Cleveland

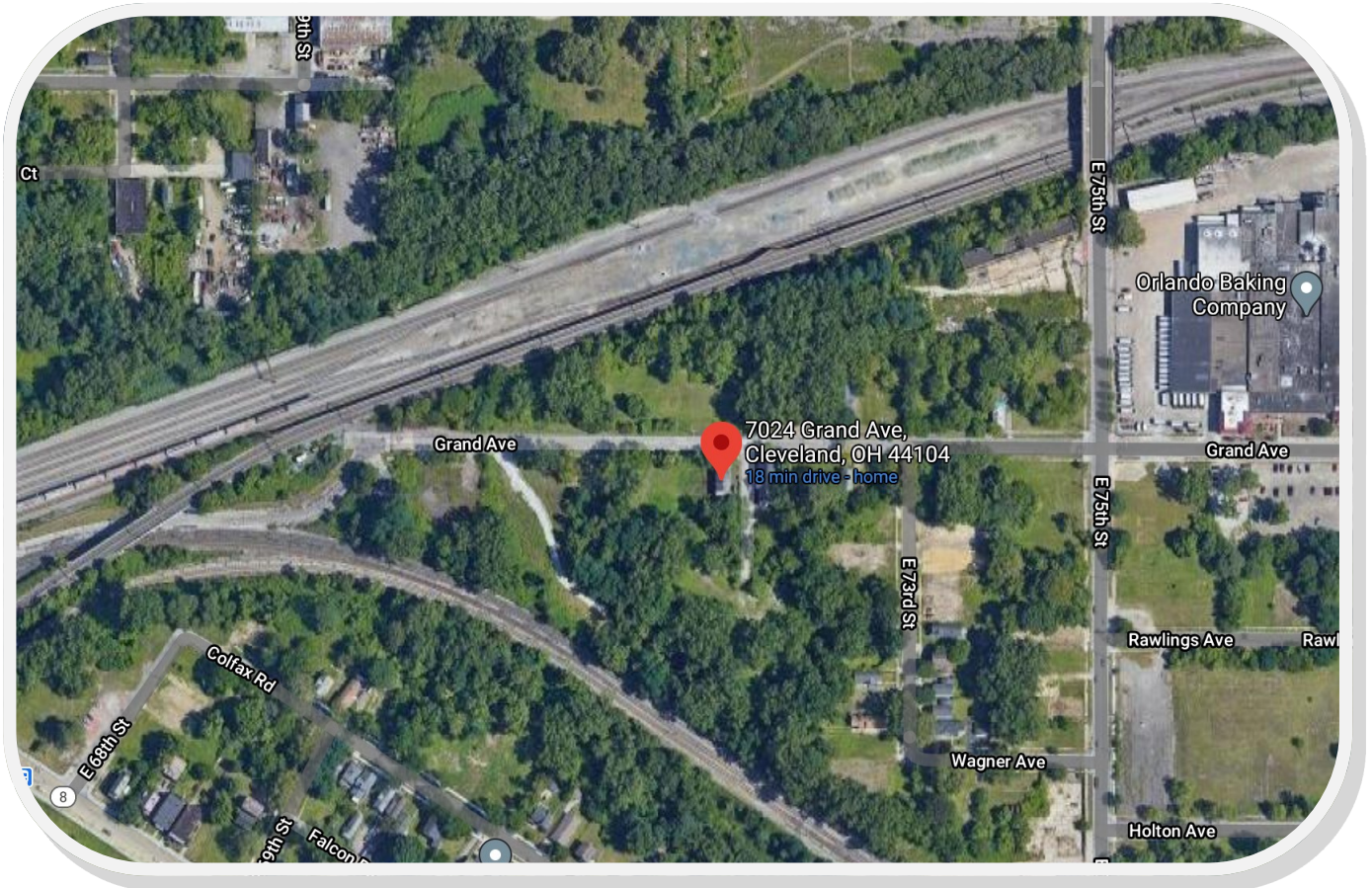
Scope of Project

The City of Cleveland Demolition Bureau will demolish the 2 story, colonial-style residential structure(s), built in 1905 located at 7024 Grand. This will be a complete demolition of the structure(s) per the City of Cleveland specifications.

The structure(s) was/were condemned in February 2021. The City of Cleveland Industrial Commercial Land Bank acquired the property for development of the new Police Headquarters.

After the structure(s) is/are razed, the remaining land will be cleared, graded, and seeded with grass.

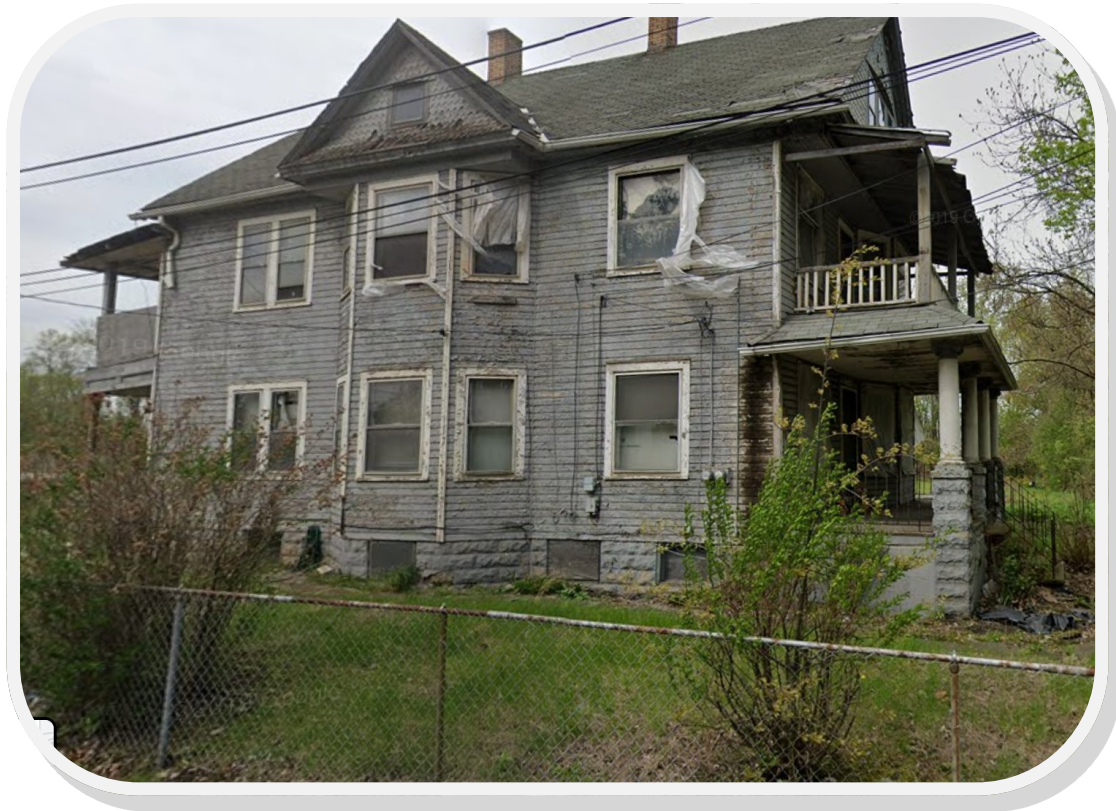
Site Location:



Site Context:



Structure Exterior:



Property to the West: Grand (empty lot owned by City of Cleveland Land Bank)



Property to the East: 7102 Grand (owned by City of Cleveland Land Bank)



Property Across the Street: Grand (owned by City of Cleveland Land Bank)



Interior Photos:



Interior Photos:



Interior Photos:



Site Finish Plan:



Parcel will be graded and seeded per City specifications

East Design Review Case

April 16, 2021



EAST 2021-011 – Proposed Demolition of a 2 ½-Story Two-Family Residential Structure:
Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

Project Address: 7102 Grand Avenue

Project Representative: Ayonna Donald, Director, Dept. of Building and Housing



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: February 24, 2021

PROJECT NAME: 7102 Grand (Demolition)

PROJECT ADDRESS: 7102 Grand

PROJECT LOCATE (if no address):

CONTACT PERSON (for design review): Woo Jun, Demolition Compliance Officer

COMPANY: City of Cleveland

PHONE: 216) 664-4319

EMAIL: wjun@city.cleveland.oh.us

OWNER: City of Cleveland

ARCHITECT/CONTRACTOR: To Be Determined

PROJECT TYPE: New Building Rehabilitation Addition Sign

Demo Fence Parking Storefront

USE Residential Commercial Industrial Institutional Mixed-Use

REVIEW LEVEL: Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for subject project.

February 24, 2021

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Design Review Submittals Checklist

T: (216) 664-2210 F: (216) 664-3281 | www.planning.city.cleveland.oh.us

Level of Review:

- Conceptual Approval (*general idea of uses, scale, relationship among uses, and context*)
 - Schematic Design Approval (*placement and configurations of footprints, site layout, structure massing, general texture and design of facades*)
 - Final Design Development Approval (*details of structures and site layout including placement, materials, colors, dimensions, etc.*)
-
- Any of the above levels of design may be presented as "Information Only" with no approval action requested

Items Required:

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- Application Form
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- Site Plan (*include: north arrow, scale, legend and key dimensions and notes*)
- Landscape and or Streetscape Plan (*with plant list*)
- Furnishings and Site Amenities (*locations, details incl. cut sheets*)
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- Illustrative Renderings (*perspective or photo simulations to scale*)
- Signage Plan (*including wall signs, freestanding signs, illumination, method of attachment, colors, etc.*)
- Lighting Plan (*including locations, fixtures, heights, etc.*)
- Material, Color and Finish Samples and Lists (*for final approval only*)
- Determination letter from Northeast Ohio Regional Sewer District [NEORS] for Combined Sewer Coverage
See page 11 of the Applicants Guide. NEORS contact: Mary Maciejowski 216-881-6600 ext 6466

Due Dates:

Design proposals should be submitted to staff for preliminary review at least **3 days** prior to submittal deadline

Electronic and Hard Copy Handout submittals are required **7 days** prior to the Design Review Advisory Committee meeting (*electronic: pdf or power point*)

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Note:

All drawings must be legible in both digital and hard copy format. Non-legible submissions are subject to rejection.

7102 Grand (Demolition)

Date: February 24, 2021

Project: 7102 Grand (Demolition)

Owner: City of Cleveland

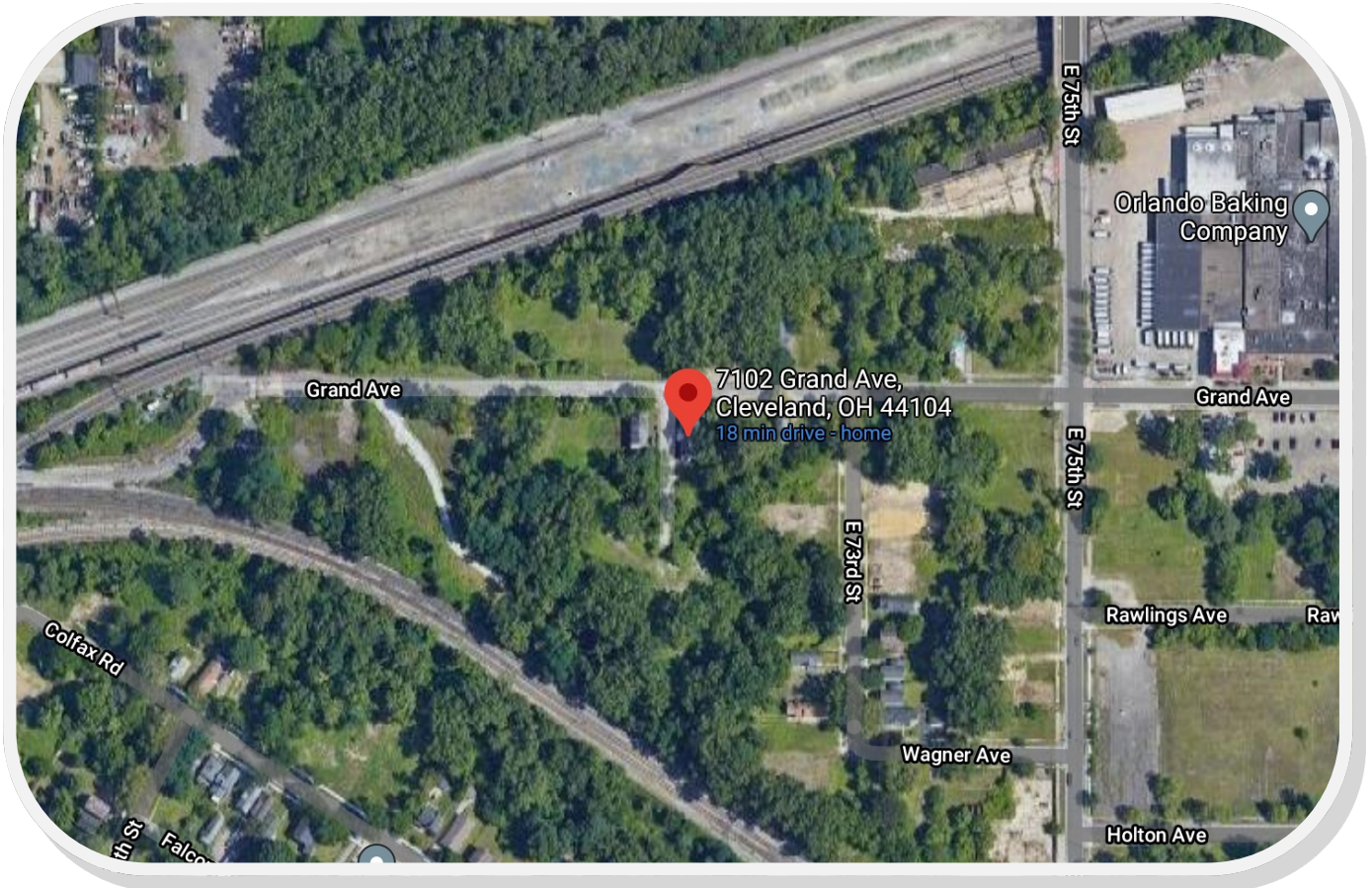
Scope of Project

The City of Cleveland Demolition Bureau will demolish the 2 story, wood timber residential structure (s), built in 1900 located at 7102 Grand. This will be a complete demolition of the structure(s) per the City of Cleveland specifications.

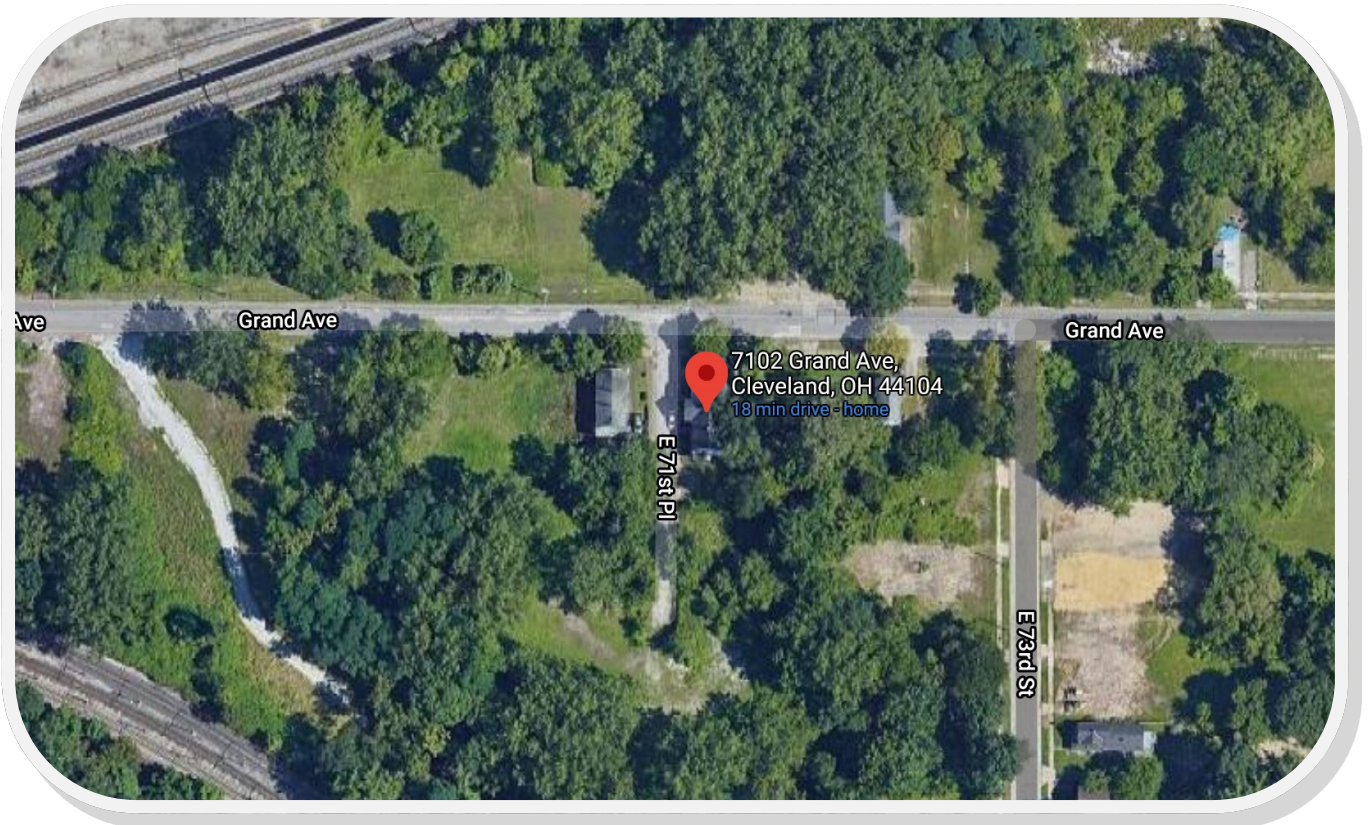
The structure(s) was/were condemned in February 2021. The City of Cleveland Industrial Commercial Land Bank acquired the property for development of the new Police Headquarters.

After the structure(s) is razed, the remaining land will be cleared, graded, and seeded with grass.

Site Location:



Site Context:



Structure Exterior:



Structure Exterior:



Property to the West: 7106 Grand (empty lot owned by City of Cleveland Land Bank)



Property to the East: 7024 Grand (owned by City of Cleveland Land Bank)



Property Across the Street: 7029 Grand (empty lot owned by City of Cleveland Land Bank)



Interior Photos:



Interior Photos:



Interior Photos:



Site Finish Plan:



Parcel will be graded and seeded per City specifications

East Design Review Case

April 16, 2021



EAST 2021-012 – Proposed Demolition of a 2 ½-Story Residential Structure: Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

Project Address: 7202 Grand Avenue

Project Representative: Ayonna Donald, Director, Dept. of Building and Housing



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: February 24, 2021

PROJECT NAME: 7202 Grand (Demolition)

PROJECT ADDRESS: 7202 Grand

PROJECT LOCATE (if no address):

CONTACT PERSON (for design review):	Woo Jun, Demolition Compliance Officer		
COMPANY:	City of Cleveland		
PHONE:	216) 664-4319	EMAIL:	wjun@city.cleveland.oh.us

OWNER: City of Cleveland

ARCHITECT/CONTRACTOR: To Be Determined

PROJECT TYPE: New Building Rehabilitation Addition Sign

Demo Fence Parking Storefront

USE Residential Commercial Industrial Institutional Mixed-Use

REVIEW LEVEL: Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for subject project.

February 24, 2021

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Design Review Submittals Checklist

T: (216) 664-2210 F: (216) 664-3281 | www.planning.city.cleveland.oh.us

Level of Review:

- Conceptual Approval (*general idea of uses, scale, relationship among uses, and context*)
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- Lighting Plan (*including locations, fixtures, heights, etc.*)
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Presentation boards to be used at Design Review Advisory Committee may be brought directly to the meeting (*and must accurately reflect colors that are proposed are required*)

Note:

All drawings must be legible in both digital and hard copy format. Non-legible submissions are subject to rejection.

7202 Grand (Demolition)

Date: February 24, 2021

Project: 7202 Grand (Demolition)

Owner: City of Cleveland

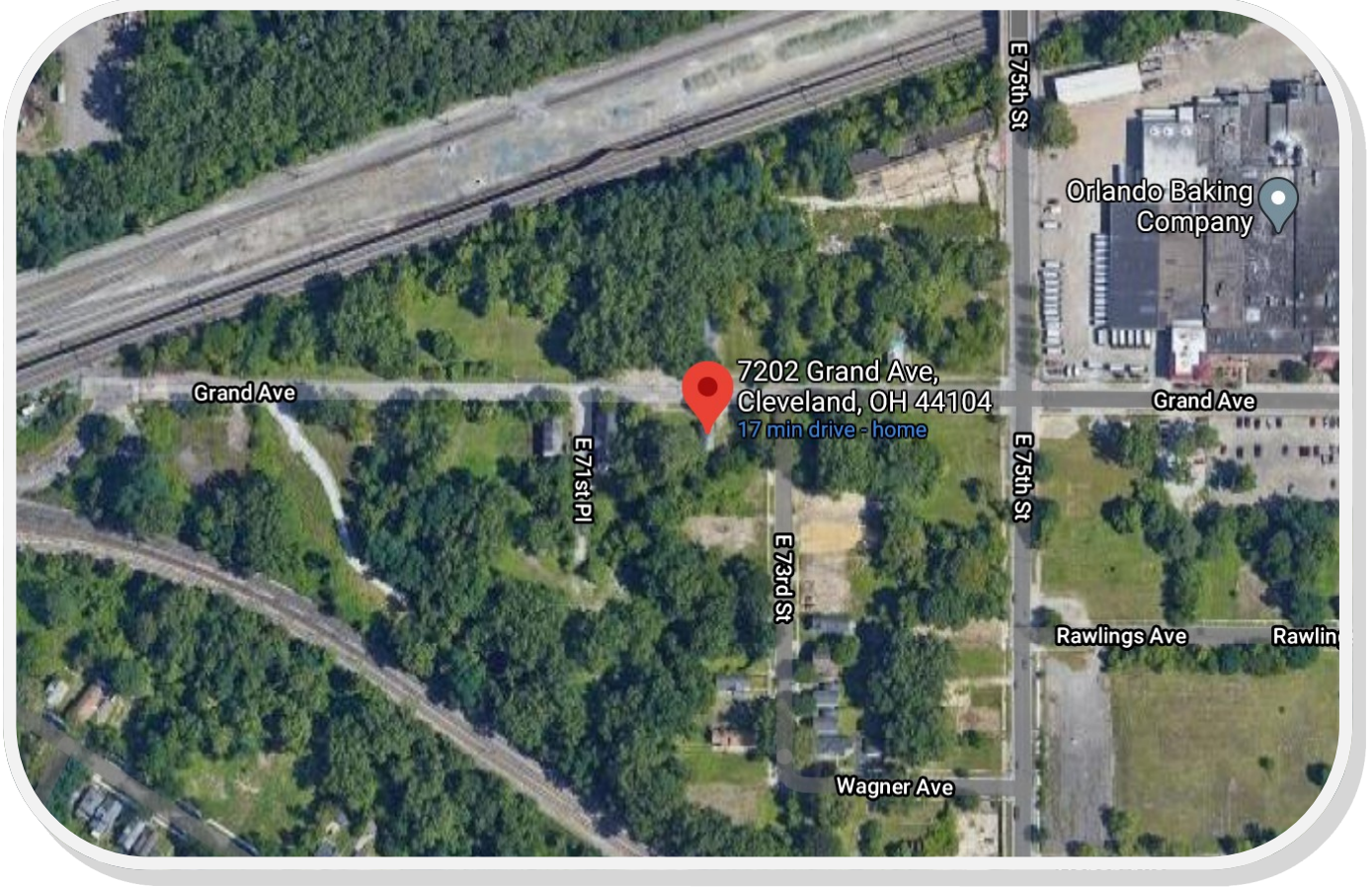
Scope of Project

The City of Cleveland Demolition Bureau will demolish the 2 story, colonial style structure(s), built in 1900 located at 7202 Grand. This will be a complete demolition of the structure(s) per the City of Cleveland specifications.

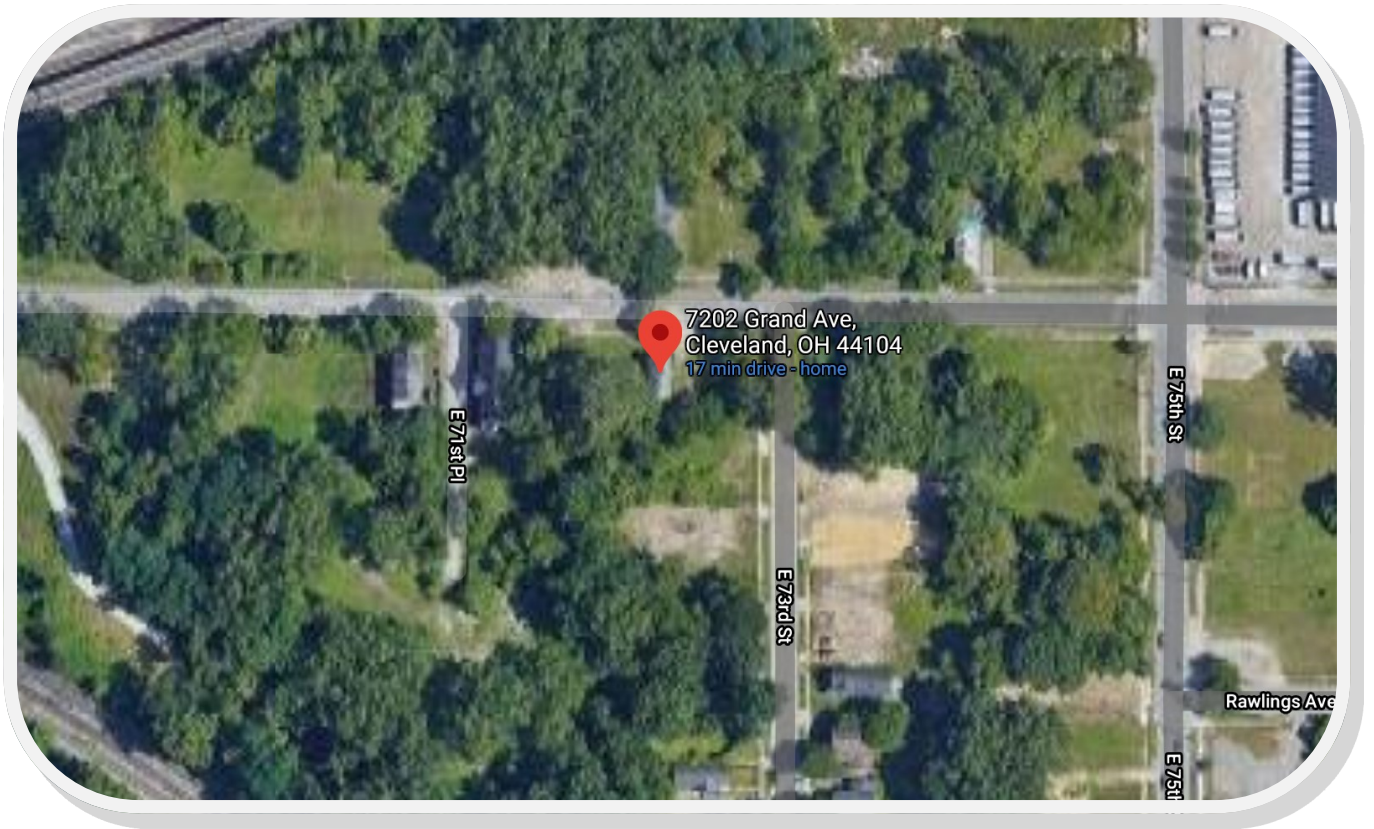
The structure(s) has/have been condemned since December 2020. The City of Cleveland Industrial Commercial Land Bank acquired the property for development of the new Police Headquarters.

After the structure(s) is/are razed, the remaining land will be cleared, graded, and seeded with grass.

Site Location:



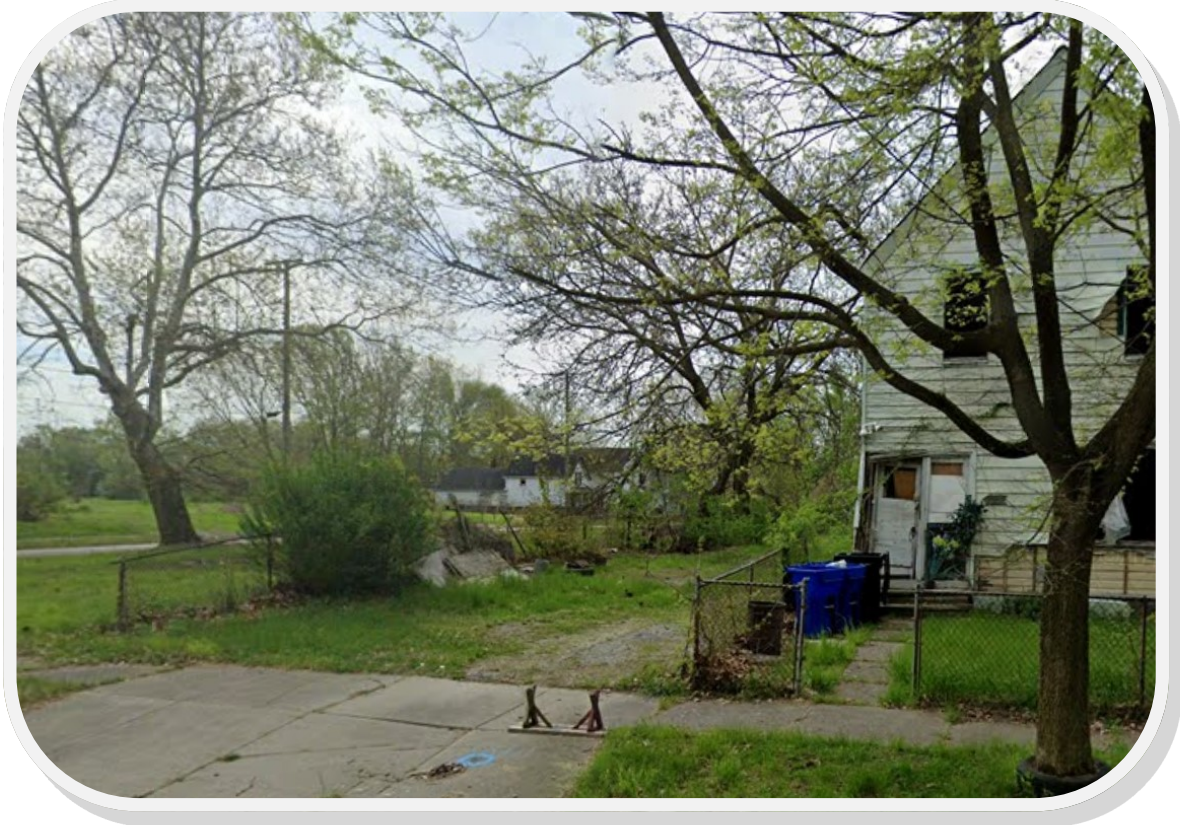
Site Context:



Structure Exterior:



Property to the West: Grand (empty lot owned by City of Cleveland Land Bank)



Property to the East: Grand (empty lot owned by City of Cleveland Land Bank)



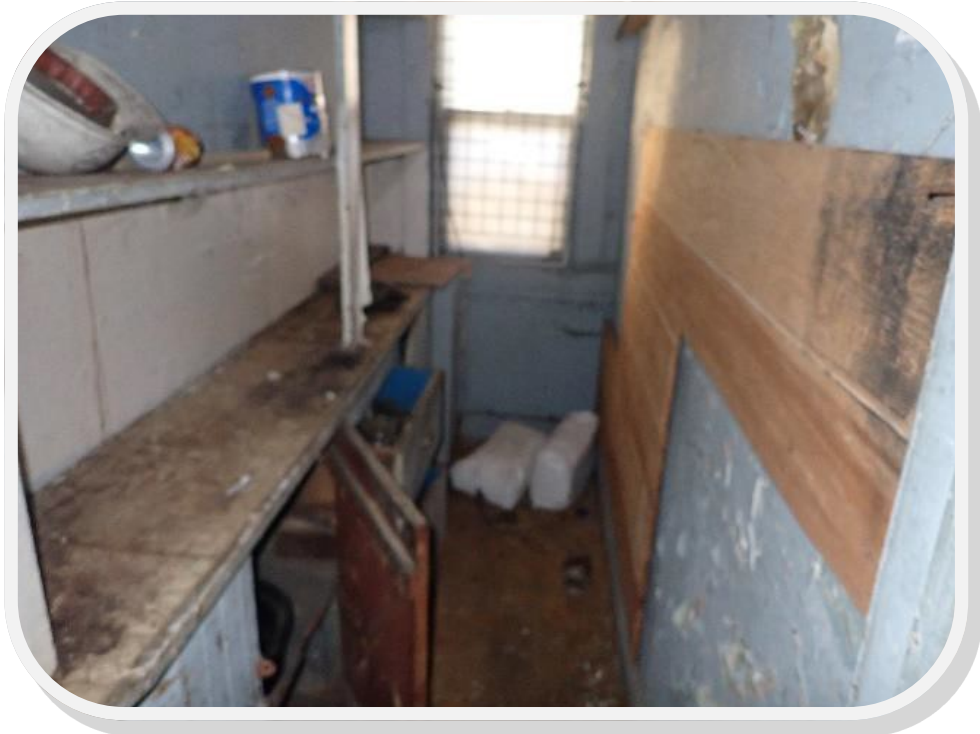
Property Across the Street: 7201 Grand (owned by City of Cleveland under contract for demo)



Interior Photos:



Interior Photos:



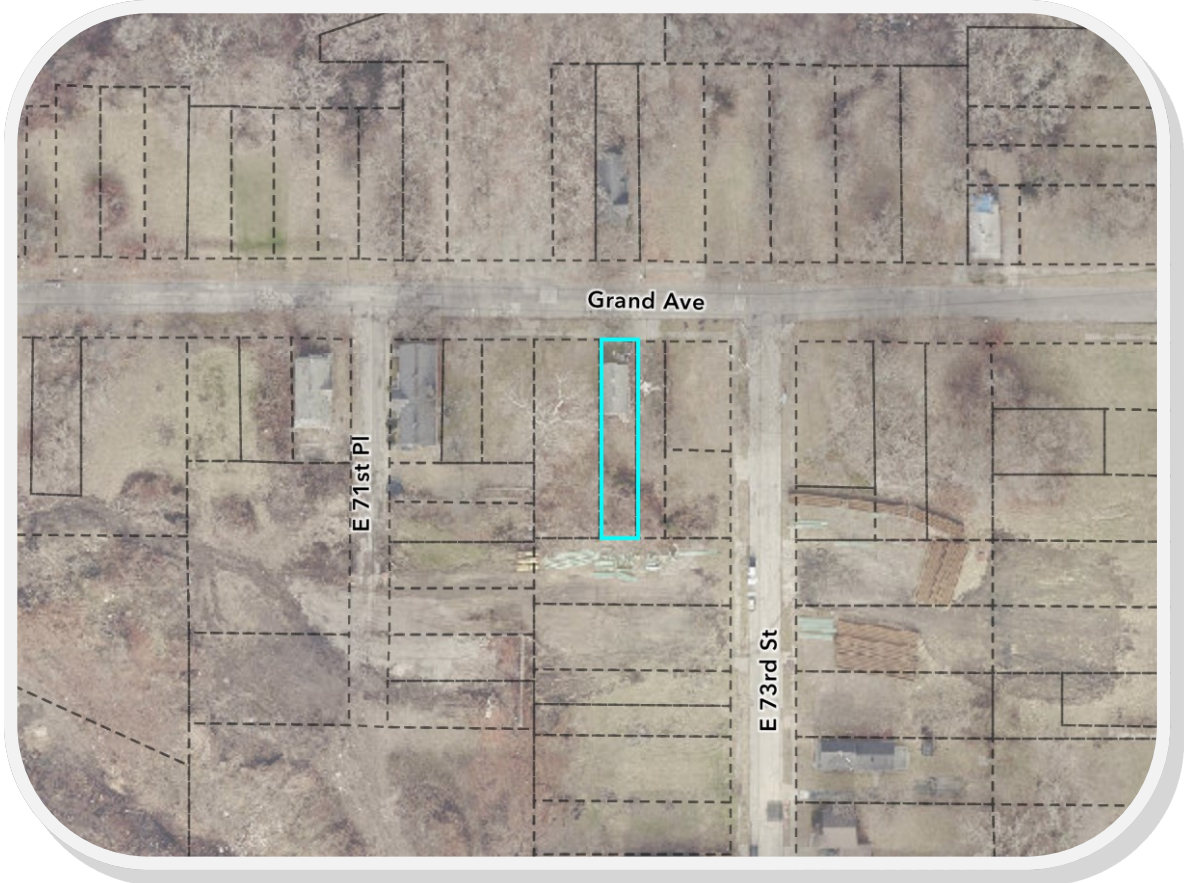
Interior Photos:



Interior Photos:



Site Finish Plan:



Parcel will be graded and seeded per City specifications

East Design Review Case

April 16, 2021



EAST 2021-013 – Proposed Demolition of a 1 ½-Story Residential Structure: Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

Project Address: 7315 Grand Avenue

Project Representative: Ayonna Donald, Director, Dept. of Building and Housing



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: February 24, 2021

PROJECT NAME: 7315 Grand (Demolition)

PROJECT ADDRESS: 7315 Grand

PROJECT LOCATE (if no address):

<u>CONTACT PERSON</u> (for design review):	Woo Jun, Demolition Compliance Officer		
<u>COMPANY</u> :	City of Cleveland		
<u>PHONE</u> :	216) 664-4319	<u>EMAIL</u> :	wjun@city.cleveland.oh.us

OWNER: City of Cleveland

ARCHITECT/CONTRACTOR: To Be Determined

PROJECT TYPE: New Building Rehabilitation Addition Sign

Demo Fence Parking Storefront

USE Residential Commercial Industrial Institutional Mixed-Use

REVIEW LEVEL: Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for subject project.

February 24, 2021

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Design Review Submittals Checklist

Level of Review:

- Conceptual Approval (*general idea of uses, scale, relationship among uses, and context*)
 - Schematic Design Approval (*placement and configurations of footprints, site layout, structure massing, general texture and design of facades*)
 - Final Design Development Approval (*details of structures and site layout including placement, materials, colors, dimensions, etc.*)
-
- Any of the above levels of design may be presented as "Information Only" with no approval action requested

Items Required:

Submissions are required in electronic form as well as hardcopy unless City Planning staff indicates otherwise electronic submissions up to 20 megabytes can be accepted.

- Application Form
- Written Project Summary (*including location, scale, investment; number of units, square feet, residents, employees, parking spaces; potential code issues; and any other pertinent information including but not limited to sustainable features.*)
- Site Location Map (*district level*)
- Site Context Plan (*i.e., site plan showing adjoining properties, buildings and street names*)
- Existing Conditions Plan (*color photographs; site context, including nearby buildings*)
- Site Plan (*include: north arrow, scale, legend and key dimensions and notes*)
- Landscape and or Streetscape Plan (*with plant list*)
- Furnishings and Site Amenities (*locations, details incl. cut sheets*)
- Section / Elevation Drawings (*including color versions, if requested*)
- Floor Plans (*typical floors*)
- Illustrative Renderings (*perspective or photo simulations to scale*)
- Signage Plan (*including wall signs, freestanding signs, illumination, method of attachment, colors, etc.*)
- Lighting Plan (*including locations, fixtures, heights, etc.*)
- Material, Color and Finish Samples and Lists (*for final approval only*)
- Determination letter from Northeast Ohio Regional Sewer District [NEORS] for Combined Sewer Coverage
See page 11 of the Applicants Guide. NEORS contact: Mary Maciejowski 216-881-6600 ext 6466

Due Dates:

Design proposals should be submitted to staff for preliminary review at least **3 days** prior to submittal deadline

Electronic and Hard Copy Handout submittals are required **7 days** prior to the Design Review Advisory Committee meeting (*electronic: pdf or power point*)

Presentation boards to be used at Design Review Advisory Committee may be brought directly to the meeting (*and must accurately reflect colors that are proposed are required*)

Note:

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7315 Grand (Demolition)

Date: February 24, 2021

Project: 7315 Grand (Demolition)

Owner: City of Cleveland

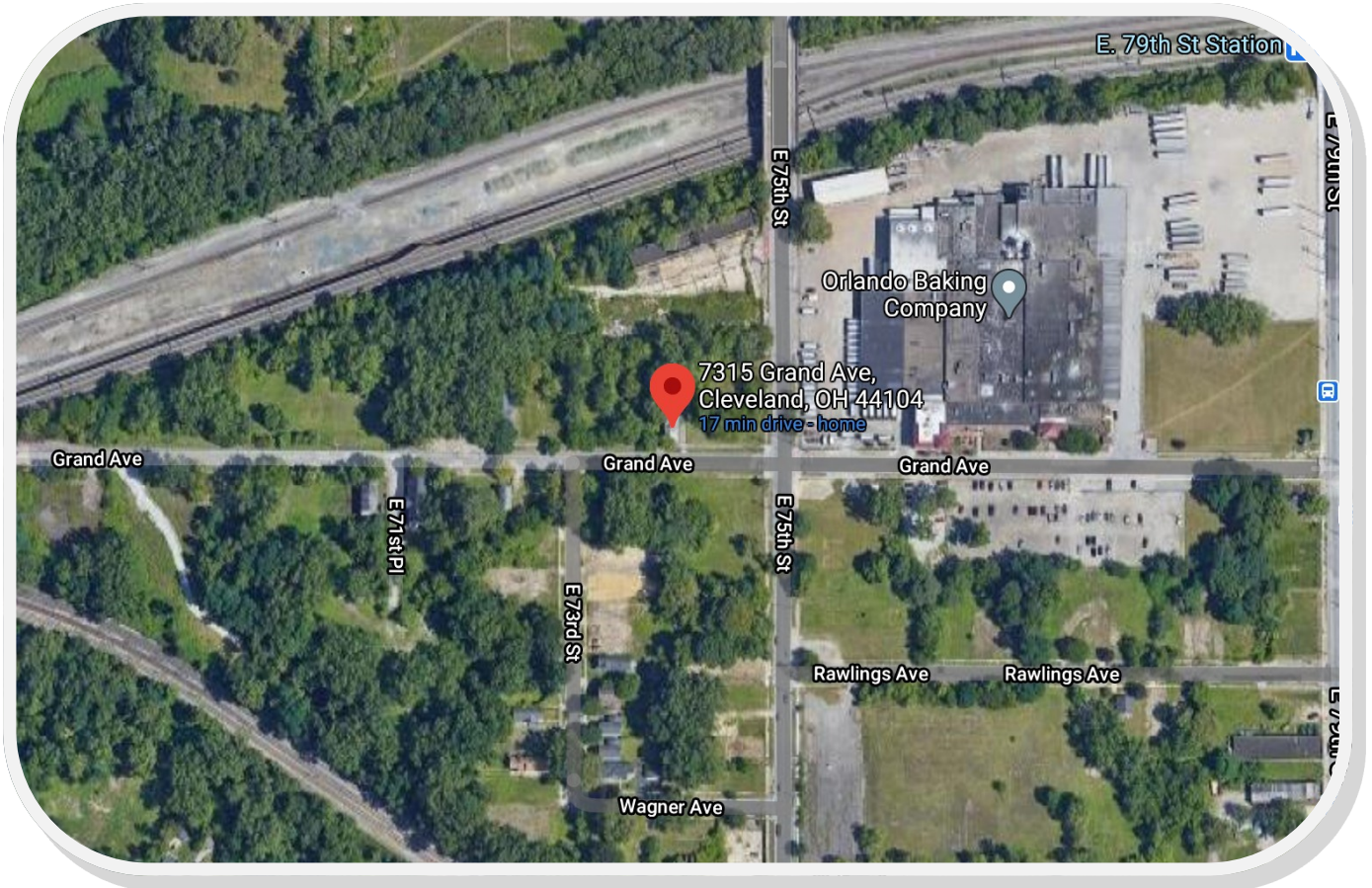
Scope of Project

The City of Cleveland Demolition Bureau will demolish the 1.5 story, bungalow-style residential structure(s), built in 1900 located at 7315 Grand. This will be a complete demolition of the structure (s) per the City of Cleveland specifications.

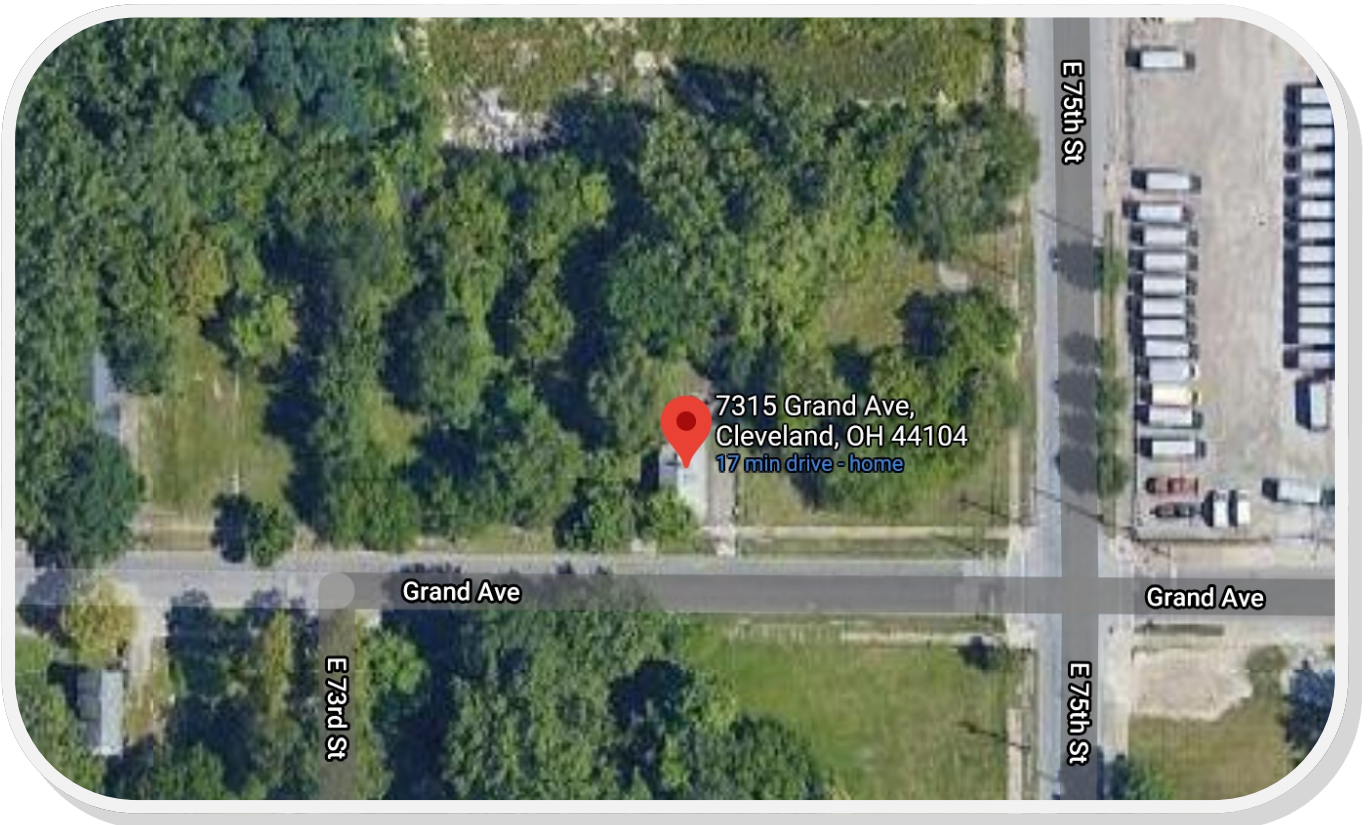
The structure(s) was/were condemned in February 2021. The City of Cleveland Industrial Commercial Land Bank acquired the property for development of the new Police Headquarters.

After the structure is razed, the remaining land will be cleared, graded, and seeded with grass.

Site Location:



Site Context:



Structure Exterior:



Property to the West: Grand (empty lot owned by City of Cleveland Land Bank)



Property to the East: E 75th St (empty lot owned by City of Cleveland Land Bank)



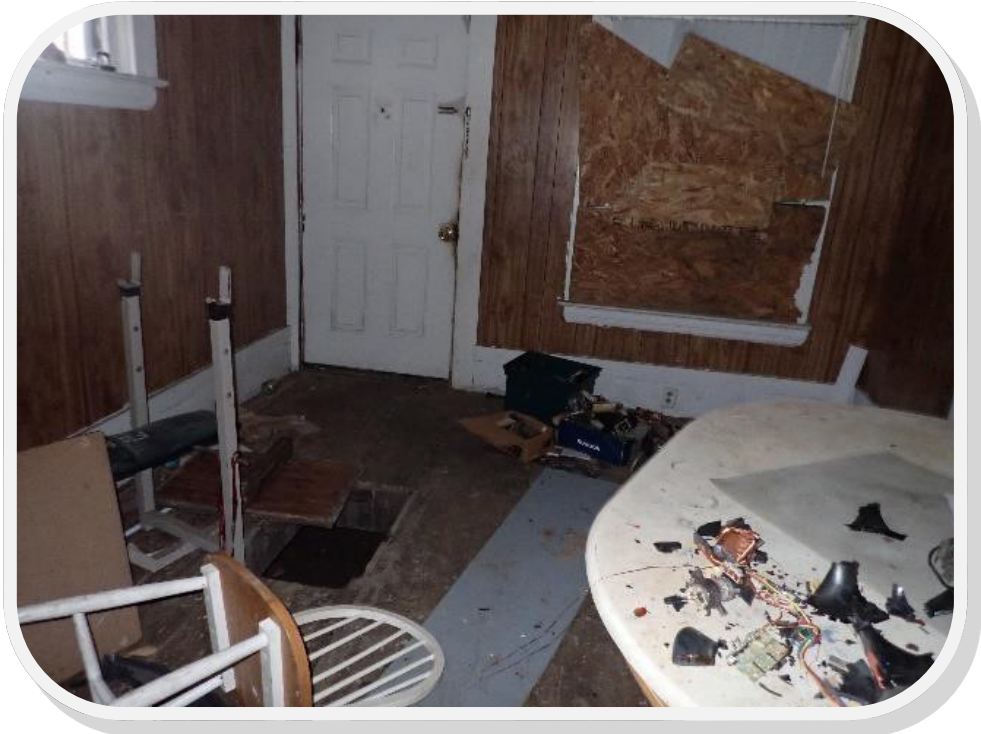
Property Across the Street: Grand (owned by City of Cleveland Land Bank)



Interior Photos:



Interior Photos:



Interior Photos:



Site Finish Plan:



Parcel will be graded and seeded per City specifications

East Design Review Case

April 16, 2021



EAST 2021-014 – Proposed Demolition of a 1- Story Brick Structure: Seeking Final Approval per § 341.08 of the Cleveland Codified Ordinances

Project Location: West side of East 75th Street north of Grand Avenue, adjacent to RR Tracks (PPN 124-24-056)

Project Representative: Ayonna Donald, Director, Dept. of Building and Housing



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: February 24, 2021
PROJECT NAME: E 75th St, PPN 124-24-056 (Demolition)
PROJECT ADDRESS: E 75th St
PROJECT LOCATE (if no address): PPN 124-24-056

CONTACT PERSON (for design review): Woo Jun, Demolition Compliance Officer
COMPANY: City of Cleveland
PHONE: 216) 664-4319 EMAIL: wjun@city.cleveland.oh.us

OWNER: City of Cleveland

ARCHITECT/CONTRACTOR: To Be Determined

PROJECT TYPE: [] New Building [] Rehabilitation [] Addition [] Sign
[] Demo [] Fence [] Parking [] Storefront

USE TYPE: [] Residential [] Commercial [] Industrial [] Institutional [] Mixed-Use

REVIEW LEVEL: [] Conceptual [] Schematic Design [] Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for subject project.

[Handwritten Signature]

February 24, 2021

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Design Review Submittals Checklist

Level of Review:

- Conceptual Approval (*general idea of uses, scale, relationship among uses, and context*)
 - Schematic Design Approval (*placement and configurations of footprints, site layout, structure massing, general texture and design of facades*)
 - Final Design Development Approval (*details of structures and site layout including placement, materials, colors, dimensions, etc.*)
-
- Any of the above levels of design may be presented as "Information Only" with no approval action requested

Items Required:

Submissions are required in electronic form as well as hardcopy unless City Planning staff indicates otherwise electronic submissions up to 20 megabytes can be accepted.

- Application Form
- Written Project Summary (*including location, scale, investment; number of units, square feet, residents, employees, parking spaces; potential code issues; and any other pertinent information including but not limited to sustainable features.*)
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- Site Context Plan (*i.e., site plan showing adjoining properties, buildings and street names*)
- Existing Conditions Plan (*color photographs; site context, including nearby buildings*)
- Site Plan (*include: north arrow, scale, legend and key dimensions and notes*)
- Landscape and or Streetscape Plan (*with plant list*)
- Furnishings and Site Amenities (*locations, details incl. cut sheets*)
- Section / Elevation Drawings (*including color versions, if requested*)
- Floor Plans (*typical floors*)
- Illustrative Renderings (*perspective or photo simulations to scale*)
- Signage Plan (*including wall signs, freestanding signs, illumination, method of attachment, colors, etc.*)
- Lighting Plan (*including locations, fixtures, heights, etc.*)
- Material, Color and Finish Samples and Lists (*for final approval only*)
- Determination letter from Northeast Ohio Regional Sewer District [NEORS] for Combined Sewer Coverage
See page 11 of the Applicants Guide. NEORS contact: Mary Maciejowski 216-881-6600 ext 6466

Due Dates:

Design proposals should be submitted to staff for preliminary review at least **3 days** prior to submittal deadline

Electronic and Hard Copy Handout submittals are required **7 days** prior to the Design Review Advisory Committee meeting (*electronic: pdf or power point*)

Presentation boards to be used at Design Review Advisory Committee may be brought directly to the meeting (*and must accurately reflect colors that are proposed are required*)

Note:

All drawings must be legible in both digital and hard copy format. Non-legible submissions are subject to rejection.

E 75th St, PPN 124-24-056 (Demolition)

Date: February 24, 2021

Project: E 75th St, PPN 124-24-056 (Demolition)

Owner: City of Cleveland

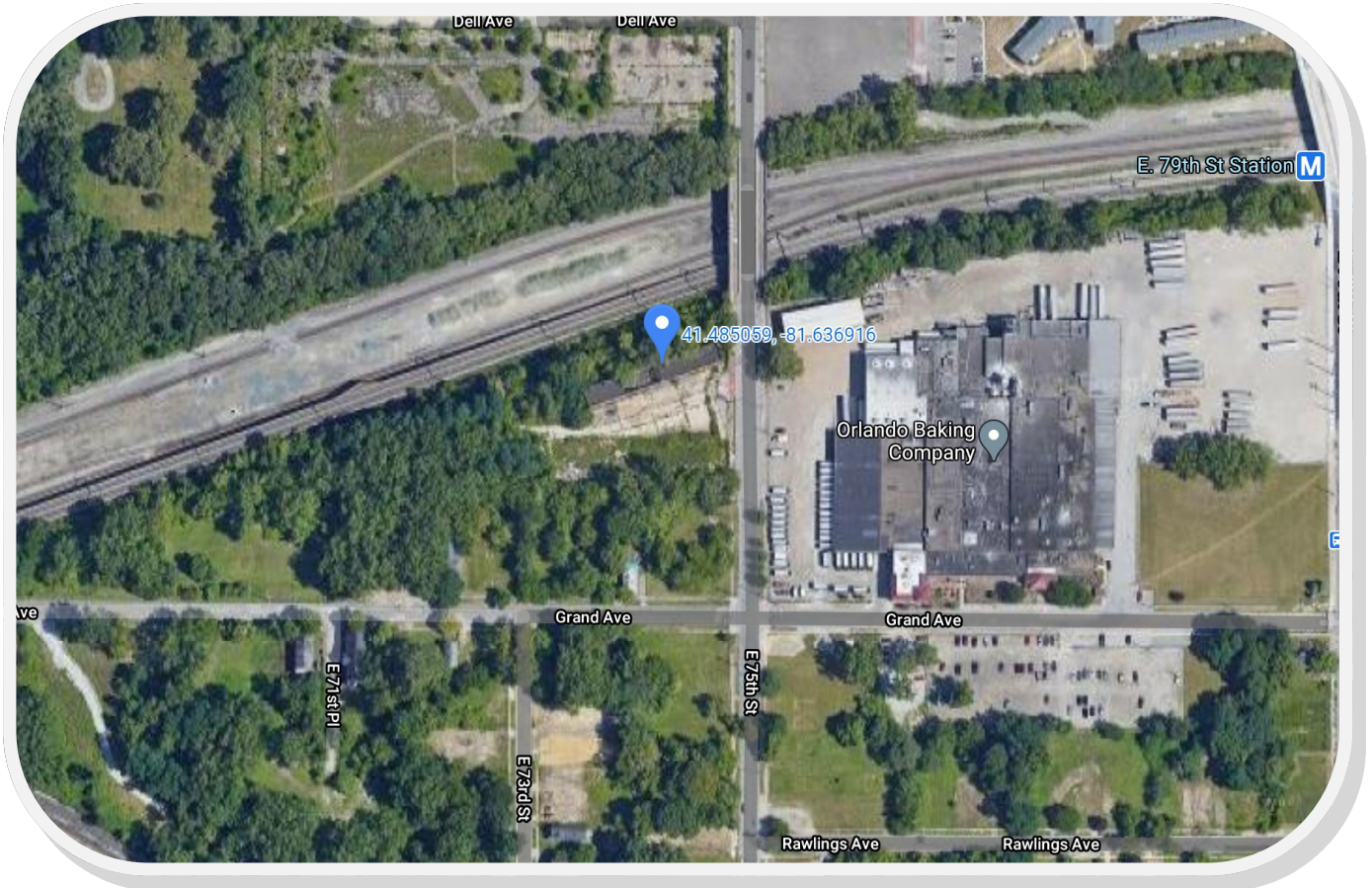
Scope of Project

The City of Cleveland Demolition Bureau will demolish the 2 story, brick industrial structure(s), located at E 75th St (PPN 124-24-056). This will be a complete demolition of the structure(s) per the City of Cleveland specifications.

The structure(s) was/were condemned in February 2021. The City of Cleveland Industrial Commercial Land Bank acquired the property for development of the new Police Headquarters.

After the structure(s) is/are razed, the remaining land will be cleared, graded, and seeded with grass.

Site Location:



Site Context:



Structure Exterior:



Property to the West: Grand (empty lot owned by City of Cleveland Land Bank)



Property to the East: 7777 Grand (owned by Orlando Baking Company)



Property Located in Front: E 75 (owned by City of Cleveland Land Bank)



Interior Photos:



Site Finish Plan:



Parcel will be graded and seeded per City specifications

Euclid Corridor Design Review Case



April 16, 2021

EC2020-029 – ARPI Apartments: Seeking Schematic Design Approval

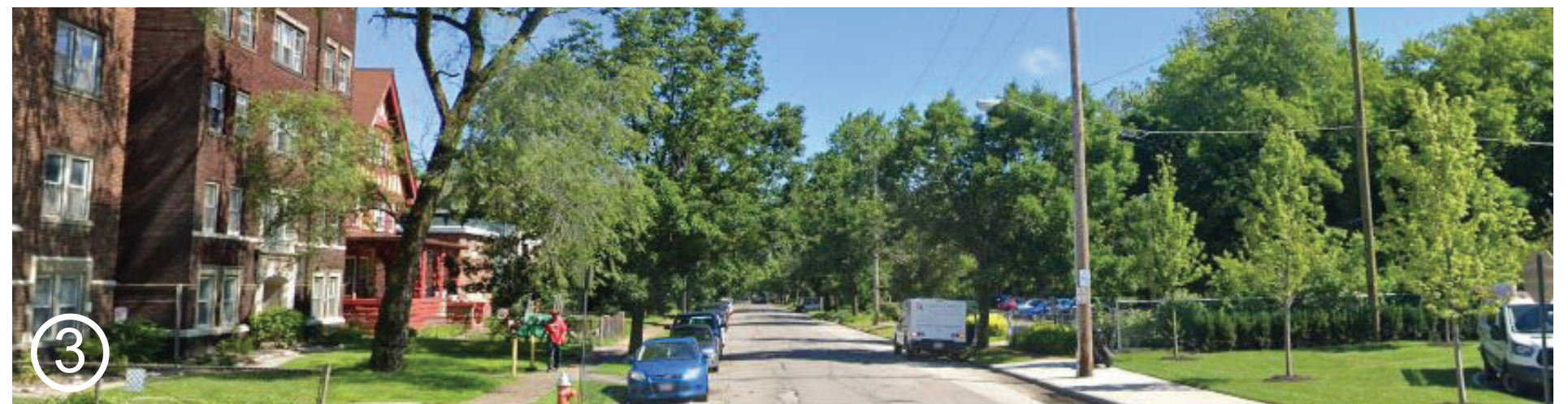
Project Address: 1866 East 93rd Street

Project Representatives: Brandon Kline, Geis Companies

Richard Arnstine, Arpi Development

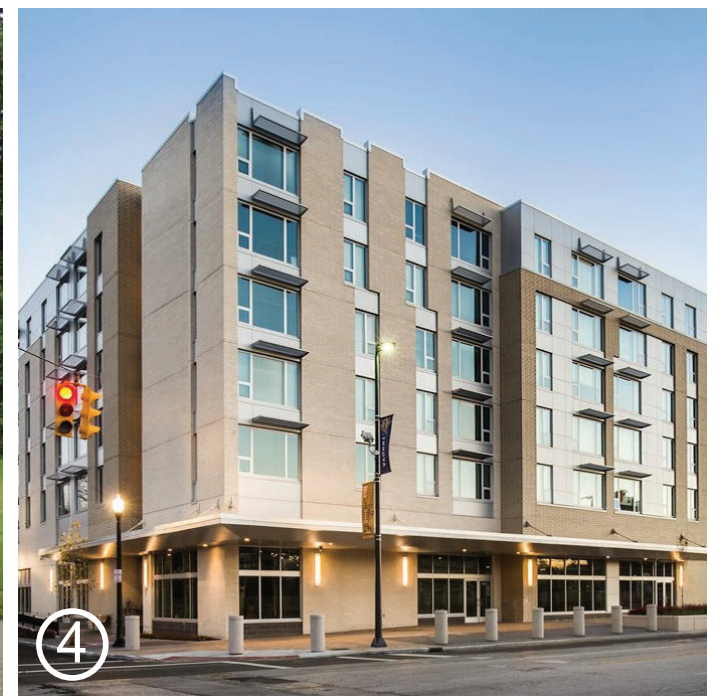
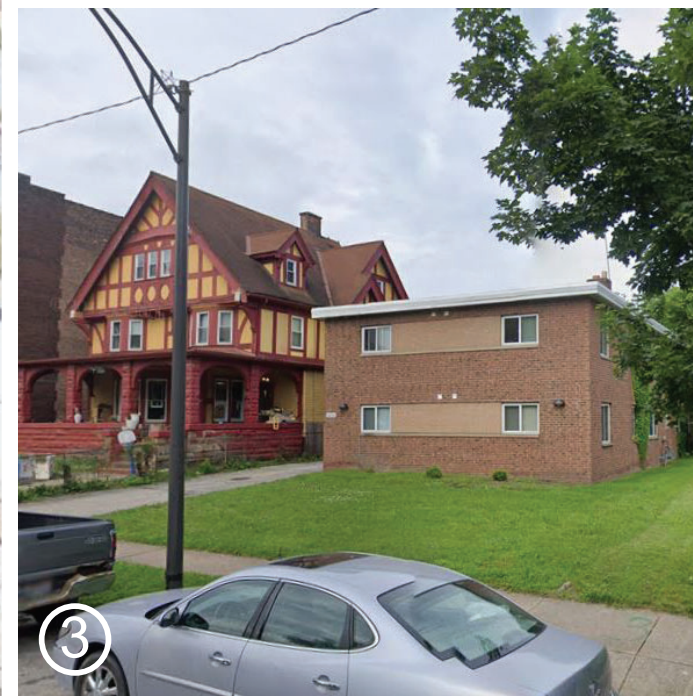
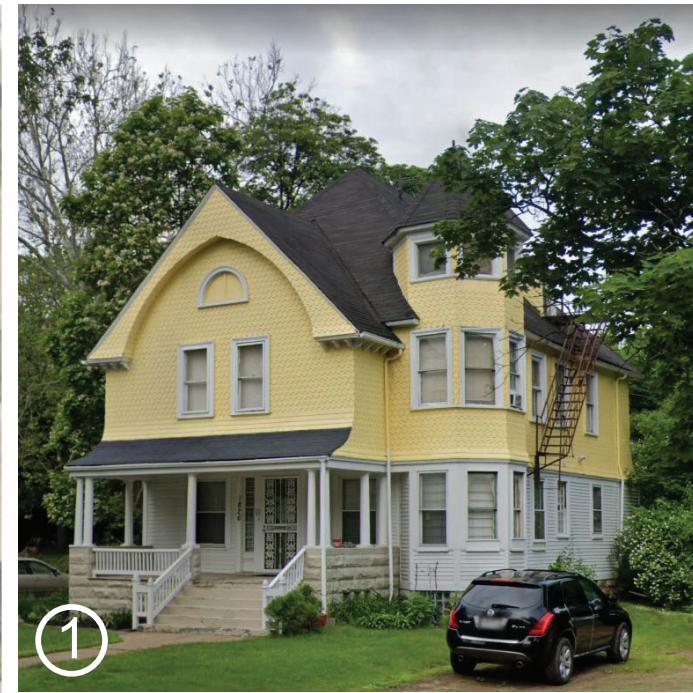
Note: this project received Conceptual Approval with Conditions from the Planning Commission on December 18, 2020.





SITE CONTEXT

ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO

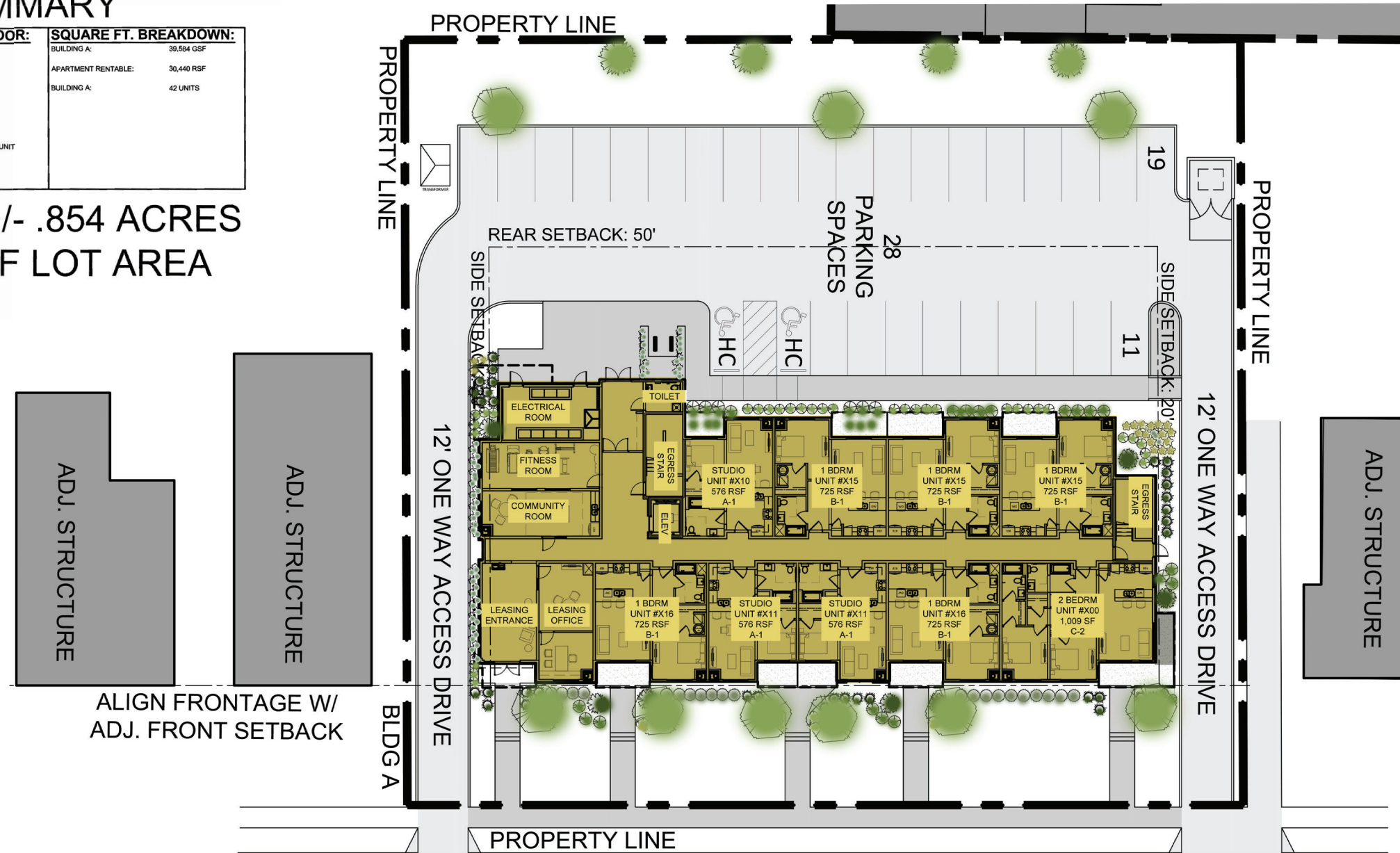


PROJECT SUMMARY

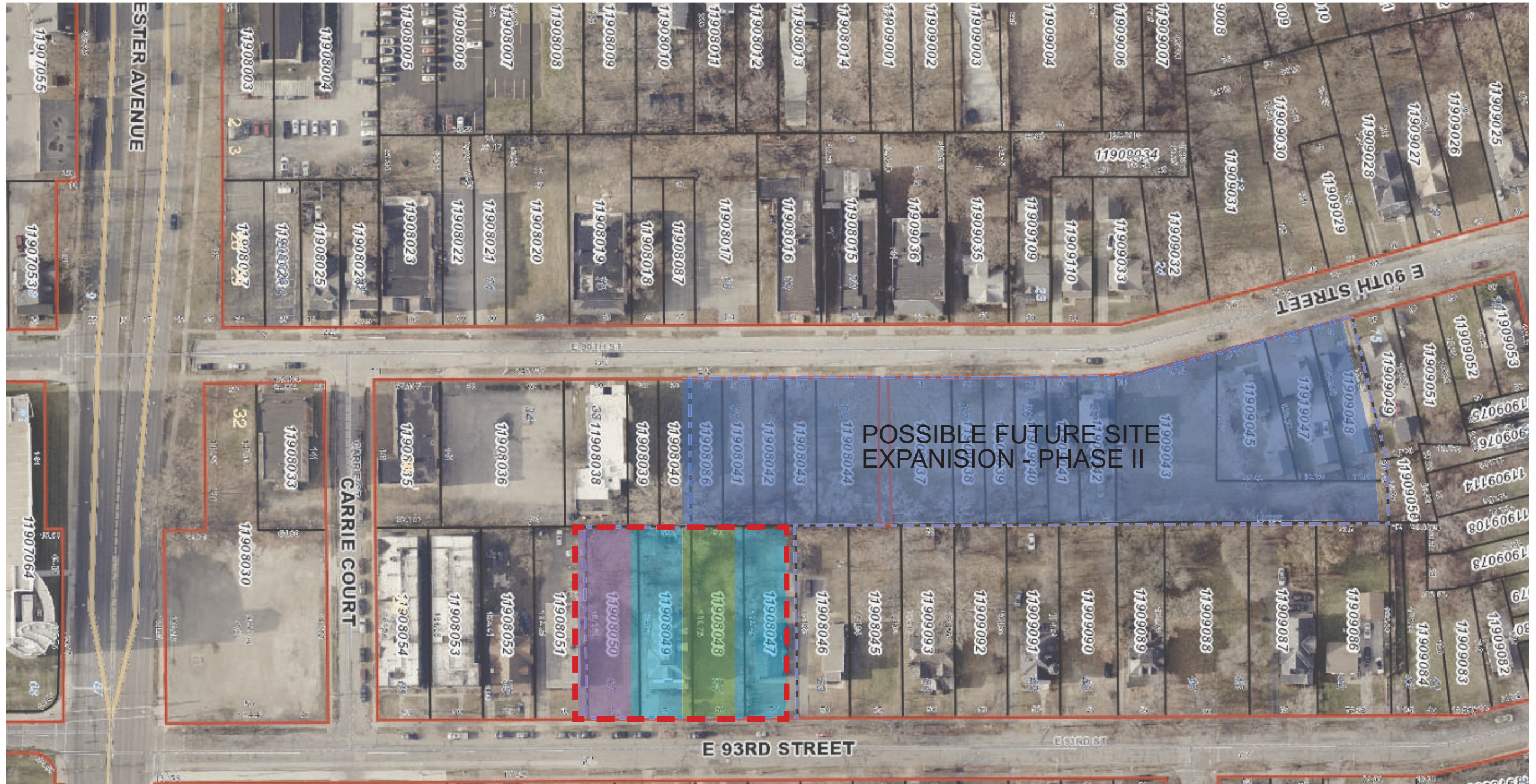
GROUND FLOOR THROUGH 4TH FLOOR:		SQUARE FT. BREAKDOWN:	
UNIT TYPE:	BLDG A:	BUILDING A:	39,564 GSF
STUDIO	12 UNITS	APARTMENT RENTABLE:	30,440 RSF
1 BEDROOM	23 UNITS	BUILDING A:	42 UNITS
2 BEDROOM	07 UNITS		
TOTAL UNITS	42 UNITS		

VARIANCES REQUIRED:
 **PARKING REDUCTION FROM 1 SPACE PER UNIT TO .667 SPACES PER UNIT
 **LAND DENSITY -10% INCREASE REQUESTED
 **LAND DENSITY 37,235*1.5*5 + 27,926 SF USABLE AREA ALLOWED
 30,440 SF USABLE AREA PROVIDED

SITE AREA: +/- .854 ACRES
+/- 37,235 SF LOT AREA



SITE PLAN



PHASE II



CURRENT OWNER



CLEVELAND LAND BANK



OPTION TO PURCHASE



PARCEL MAP



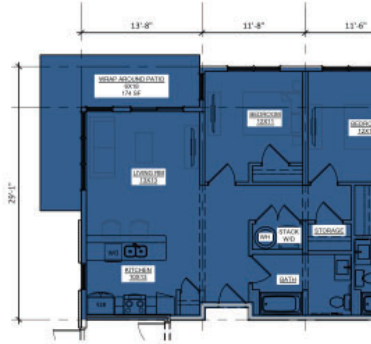
ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO



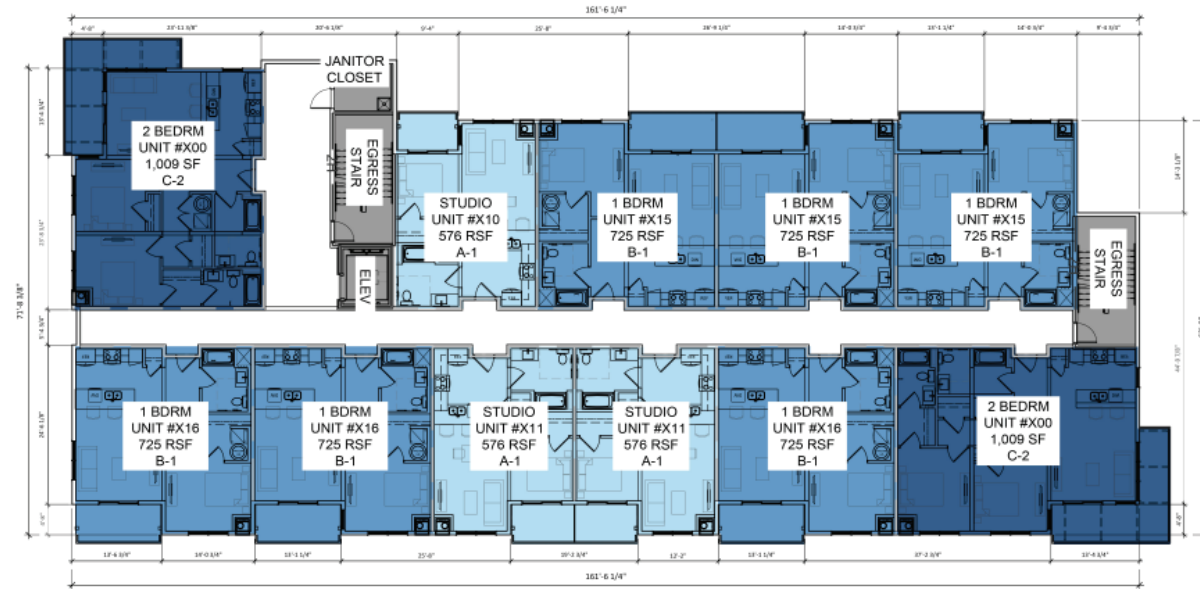
A-1 STUDIO - 576 RSF



B-1 1 BEDROOM - 718 RSF



C-2 2 BEDROOM - 1002 RSF



2ND - 4TH FLOOR PLANS



GROUND FLOOR PLAN



FLOOR PLANS

ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO



SITE LIGHTING BOLLARD

ECLIPSE LIGHTING - LED BO SERIES
(TYPICAL)



SITE LIGHTING WALL PACK

LSI - MIRADA
(TYPICAL)



SITE LIGHTING SCONCE

WESTINGHOUSE - MAYSCLICK
(TYPICAL)



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

MATERIAL LEGEND	
①	PAC CLAD OR EQUAL STYLE: FLUSH PANEL COLOR: PVDF, LONG GRAIN CHERRY HORIZONTAL 6"H
②	JAMES HARDIE, LP SMARTSIDE, OR EQUAL STYLE: LAP SIDING, FLAT COLOR: CHARCOAL HORIZONTAL 12"H W/ GROOVE @ 36" O.C.
③	JAMES HARDIE, LP SMARTSIDE, OR EQUAL STYLE: BOARD AND BATTEN, CEDARMILL COLOR: GOLDEN LEAVES VERTICAL 12"W
④	SCHORY SPLITFACE CMU OR EQUAL STYLE: EMERALD SERIES COLOR: SNOW 8"H x 16"W x 4"D (NOM.)
⑤A	PAC CLAD OR EQUAL STYLE: PAC EXTENDED SNAP EDGE FASCIA, FA COLOR: BONE WHITE HEIGHT: 11"
⑤B	PAC CLAD OR EQUAL STYLE: PAC EXTENDED SNAP EDGE FASCIA, FA COLOR: MATCH ADJACENT SIDING COLOR HEIGHT: 4"
⑥A	PLYGEM DOOR SYSTEM (SMOKE GREY)
⑥B	PLYGEM WINDOW SYSTEM (SMOKE GREY)
⑦	STOREFRONT GLASS (CLEAR ANODIZED ALUMINUM)
⑧	HOLLOW METAL DOOR AND FRAME COLOR: SMOKE GREY
⑨	MAPES CANOPY (CLEAR ANODIZED ALUMINUM)
⑩	PRE-ENGINEERED BALCONY, GUARDRAIL, AND SCREEN WALL BY ENDURABLE
⑪	MECHANICAL LOUVER, COLOR TO MATCH ADJACENT SIDING
⑫	WESTINGHOUSE MAYSCLICK 12" TALL LED OUTDOOR WALL SCONCE
⑬	LSI LIGHTING INDUSTRIES, XWM 2 LED WALL PACK
⑭	SIDEWALK LIGHT BOLLARD

ELEVATIONS

ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO







RENDERING - VIEW LOOKING SOUTH



ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO



RENDERING - VIEW LOOKING NORTH

ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO





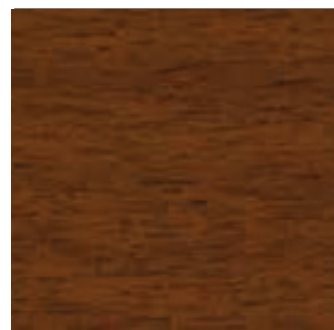
PLYGEM
SLIDING DOOR
"SMOKE GRAY"



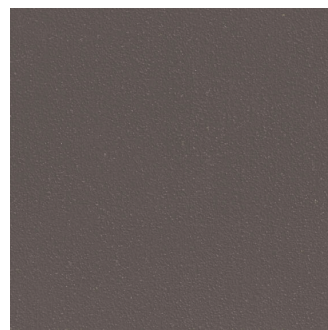
PICKET RAILING
CLEAR ANODIZED
ALUMINUM



WINDOW SYSTEM
CLEAR ANODIZED
ALUMINUM



PAC CLAD
FLUSH PANEL
"LONG GRAIN
CHERRY"



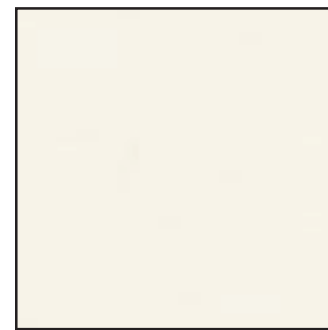
JAMES HARDIE
LAP SIDING
"GRAY SLATE"



JAMES HARDIE
BOARD & BATTEN
'CYPRESS YELLOW"



SCHORY,
EMERALD SERIES
"SNOW"



PAC CLAD
FASCIA
"BONE WHITE"



MAPES CANOPY
CLEAR ANODIZED
ALUMINUM

EXTERIOR FINISH BOARD



ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO

PREVIOUS APPROVED SUBMISSION
INCLUDED FOR REFERENCE ONLY



RENDERING - VIEW LOOKING SOUTH



ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO

PREVIOUS APPROVED SUBMISSION
INCLUDED FOR REFERENCE ONLY



RENDERING - VIEW LOOKING NORTH

ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO





RENDERING - VIEW LOOKING NORTH

ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO



RENDERING - VIEW LOOKING SOUTH

ARPI DEVELOPMENT
1866 EAST 93RD STREET, CLEVELAND OHIO

Downtown | Flats Design Review Case



April 16, 2021

DF2021-003 - City Club Apartments Accessory Installations: Seeking Final Approval

Project Address: NA

Project Representative: Jon Withrow, Kolano Design

Note: this project received Conceptual Approval with Conditions from the Planning Commission on February 5, 2021.



City Club Apartments Conceptual Design Review

REV: April 15, 2021
REV: February 15, 2021
Issued: January 27, 2021

SITE ADDRESS

Downtown/Flats Design Review District,
Permanent Parcel Number 10127015 - Intersection of Euclid Ave. and E. 8th St.

KOLANO design

6026 Centre Avenue
Pittsburgh, Pennsylvania 15206-3784

412-661-9000 kolano.com

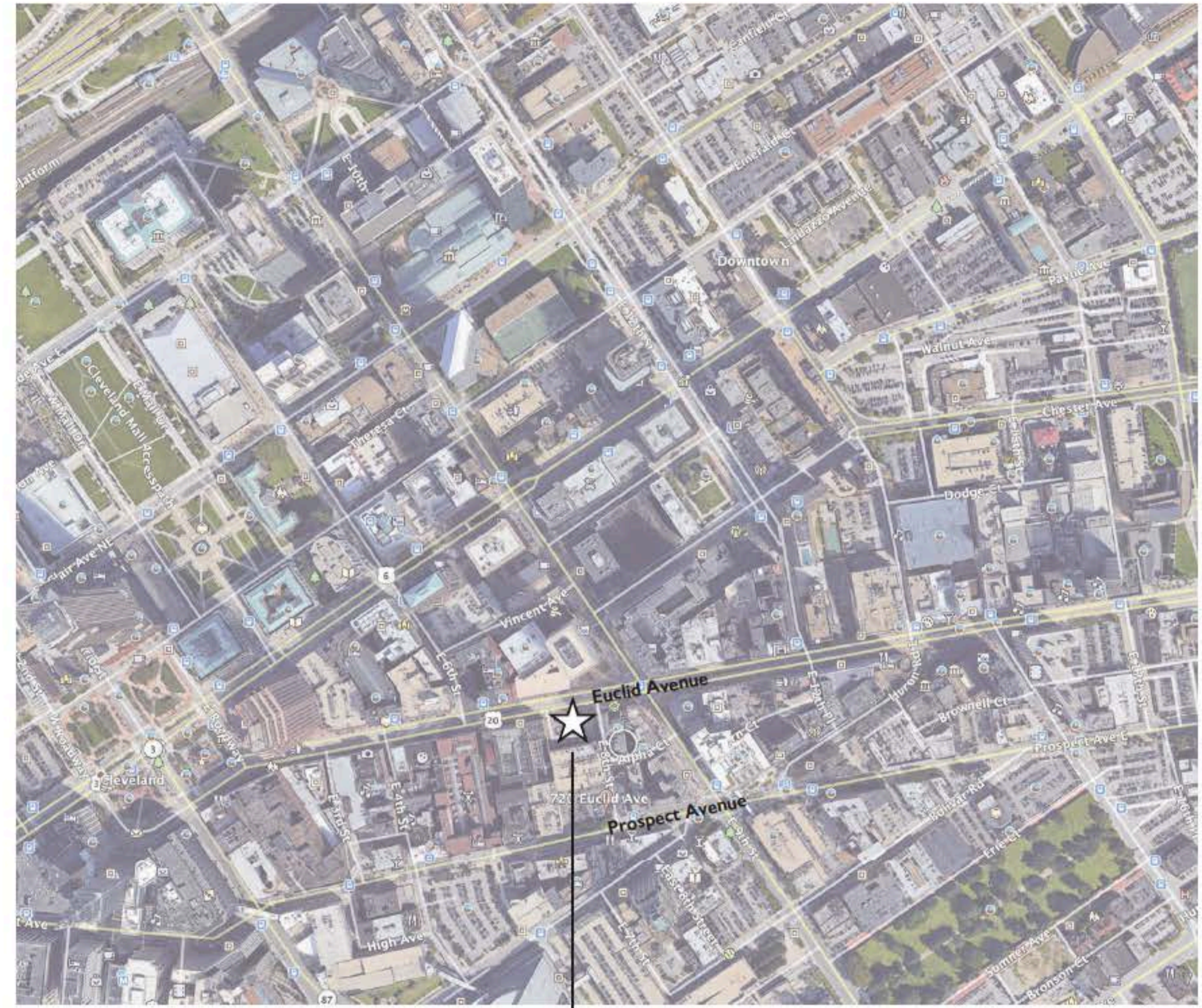
Project Summary/ Sign Location Map
Downtown/ Flats Design Review Region

Project Summary

This project is for City Club Apartments (CCA) located on Euclid Avenue, within the Downtown/ Flats Design Review District. The scope of this review will cover (2) proposed signs for CCA including a parking lot "portal" entry sign and a printed mesh screen on the parking garage facade.

Artwork for the mesh screen has been provided by the Cleveland Metroparks Zoo and is intended to provide privacy for tenants on the floors directly across from the garage. Additional details can be found on the following pages of this presentation.

Sign Location

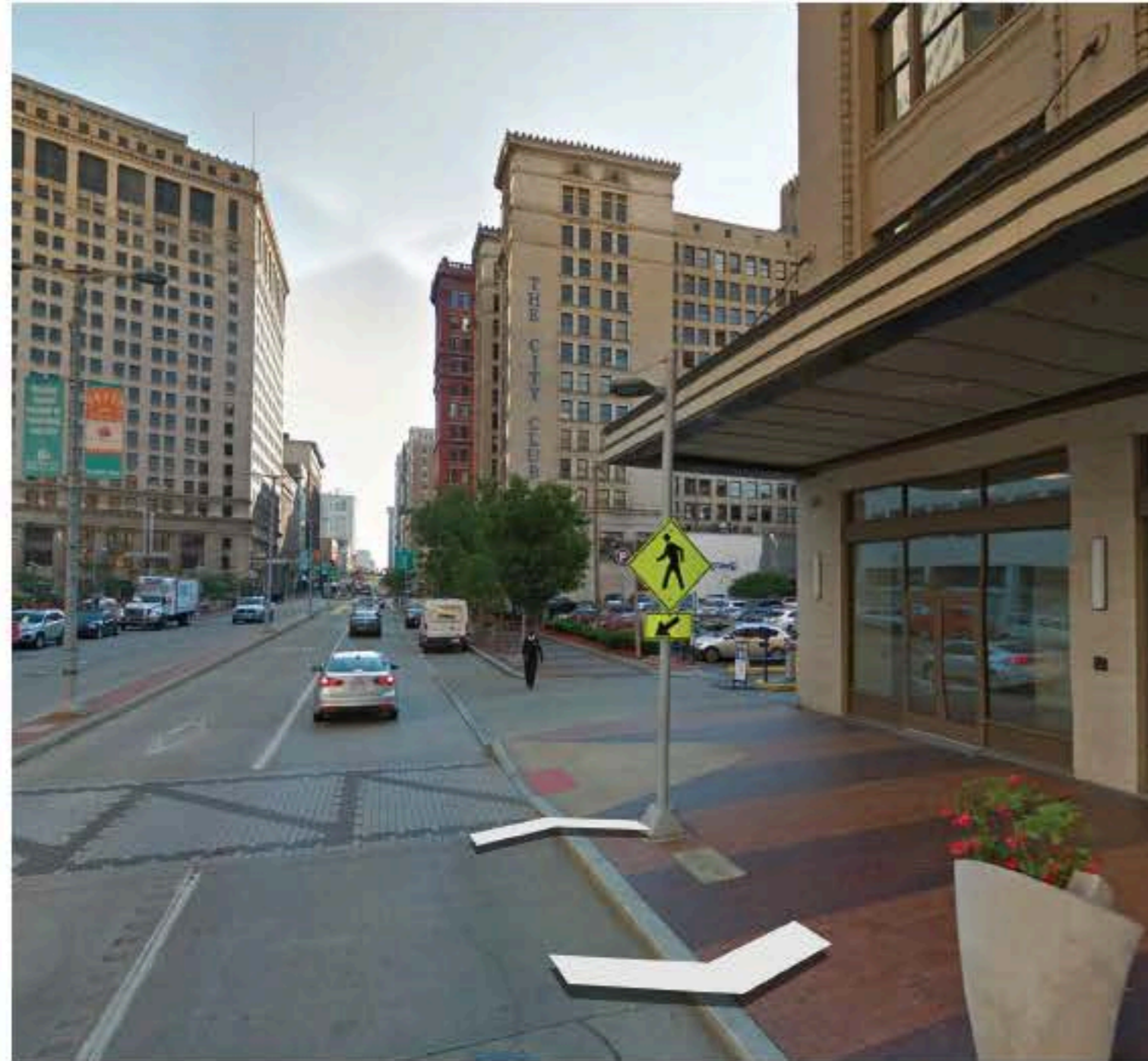


Site Location



Existing Conditions
Downtown/ Flats Design Review Region

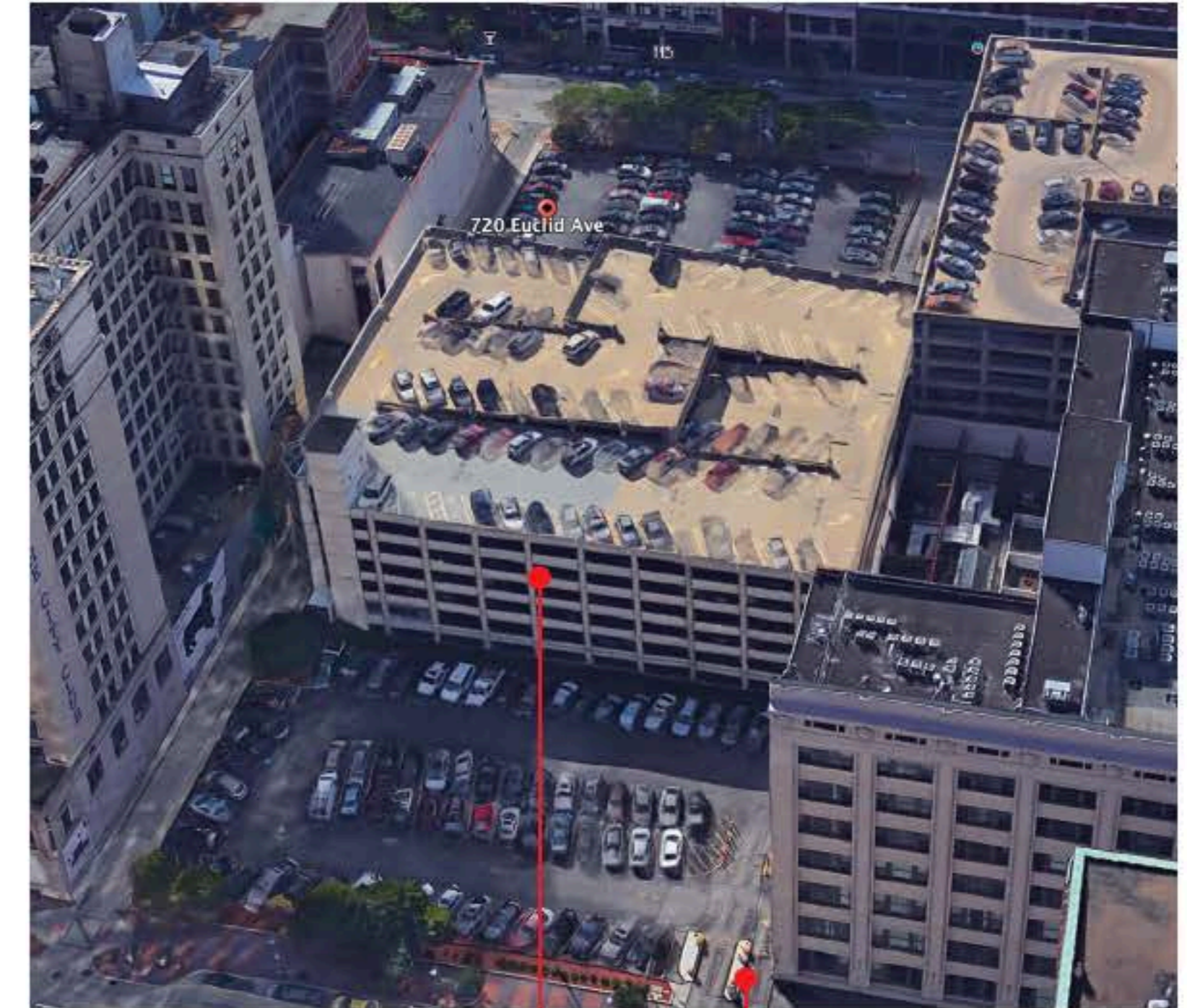
East Facing View



West Facing View



Birds Eye View

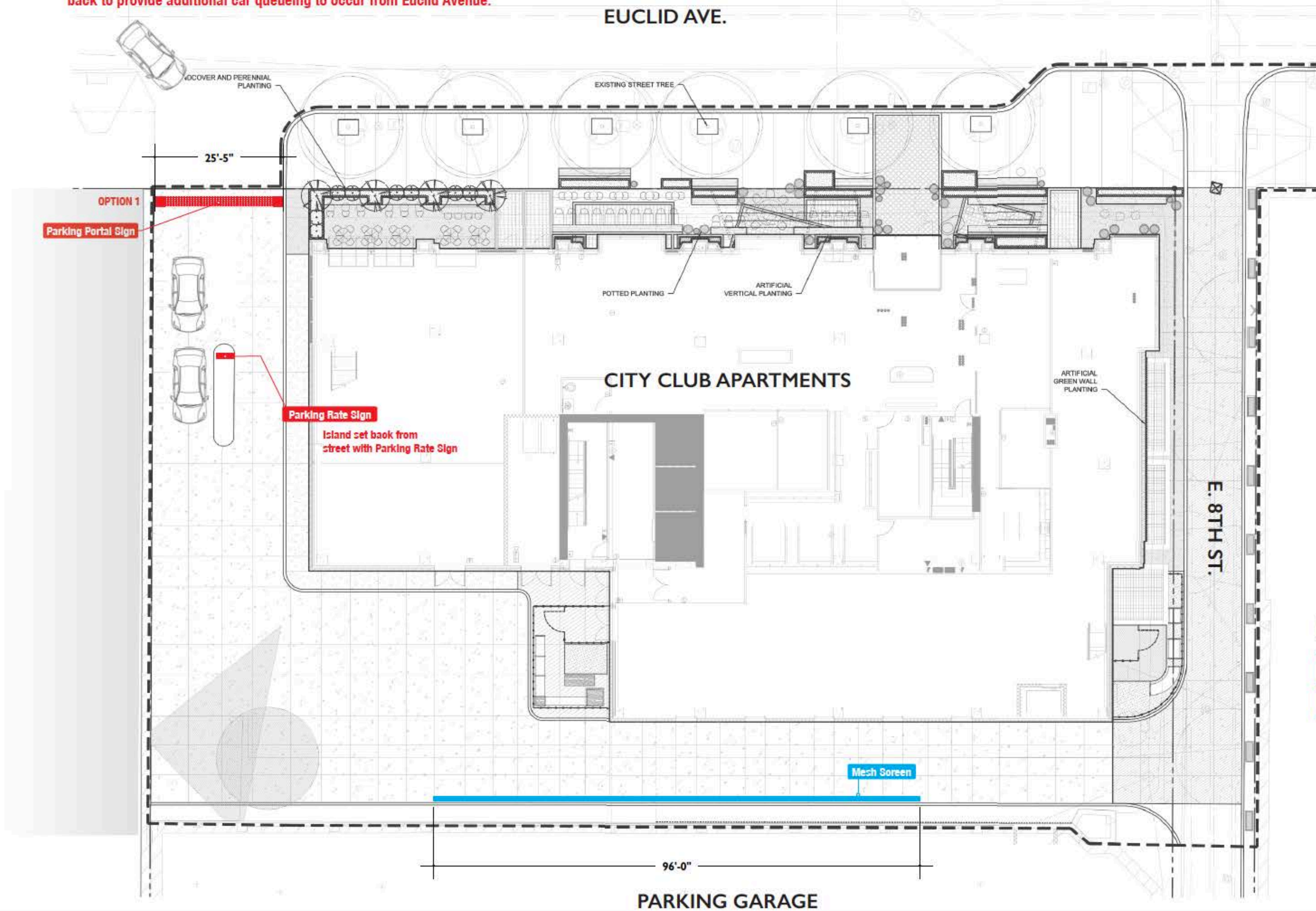


Mesh Screen Location

Parking "Portal" Sign Location

Site/ Signage Plan
CCA, Parking Signage + Mesh Screen

OPTION 1 Portal Sign location flush with the adjacent building facades for optimal Garage Entrance visibility / site lines from Euclid Avenue. Parking Rate signage relocated to vehicular island. Island is set back to provide additional car queuing to occur from Euclid Avenue.



LEGEND

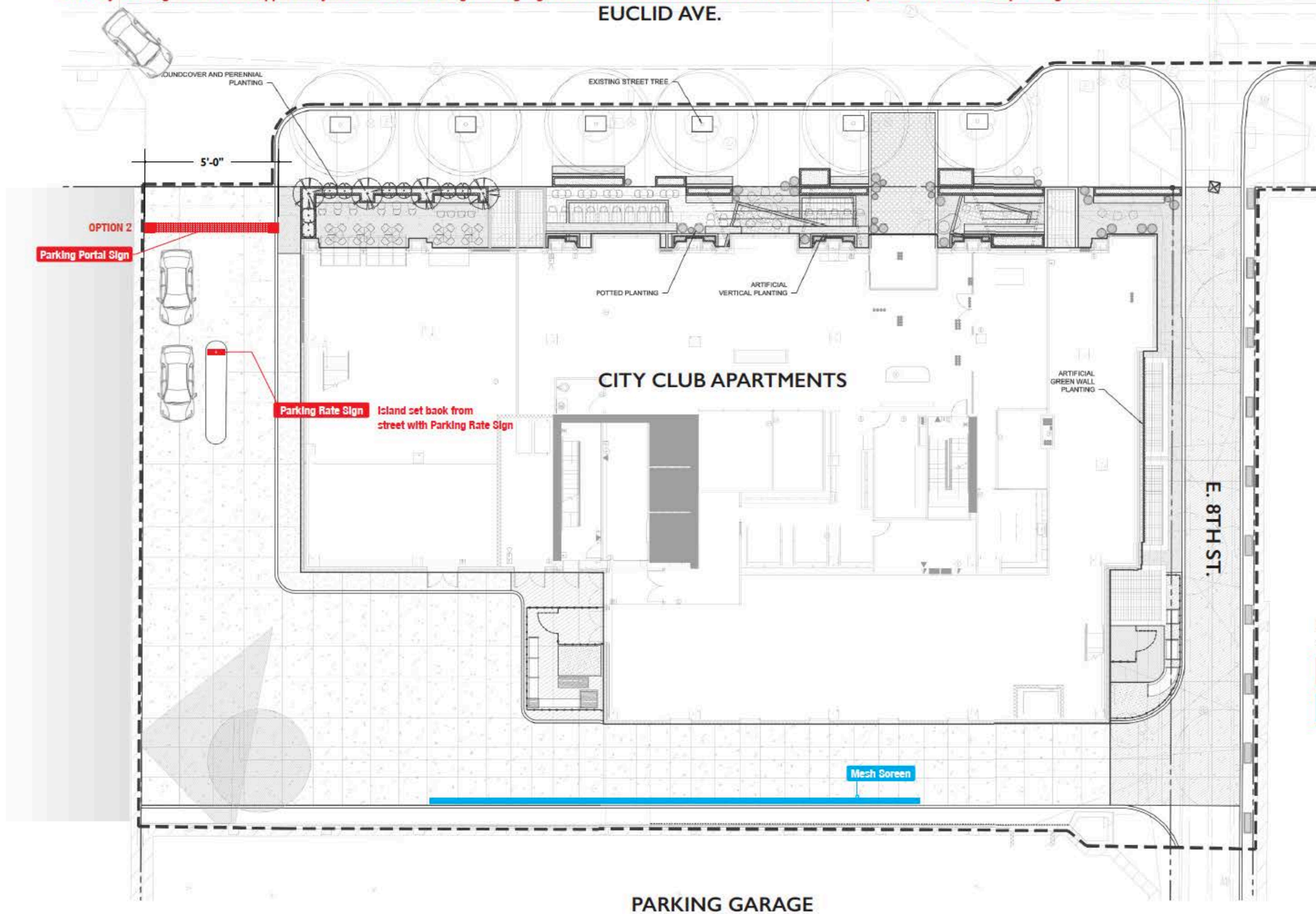
- Parking Garage Sign
- Mesh Screen

SCALE: 1"=20'

Site/ Signage Plan

CCA, Parking Signage + Mesh Screen

OPTION 2 Portal Sign location set back 5' from the adjacent building facades reduces Garage Entrance visibility / site lines from Euclid Avenue and reduced decision making process for drivers to turn into driveway creating an increased opportunity for accidents. Parking Rate signage relocated to vehicular island. Island is set back to provide additional car queueing to occur from Euclid Avenue.



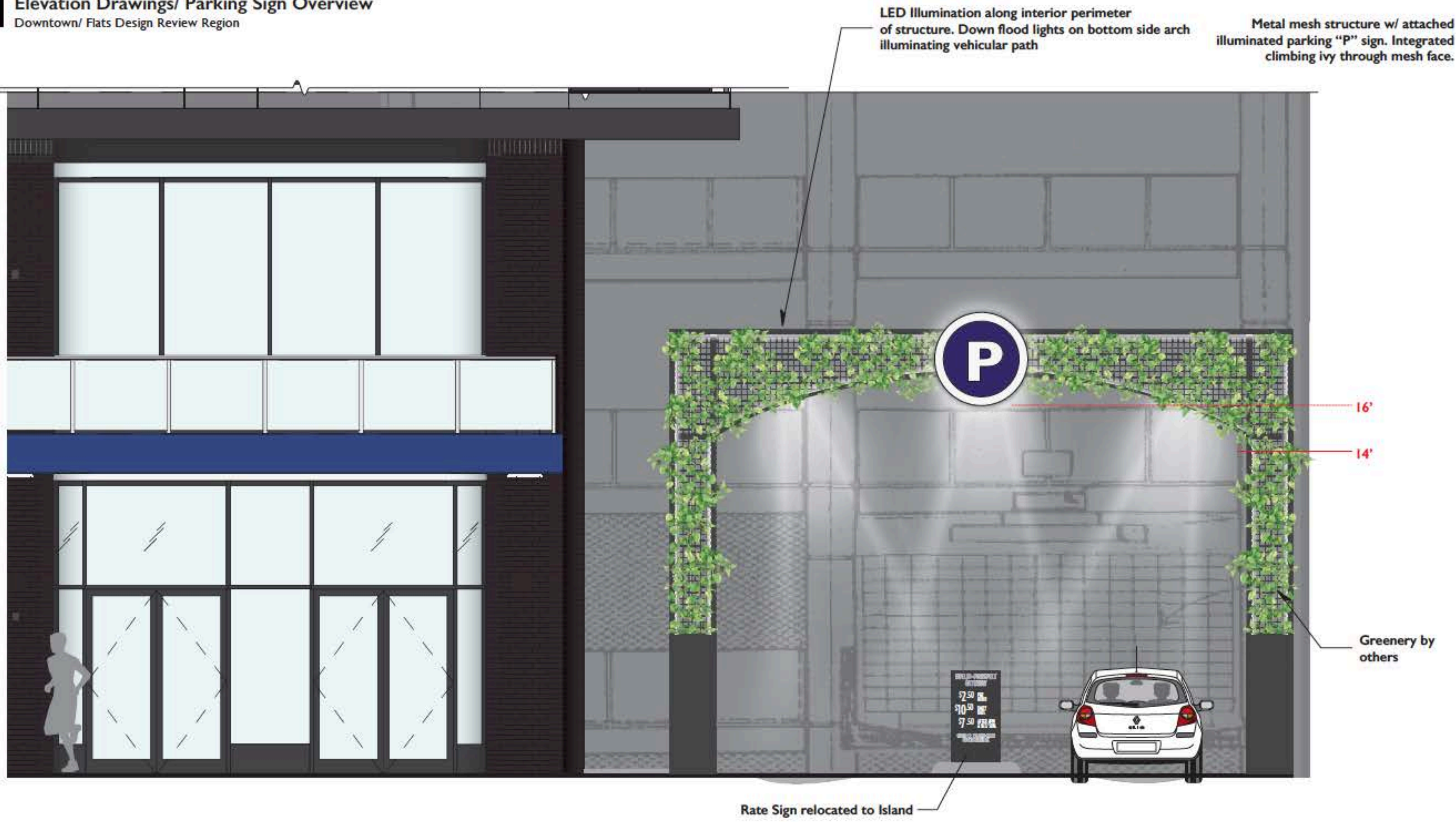
LEGEND

- Parking Garage Sign
- Mesh Screen



SCALE: 1"=20'

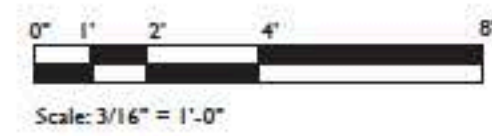
Elevation Drawings/ Parking Sign Overview
Downtown/ Flats Design Review Region



Parking Signage | Monument
North Elevation

CODE ALLOWANCE

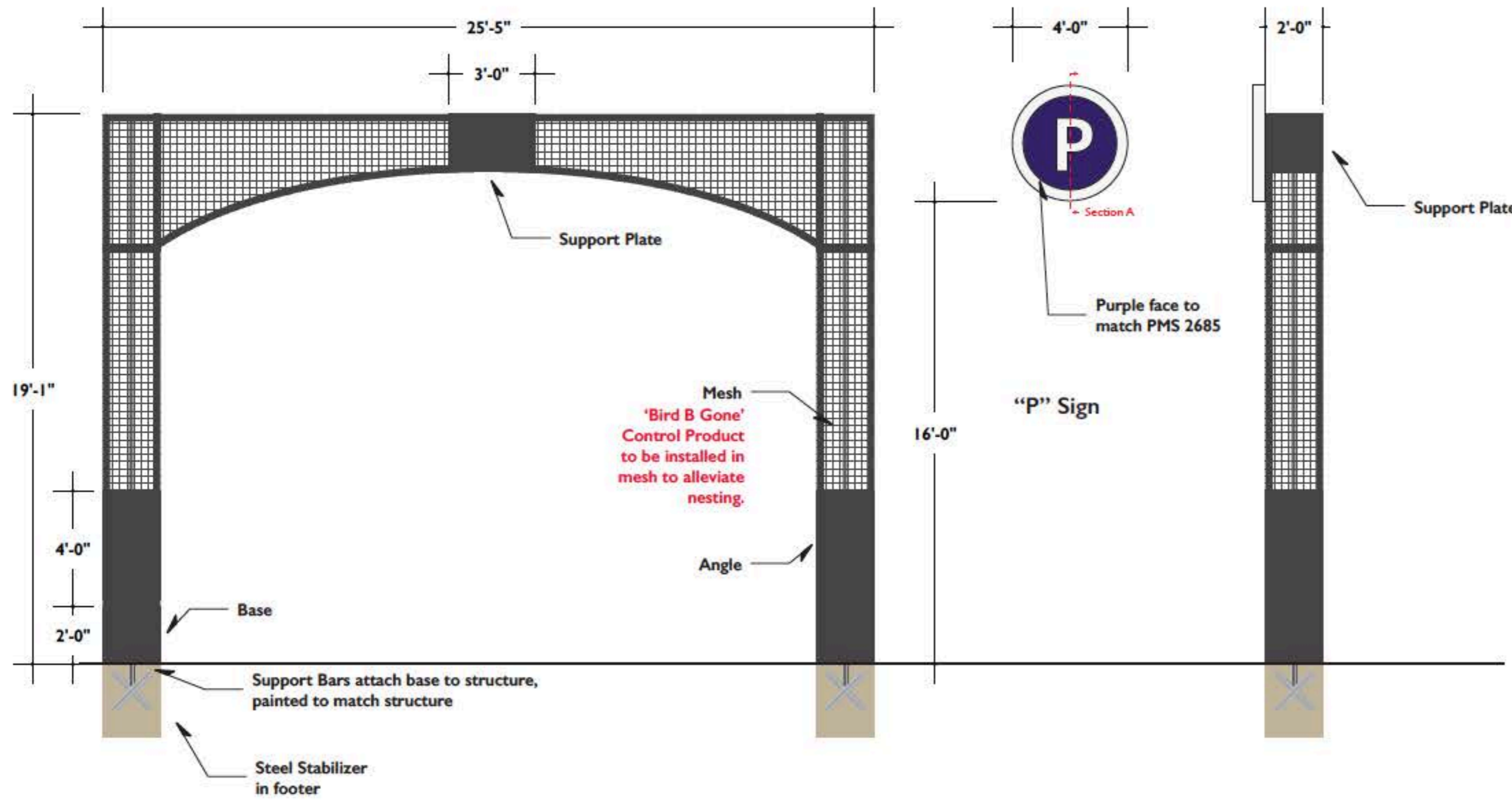
PARKING
32 SF max
Sign must be placed at 16' minimum above vehicular path



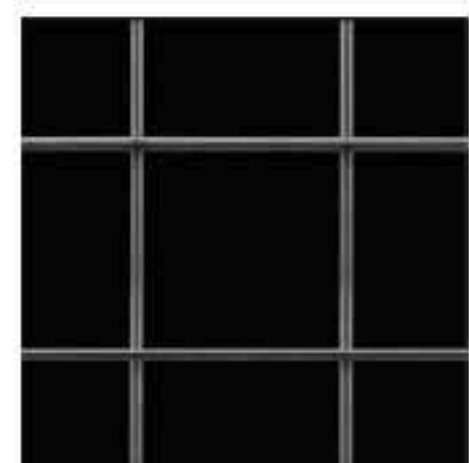
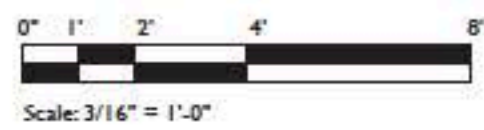
Reference Image: Note living ivy will require several years to fully grow over structure

Structural Details
Downtown/ Flats Design Review Region

All dimensions to be verified by vendor upon site survey



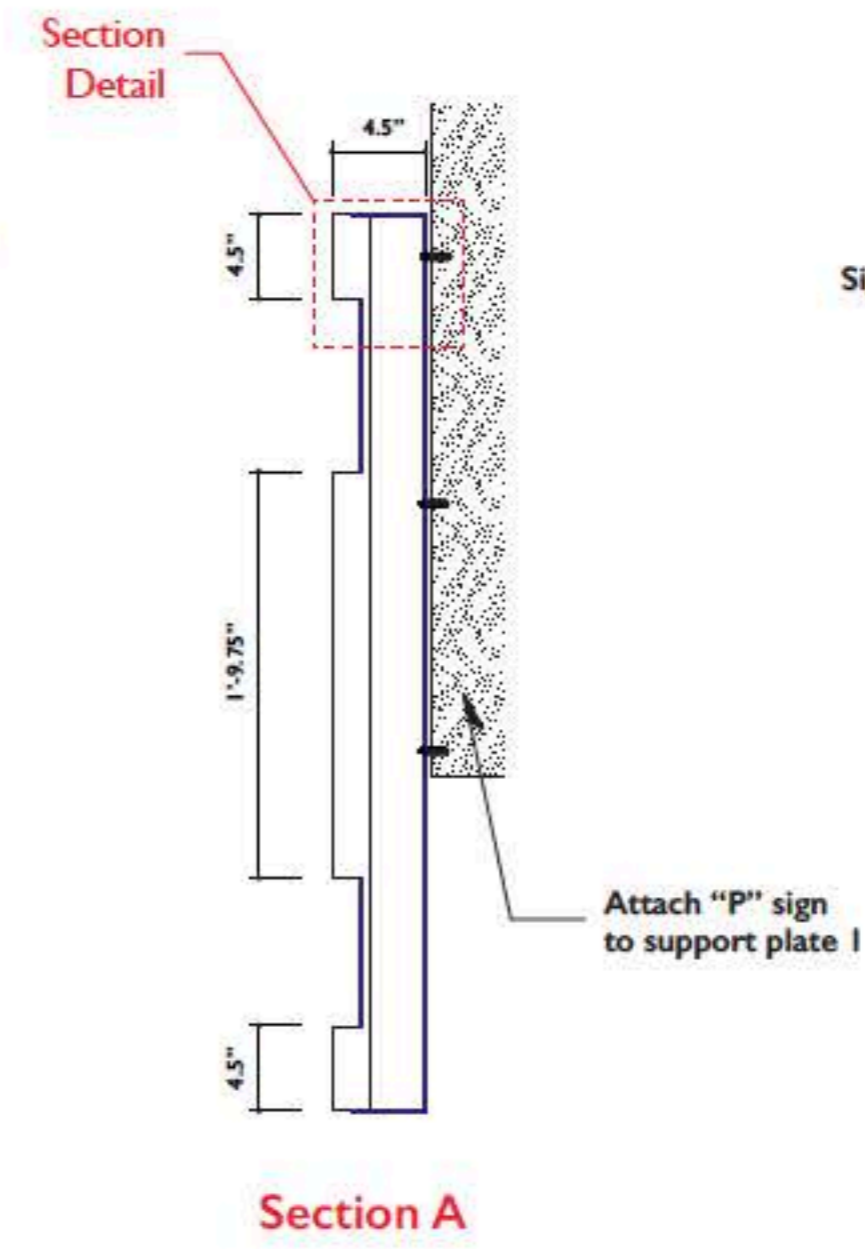
Parking Sign and Metal Mesh Structure



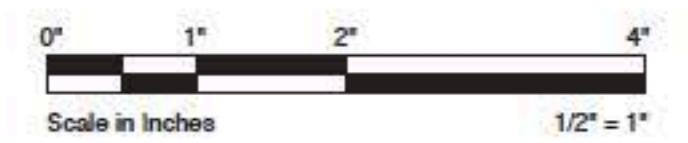
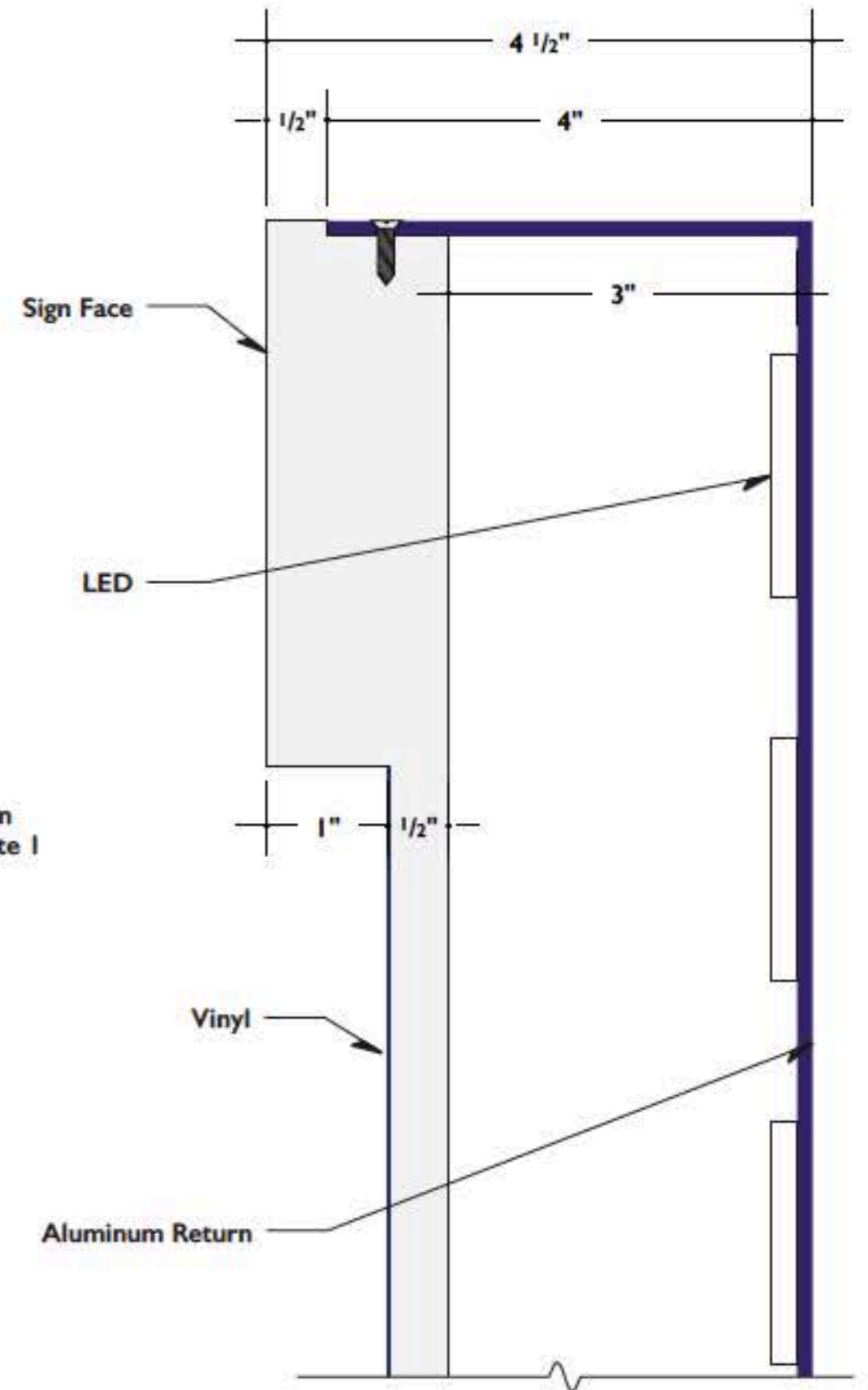
McNICHOLS® WIRE MESH
Square, Carbon Steel, Cold Rolled,
Welded - Untrimmed, 3" x 3" Mesh
(Square), 2.8080" x 2.8080" Opening
(Square), 0.192" Thick (6 Gauge) Wire
Diameter, 87% Open Area



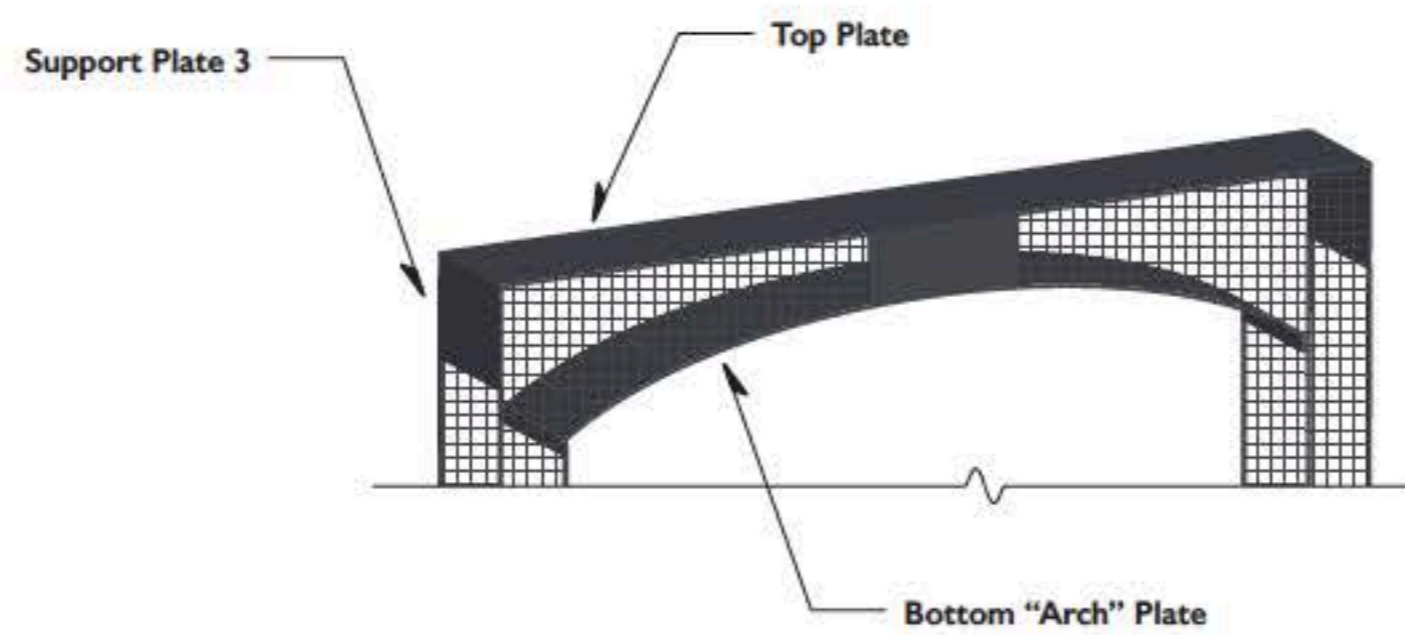
McNICHOLS® ANGLE
Angle, Carbon Steel, Hot Rolled, 1/4"
Gauge (.2500" Thick), 90° Angle, Equal
Legs (3" Leg x 3" Leg)



Section A



Section Detail



Structure Top



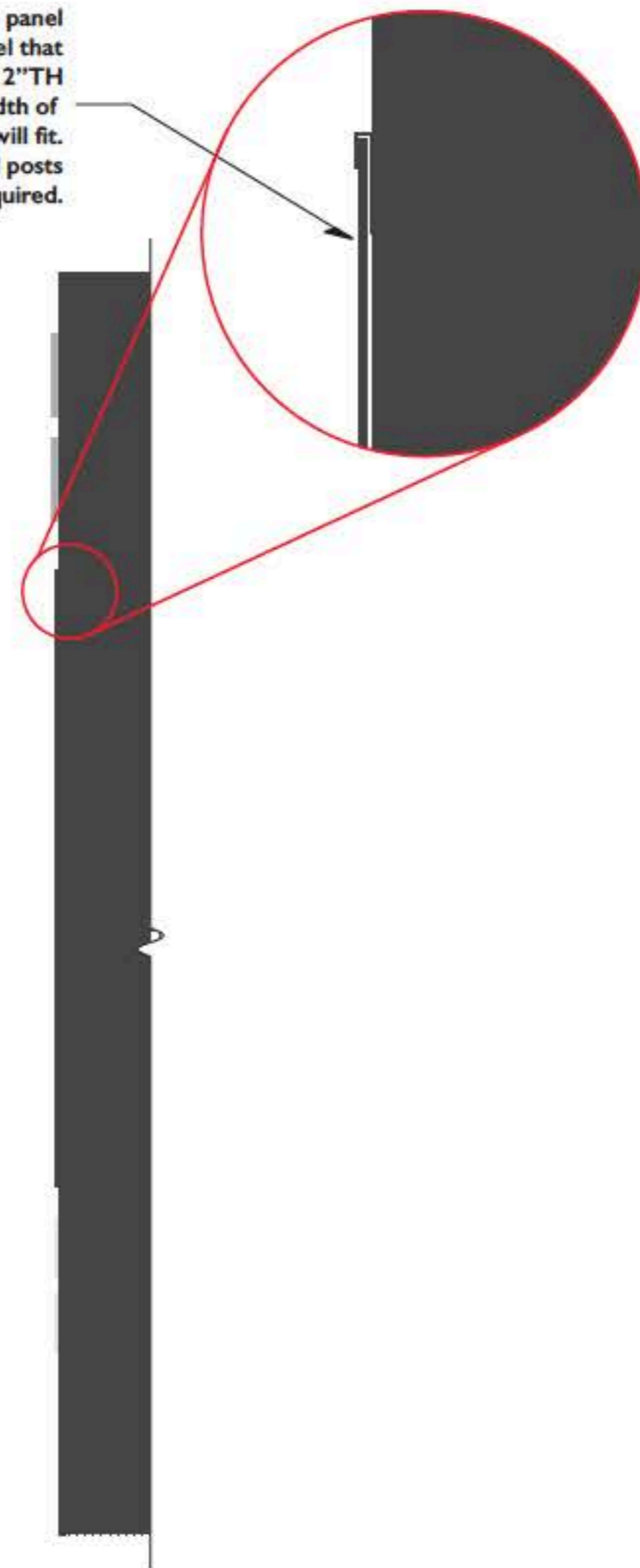
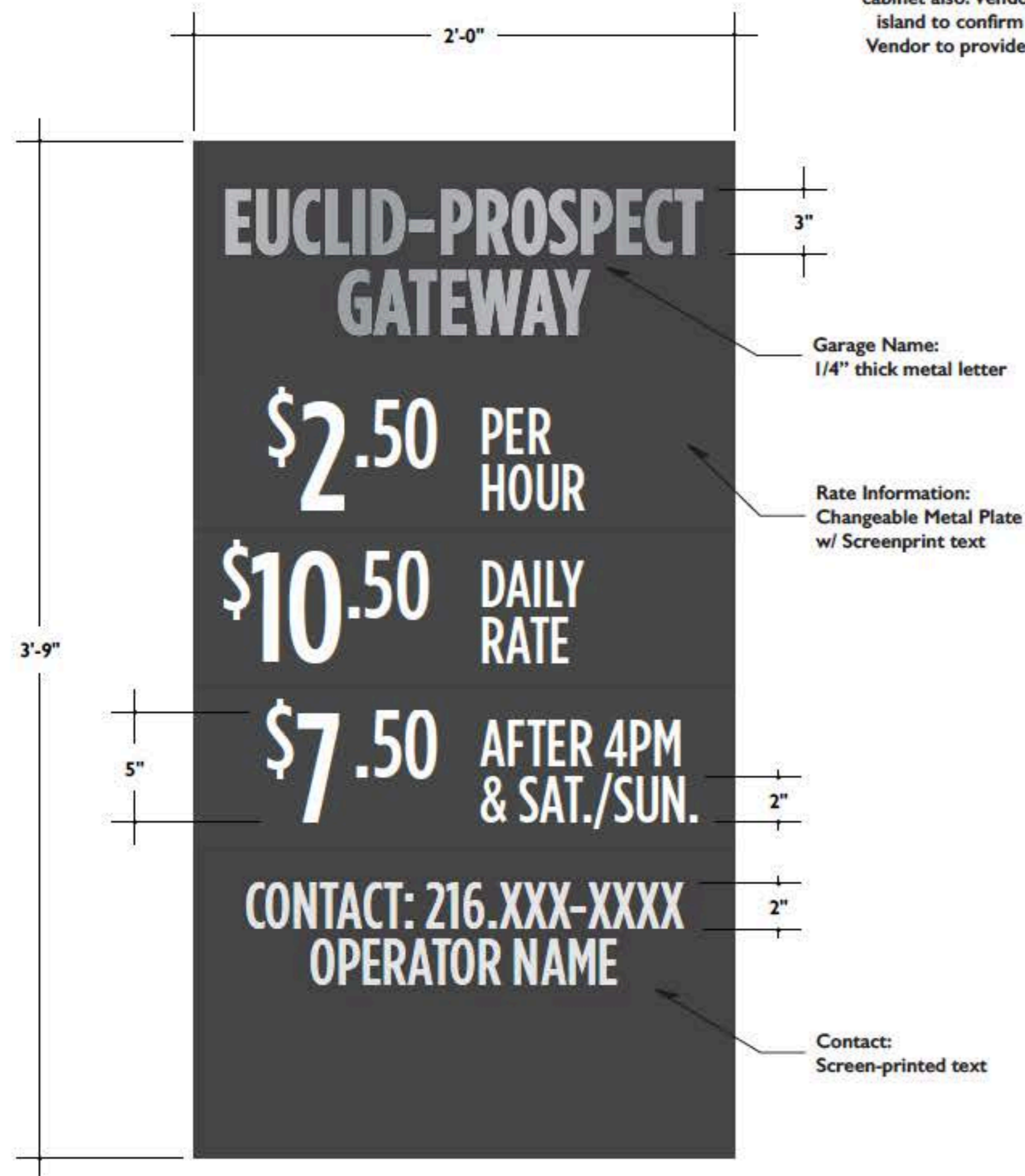
Power

Feed power from ground to sign along angle to conceal connections as much as possible

Sign Details

Downtown/ Flats Design Review Region

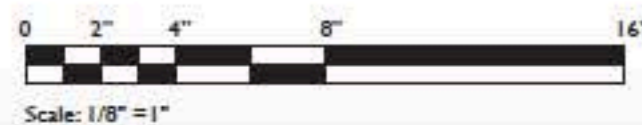
Vendor to provide 1/16" thick metal panel attached to 2"TH freestanding panel that is located in the island. Vendor to provide 2"TH cabinet also. Vendor to verify in field width of island to confirm that 2'W sign panel will fit. Vendor to provide footer and/or buried posts for support as required.



1/16" thick changeable metal panel(s) to slide into track system as shown. Client to provide content.

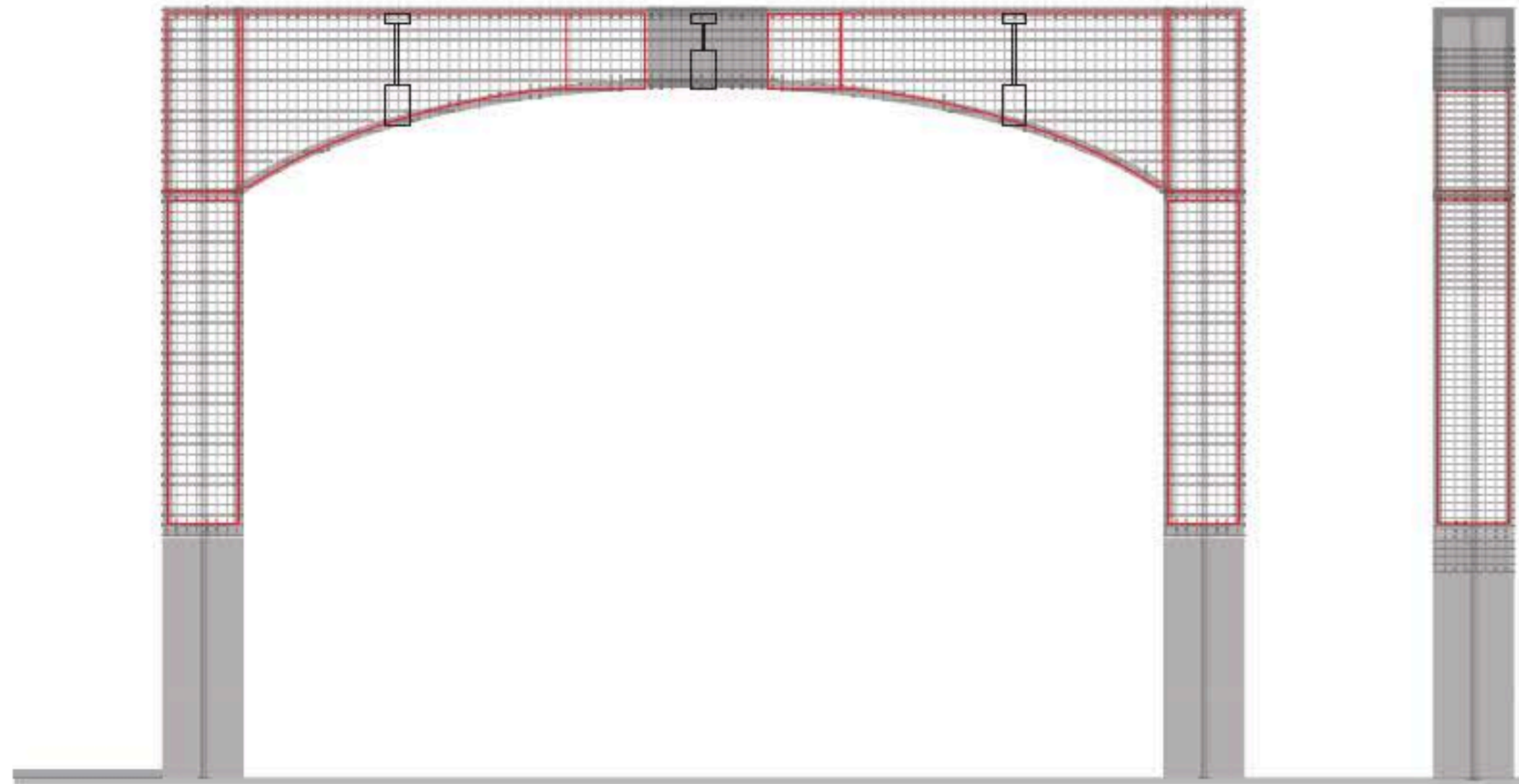
Changeable Rate Panels

Rate Info Sign Panel



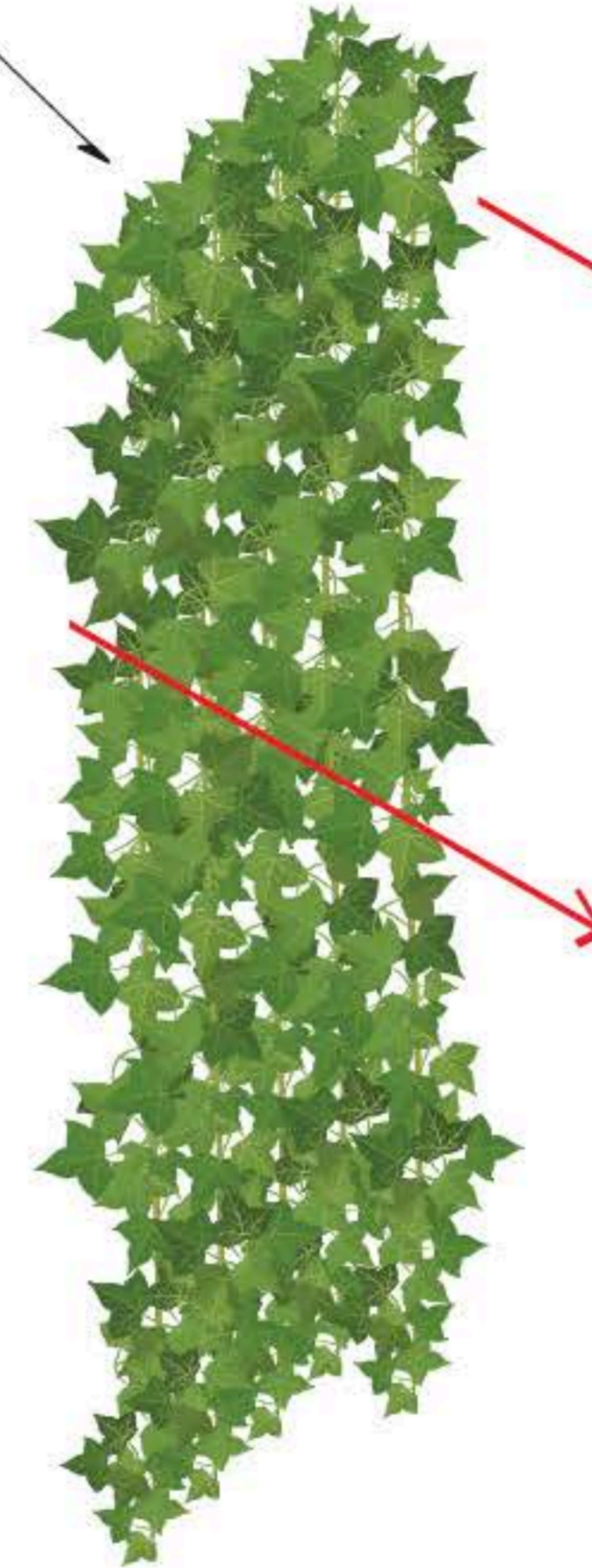
Sign Details
 Downtown/ Flats Design Review Region

Red line = Interior Wall Mat Roll Location
 Approximately (14) 4'x8'
 Wall Mat Rolls Cut to size

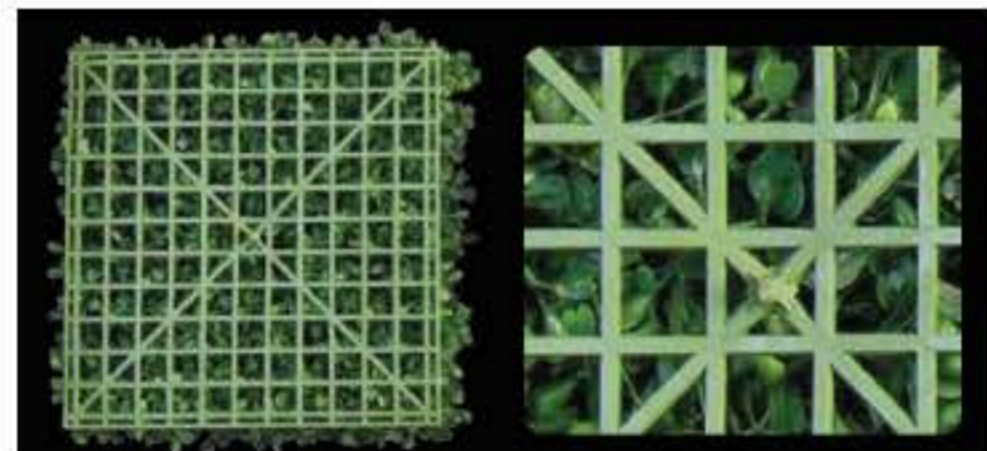


Wall Matt to create "bunched" together appearance for obscuring inside of structure

Attach vine strand to wire mesh with zip ties



Wall Mat Rolls
 Ivy, English Wall Mat Roll
 Custom sizes available.



Wall Mat Roll Back



72" English Ivy Garland attached to front structure surface where necessary

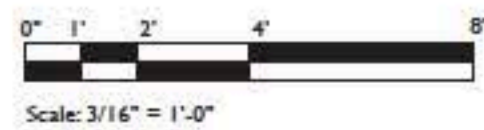


Attach vines to structure with green zip tie

Weave vines in/out to create an organic growth appearance

Attach vines strand to metal mesh face with zip cable tie

Artificial English Ivy/ Vines



Scale: 3/16" = 1'-0"

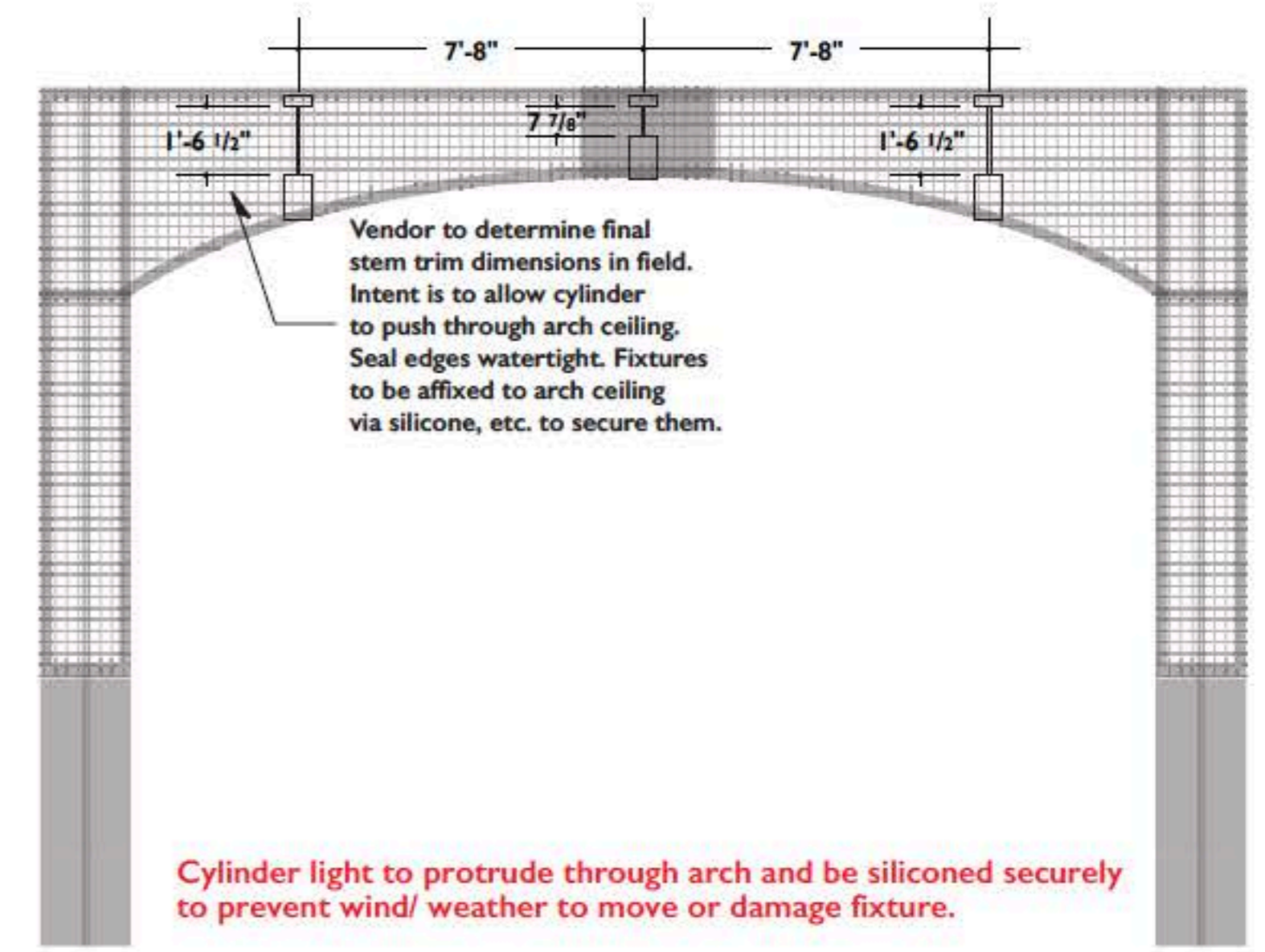
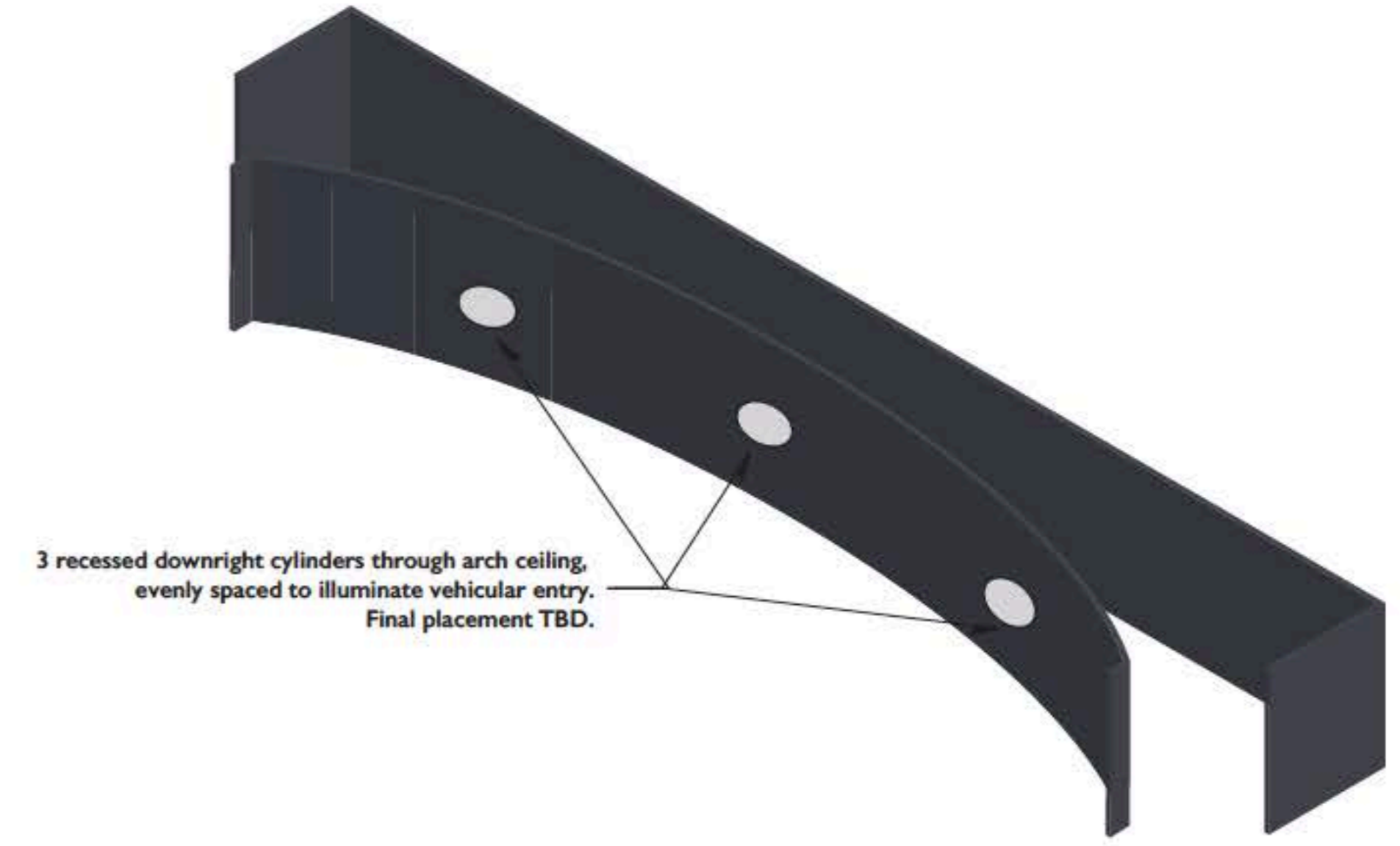
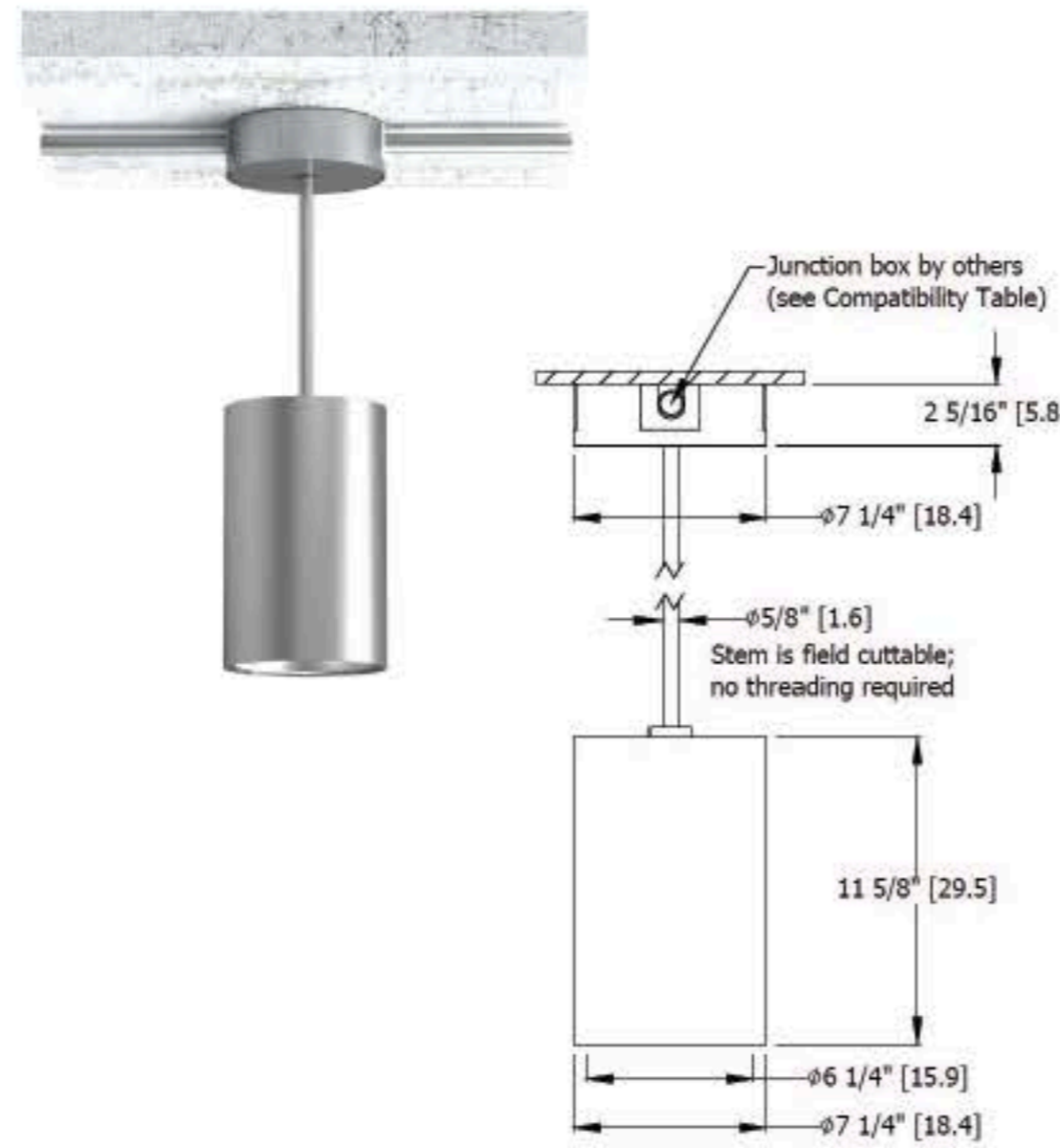
Sign Details
Downtown/ Flats Design Review Region



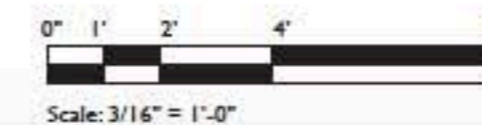
Gotham EVO, Pendant Stem Cylinder
EVO6PC 30/30 AR WD LSS MVOLT GZ10 JBXCC PCAN S2 WL DBL (Matte Black)

Quantity: 3
Size: 6" Round
Color Temperature: 3000K
Lumen's: 3000
Reflector Color: Clear
Distribution: WIDE
Trim Color: Black
Voltage: 120v-277v
Reflector Finish: Semi-Specular

JBXCC Surface J-Box with Conduit Covers



Fixture attachment to structure



Sign Details

Downtown/ Flats Design Review Region

Parking Sign/ Structure

SCOPE OF WORK:

1. Sign Vendor to remove and dispose of existing signage.
2. Sign Vendor to field verify all dimensions prior to fabrication.
3. Sign Vendor to provide finish samples and shop drawings for KD review and approval prior to fabrication.
4. Signs to be fabricated and installed by selected vendor. Refer to specifications and design intent drawings.
5. Sign Vendor responsible for all necessary engineered drawings and permits as required by the City of Cleveland.

Mesh

- McNichols Wire Mesh, Square, Carbon Steel, Cold Rolled, Welded - Untrimmed, 3" x 3" Mesh (Square), 2.8080" x 2.8080" Opening (Square), 0.192" Thick (6 Gauge) Wire Diameter, 87% Open Area
- Paint to match Grey SW7069 Iron Ore

Angle

- McNichols Angle, Carbon Steel, Hot Rolled, 1/4" Gauge (.2500" Thick), 90° Angle, Equal Legs (3" Leg x 3" Leg)
- Paint to match Grey SW7069 Iron Ore

Support Plate

- 1/4" Gauge (.2500" Thick) cut to size, welded flush with angle
- Paint to match Grey SW7069 Iron Ore

Base

- Apply 3M white vinyl to 1st surface.
- Paint to match Grey SW7069 Iron Ore

Parking "P" Sign

Sign Cabinet

- 4-1/2" deep illuminated sign cabinet.
- Aluminum construction with 1-1/2" thick acrylic face.
- Routed channel in 1-1/2" thick acrylic to receive aluminum sign cabinet return. Attach with stainless hardware. Paint head of hardware to match adjacent surfaces.
- Face and 1/2" band of return is to illuminate.
- Apply white translucent vinyl to faces and purple (PMS 2685) translucent vinyl to faces as shown in layout.
- Returns painted to match purple PMS 2685

Attachment

- Attach flush to support plate with appropriate hardware.

Illumination

- Face and 1/2" band of return is to fully and evenly illuminate.
- All electrical components are to be concealed within structure or directly behind sign location. Minimize all visible wires.

Gotham EVO, Pendant Stem Cylinder Downlights

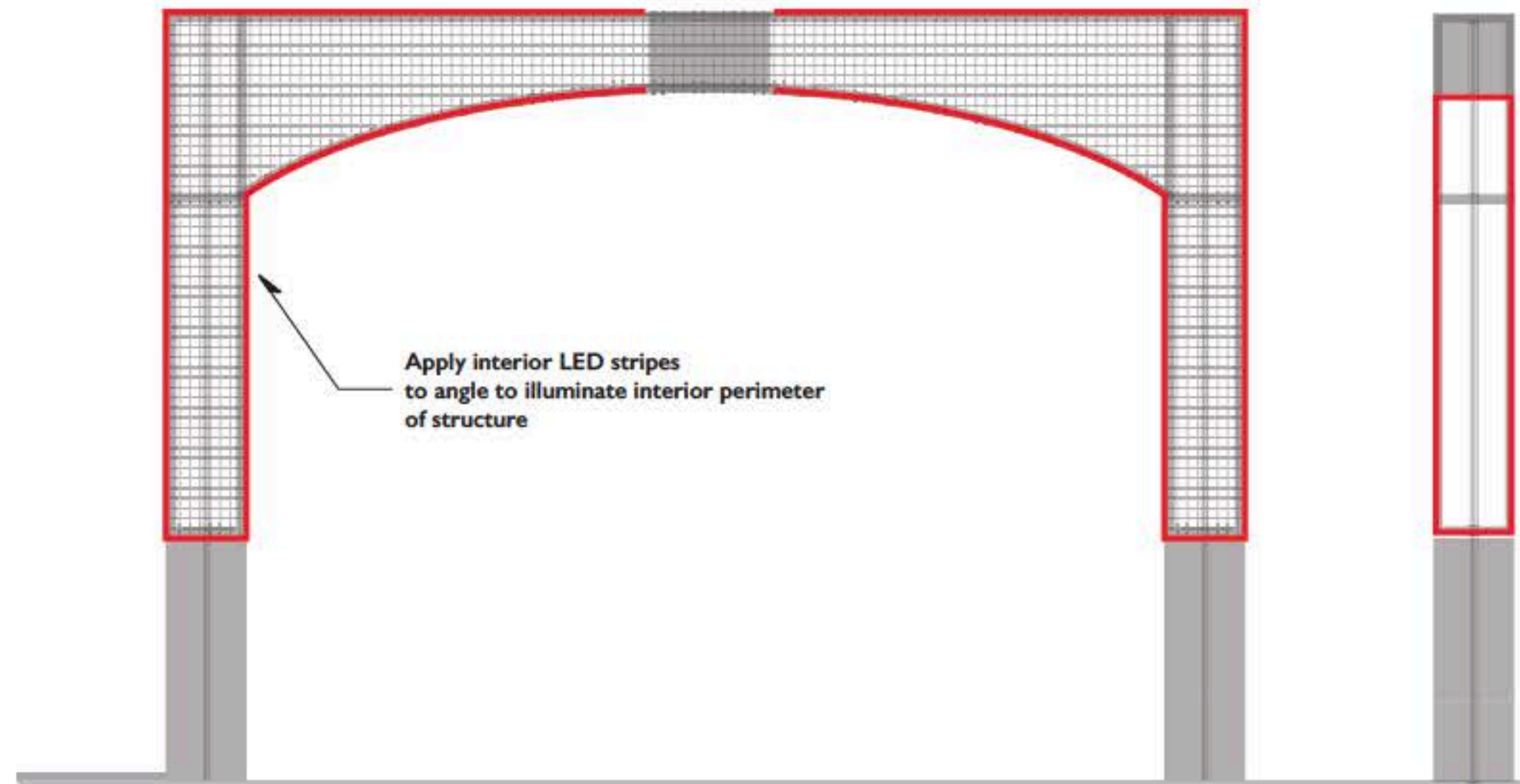
- (3) 6" round recessed EVO6PC
- Recommended 3,000 lumen's recommended for adequate coverage.
- Color Temperature: 3000K, Distribution: Wide, Trim Color: Black, Reflector Finish: Semi-Specular
- All electrical components are to be concealed within structure. Minimize all visible wires.
- Vendor to construct protective box around light fixtures to minimize moisture contact with light cans.

Interior Perimeter LED Stripes

- Plexioneon White IX Series
- Applied to interior of structure angle to illuminate perimeter
- Color Temperature: 4500K
- Lumen's: 3500K
- Quantity: TBD by Vendor

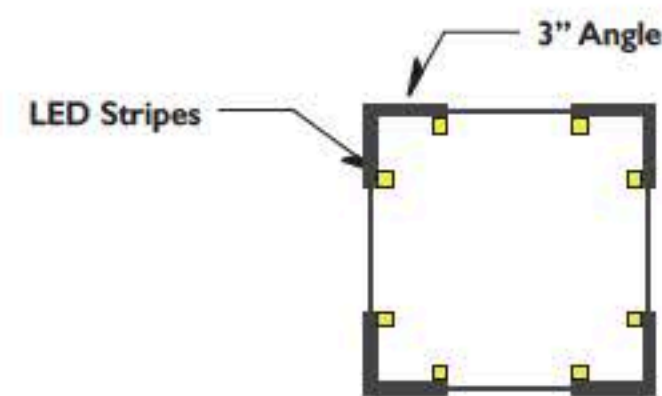
Artificial English Ivy/Vines

- Use only weather resistant, UV rated Permaleaf material for outdoor use.
- 72" English Ivy Garland by Commercial Silk (Face Structure Applications)
- 4'x8' English Ivy Wall Mat Roll by Commercial Silk (Interior Structure Application)
- Attach Ivy to metal mesh structure with green zip ties



Interior Perimeter LED Stripes

Plexioneon White IX Series
Quantity: Vendor to determine. Available in 2', 4', 6', 8' lengths
Color Temperature: 3000K
Lumen's: 3500K



Top View
NTS

General Notes

THESE DRAWINGS PROVIDE DESIGN INTENT ONLY.

1. Kolano Design to provide digital artwork upon award of bid.
2. Final fabrication and installation methods are to be determined by the selected Sign Vendor. The Vendor is to provide finish samples and shop drawings to Kolano Design for review and approval prior to fabrication.
3. The Sign Vendor/Manufacturer/Fabricator, and not Kolano Design Inc., shall be responsible for structural design of the sign and the integrity of the structural and other systems.
4. The Structural Plans shall be submitted for Owner approval and must be signed and sealed by a OH licensed engineer.
5. The Sign Contractor/Manufacturer/Fabricator shall comply with, and shall be responsible for adhering to all State, Federal and Local laws, codes, regulations, standards and other guidelines when manufacturing the sign.
6. Sign Vendor shall secure and pay for all necessary permits and government fees, licenses and inspections necessary for the proper execution and completion of the work.

Rendering/ Mesh Screen Artwork - View from Parking Entrance off Euclid
Downtown/ Flats Design Review Region



Environmental Rendering

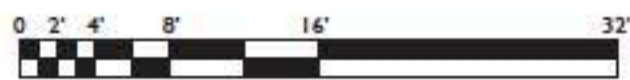
Elevation Drawings/ Mesh Screen Overview
Downtown/ Flats Design Review Region



Banner underlay on South Facade showing apartment units that would have mesh screens (zoo graphic) for privacy from garage.

Mesh Screen | North Elevation

APPROXIMATELY 2400 SF



Scale: 1/16" = 1'-0"



Zoo Image Composite

Rendering/ Mesh Screen Artwork - Semi Aerial from East 8th Adjacent Building
Downtown/ Flats Design Review Region



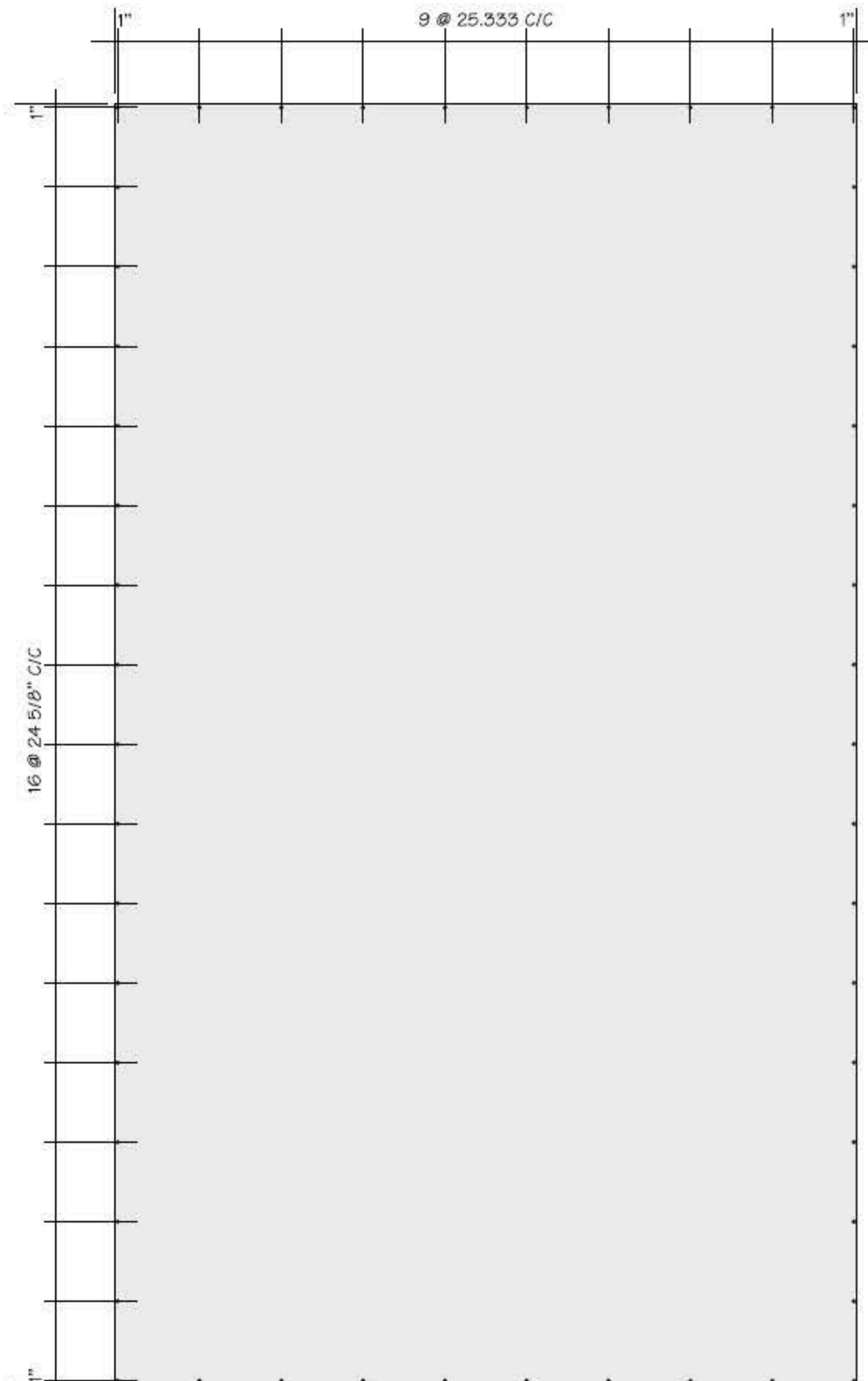
Environmental Rendering

Rendering/ Mesh Screen Artwork - View from Parking Gate off of Euclid
Downtown/ Flats Design Review Region



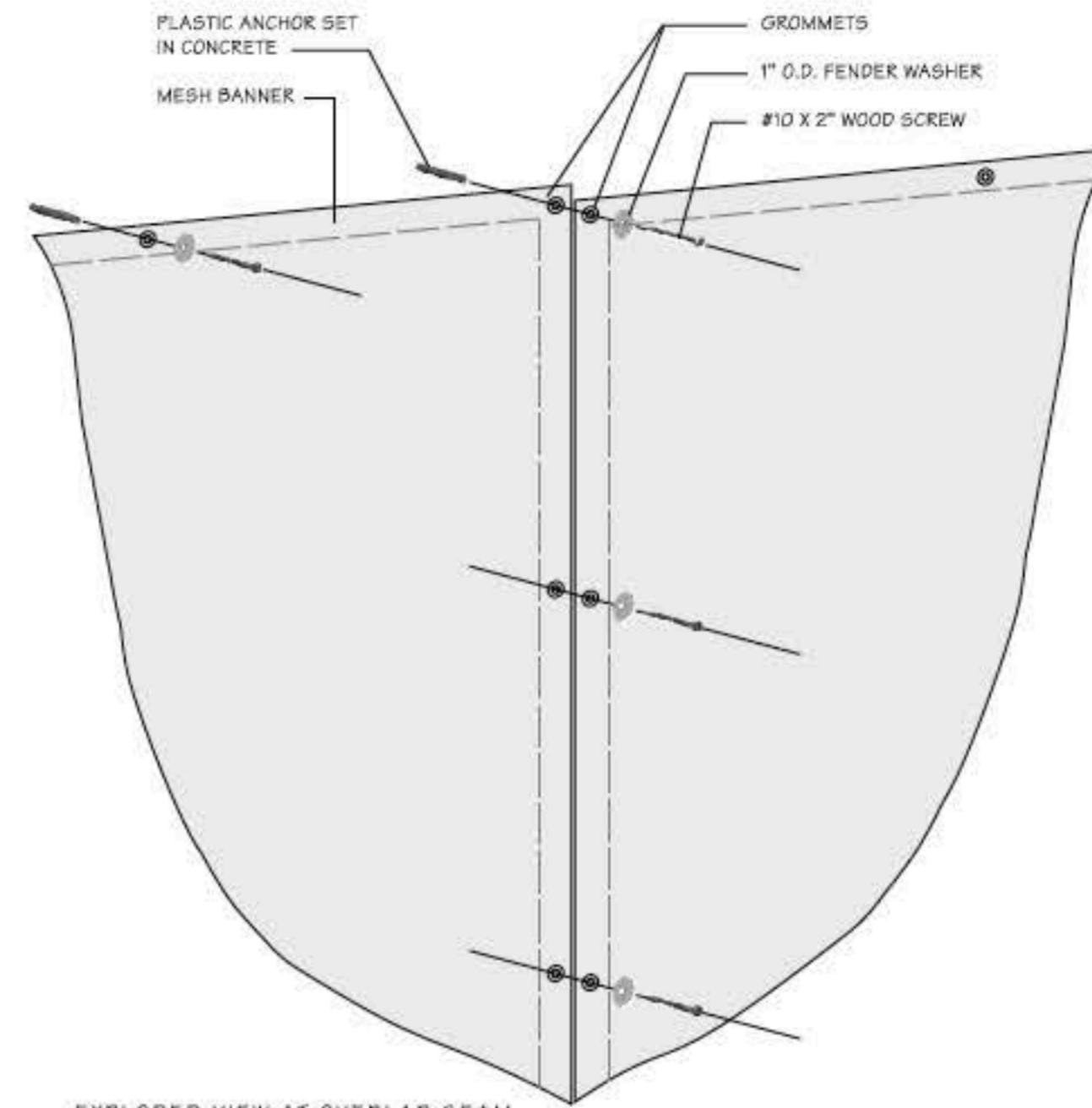
Environmental Rendering

Mesh Screen Attachment Details
Downtown/ Flats Design Review Region

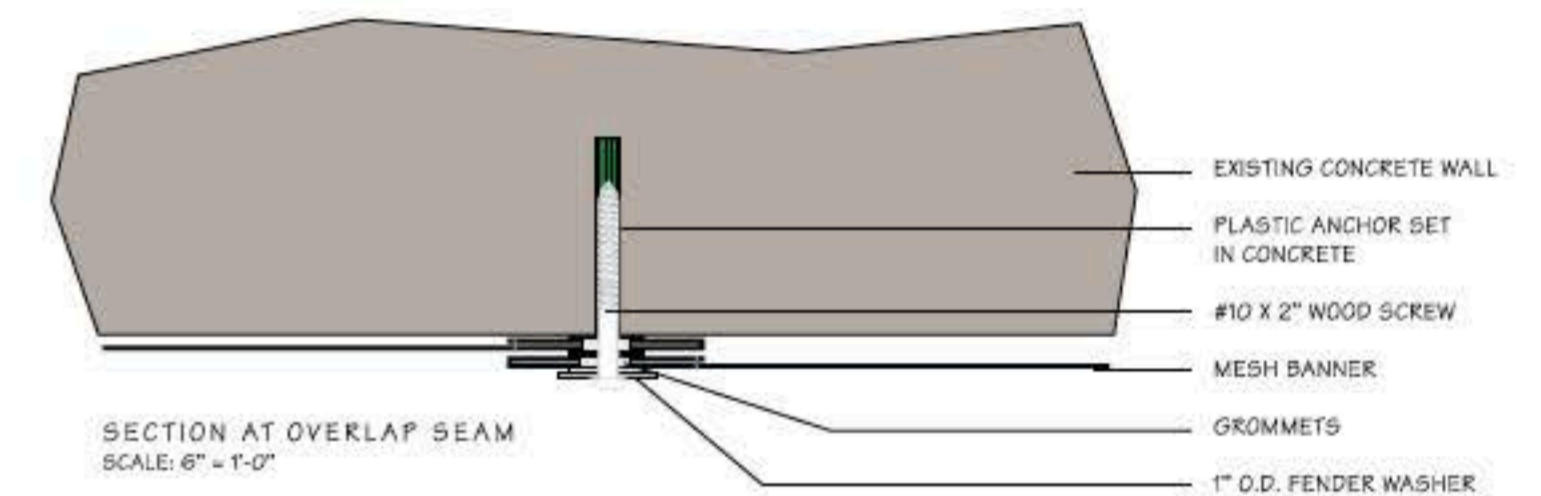


BANNER ELEVATION
SCALE: 1/4" = 1'-0"

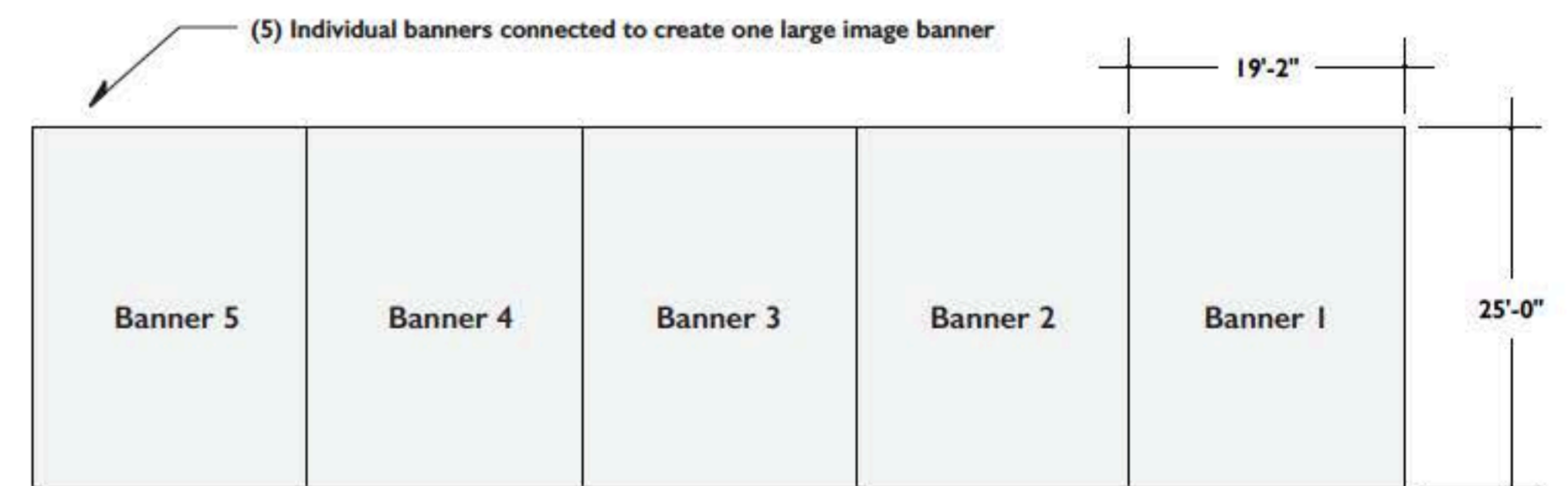
Vendor to survey and provide final dimensions for production



EXPLODED VIEW AT OVERLAP SEAM
SCALE: 3/16" = 1"



SECTION AT OVERLAP SEAM
SCALE: 6" = 1'-0"



(5) Individual banners connected to create one large image banner

Mesh Screen Material Details
Downtown/ Flats Design Review Region

70% AdMesh™

FEATURES/APPLICATIONS

- Digitally printed and great for indoor or outdoor use. Most often used outdoor, and when wind blow-through is of utmost importance.
- This mesh scrim is great for speaker scrim, scaffolding, banners in windy areas, huge banners or building wraps.

TECHNICAL DETAILS

Item	Data	Unit	Method	
Yarn	1000 x 1000	Denier	DIN60001	
Net structure	12 x 12	Thread / Inch	DIN53853	
Net weight	110	g/sq.m	DIN53352	
PVC coated	150	g/sq.m	DIN53352	
Product weight	260	g/sq.m	DIN53352	
Thickness	-----	mm	DIN53353	
Products width	1.02 - 5.00	m	-----	
Tearing strength	L	268	N/5cm	DIN53363
	W	270		
Tensile strength	L	1045	N/5cm	DIN53354
	W	1050		
Elongation value	L	26	%	DIN53354
	W	26		
Peeling strength	1017	N/5cm	DIN53357	
Light transmission	-----	%	ASTM D 1003	
Temperature	-30°C - +70°C	°C	DIN53372	
Expired time	6 - 12 months		-----	
Flame retardant	pass		DIN75200	
Anti-wicking	without		-----	
Anti-frost	without		-----	
Anti-mildew	without		-----	
Acrylic lacquer	without		-----	



Printed Mesh Screen

SCOPE OF WORK:

- Sign Vendor to remove and dispose of existing signage.
- Sign Vendor to field verify all dimensions prior to fabrication.
- Sign Vendor to provide finish samples and shop drawings for KD review and approval prior to fabrication.
- Signs to be fabricated and installed by selected vendor. Refer to specifications and design intent drawings.
- Sign Vendor responsible for all necessary engineered drawings and permits as required by the City of Cleveland.

Mesh Screen

- (5) 19'-2"x25' and Mesh Screens w/ Printed Graphic
- Vendor to survey and provide final dimensions and grommet placement
- Overlap individual banners to create (1) large image banner
- Attach to concrete w/ grommets and screws every 24-5/8" on center
- Banner Material: 70% Ad Mesh by Britten Inc.
- Final production image to be provided to vendor from signage consultant. Artwork in this package is for representation only.

General Notes

THESE DRAWINGS PROVIDE DESIGN INTENT ONLY.

- Kolano Design to provide digital artwork upon award of bid.
- Final fabrication and installation methods are to be determined by the selected Sign Vendor. The Vendor is to provide finish samples and shop drawings to Kolano Design for review and approval prior to fabrication.
- The Sign Vendor/Manufacturer/Fabricator, and not Kolano Design Inc., shall be responsible for structural design of the sign and the integrity of the structural and other systems.
- The Structural Plans shall be submitted for Owner approval and must be signed and sealed by a OH licensed engineer.
- The Sign Contractor/Manufacturer/Fabricator shall comply with, and shall be responsible for adhering to all State, Federal and Local laws, codes, regulations, standards and other guidelines when manufacturing the sign.
- Sign Vendor shall secure and pay for all necessary permits and government fees, licenses and inspections necessary for the proper execution and completion of the work.



WEST BOUND OPTION I - Portal flush with building facade
Island recessed further back for car queue line.



EAST BOUND OPTION 1 - Portal flush with building facade
Island recessed further back for car queue line.



WEST BOUND OPTION 2 - Portal recessed 5' back from building facade
Island recessed further back for car queue line.



EAST BOUND OPTION 2 - Portal recessed 5' back from building facade
Island recessed further back for car queue line.

Downtown | Flats Design Review Case



April 16, 2021

DF2021-008 - BrewDog Renovation: Seeking Conceptual Approval

Project Address: 1956 Carter Road

Project Representative: Juliane Worley, Vocon



BREWDOG

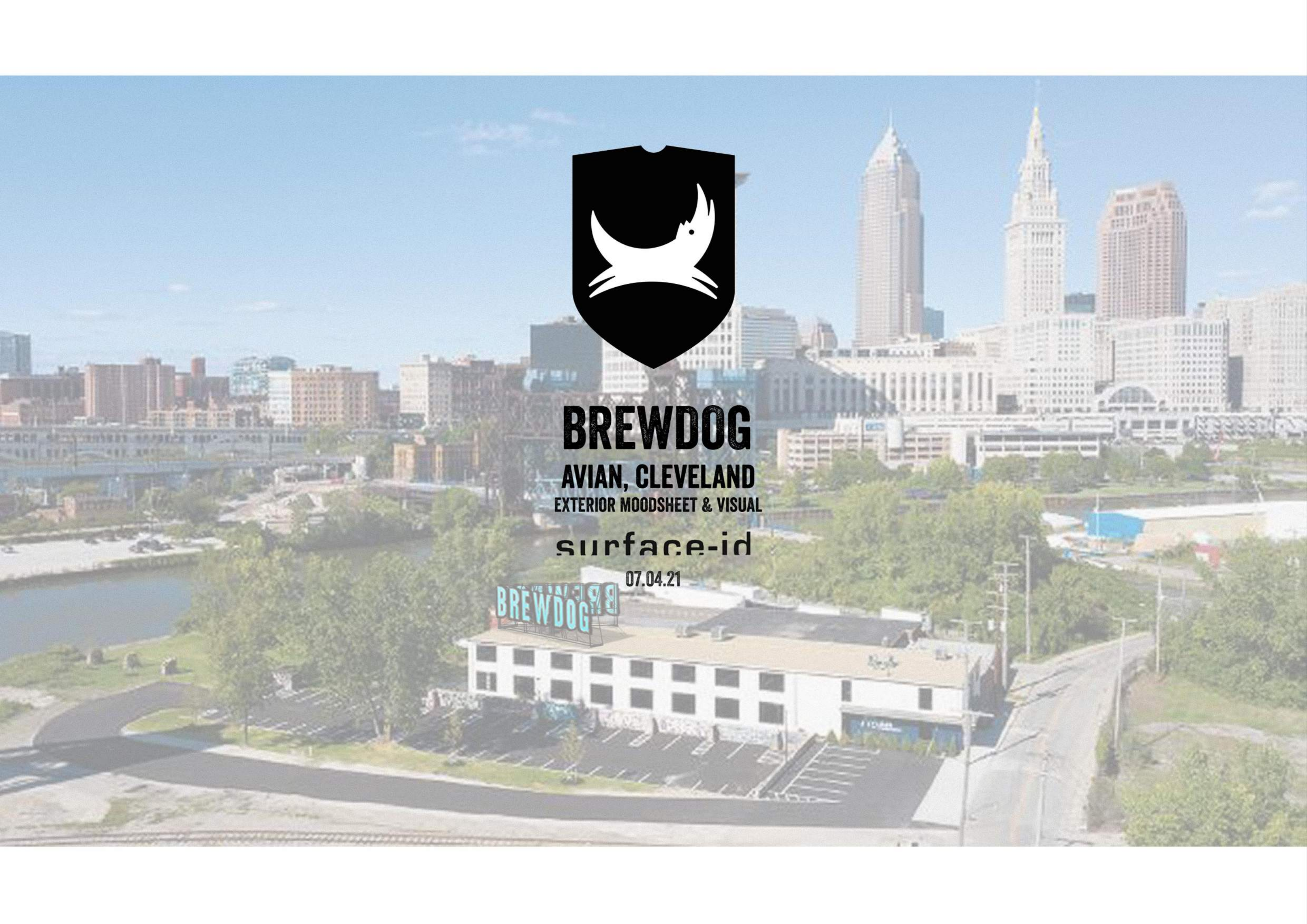
AVIAN, CLEVELAND

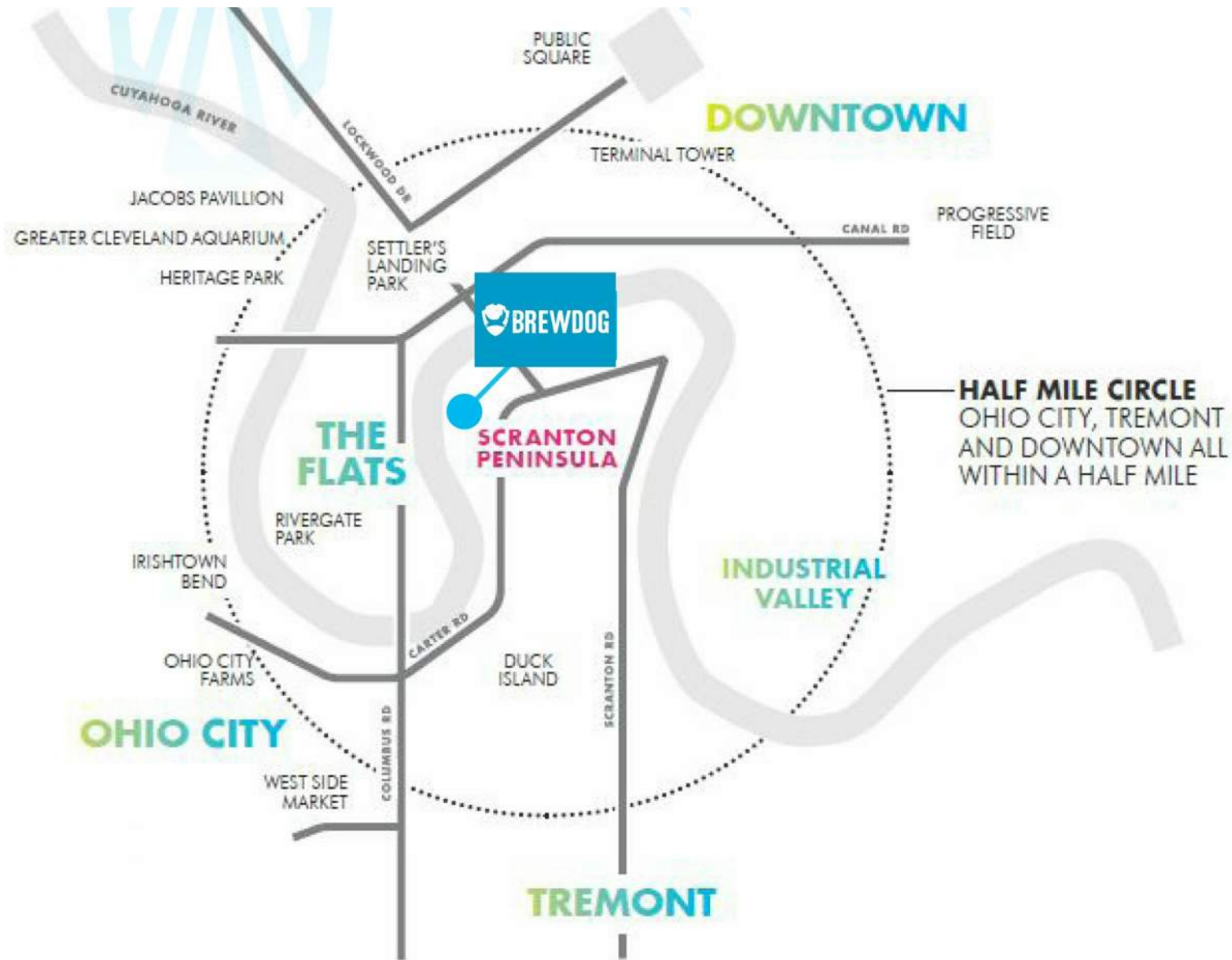
EXTERIOR MOODSHEET & VISUAL

surface-id

07.04.21

BREWDOG



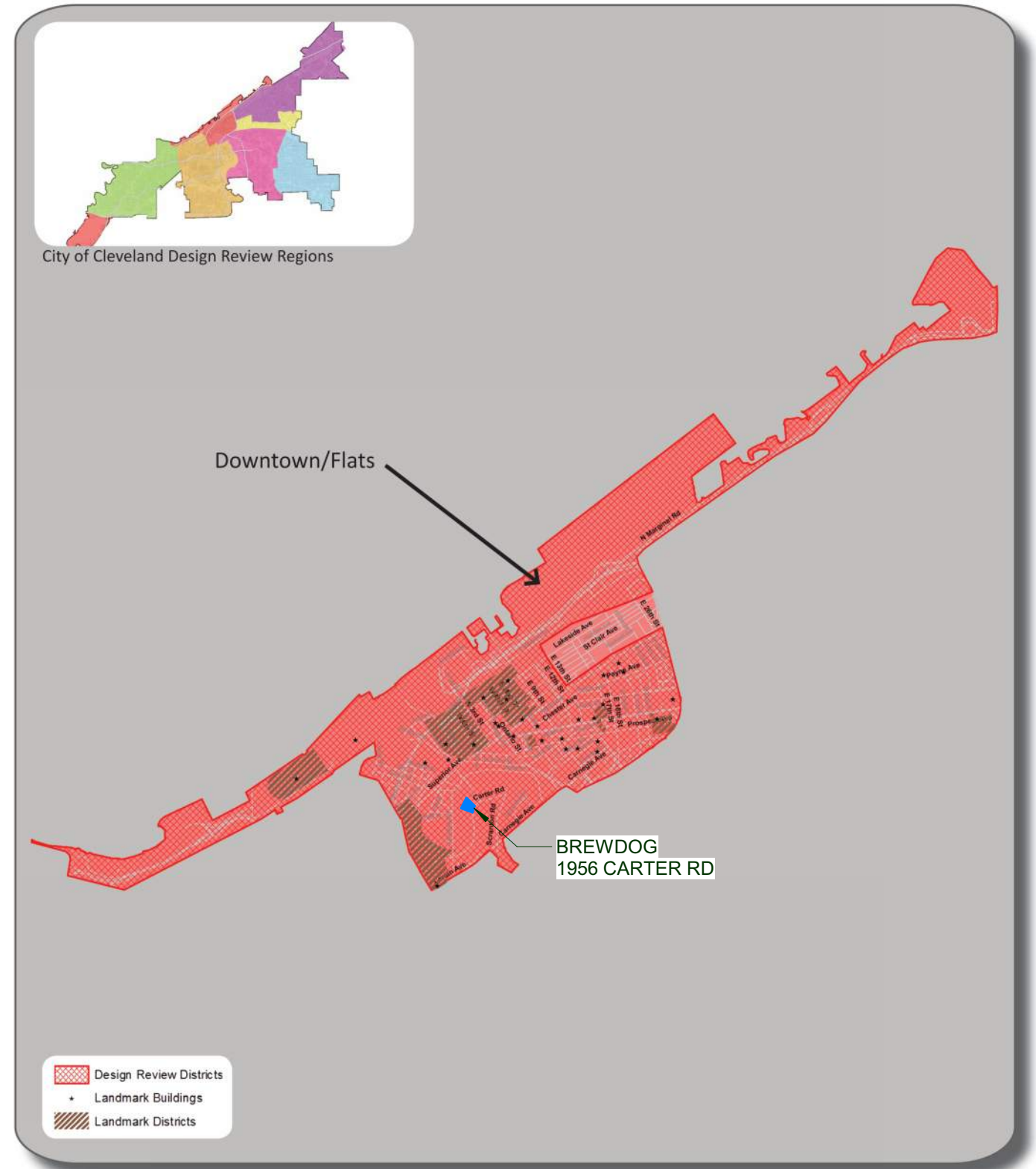


Project Summary: BrewDog USA intends to lease the existing white box space of the Avian Building, located at 1956 Carter Road. BrewDog plans on 2.3-2.5 Million dollar investment into the proposed bar & restaurant on the first floor (10,410 SF) & surrounding site. Interior seating for approximately 250 persons, and exterior seating for approximately 400 persons will be served by 70-80 employees. Existing parking is 49 spaces.



SITE LOCATION MAP / SITE CONTEXT PLAN

Downtown/Flats Design Review District



Downtown/Flats Design Review Regions & Districts



Google Earth

Gray Buildings © 2008 Sanborn
© 2021 Google



SITE AERIAL

vocon.

04/08/21 | 210092-00 | Z102



1. FRONT OF BUILDING



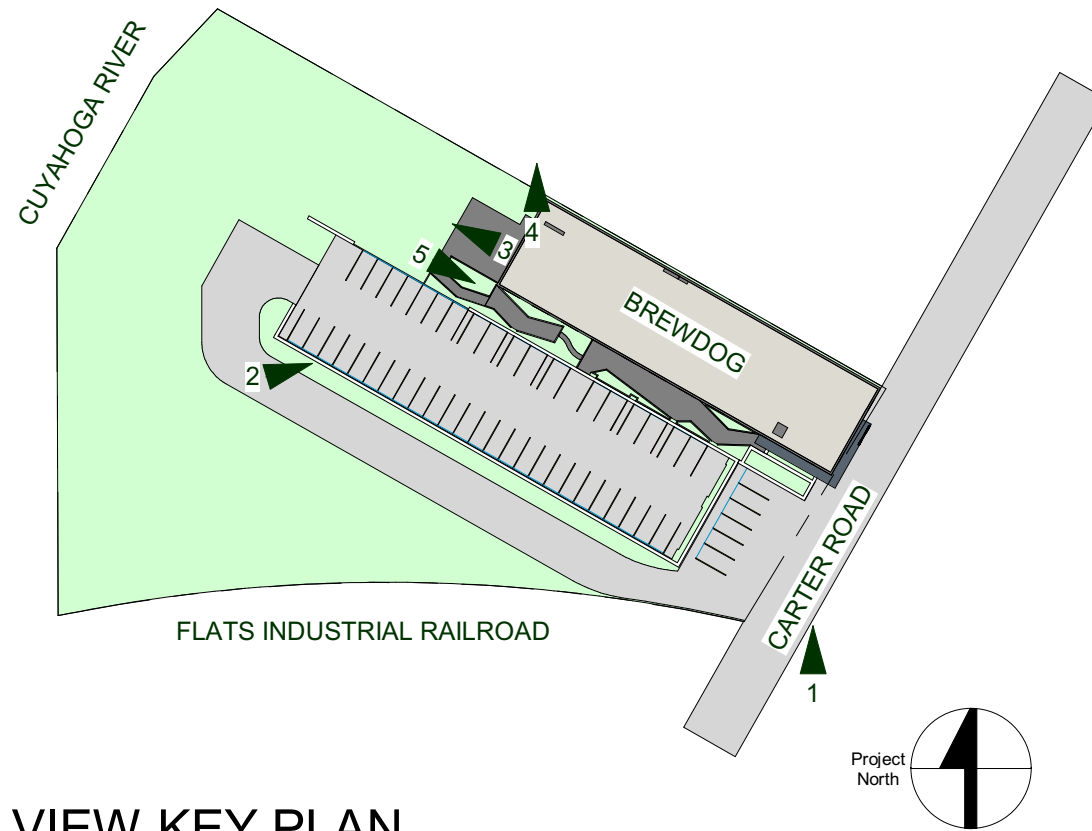
2. VIEW FROM SOUTH DRIVE



3. VIEW TOWARDS RIVER - LOOKING NORTHWEST

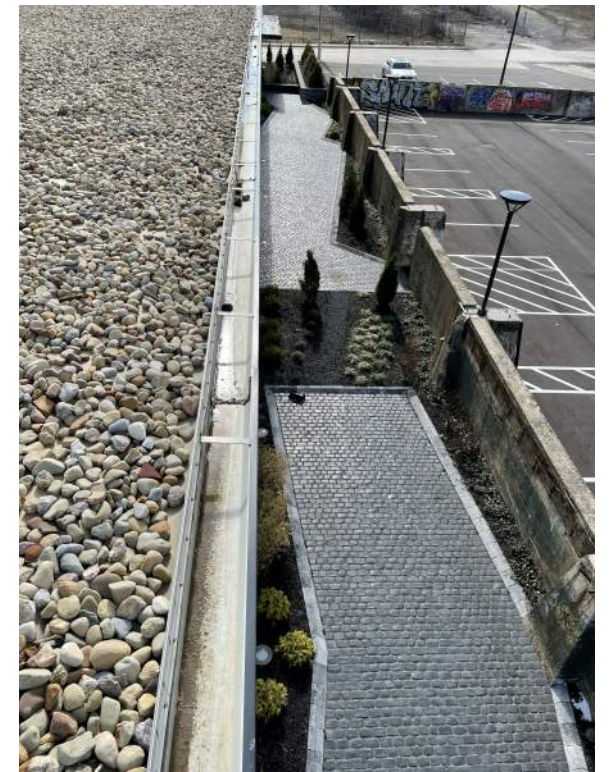


4. VIEW TO NEIGHBOR



VIEW KEY PLAN

SCALE: 1" = 100'-0"



5. SOUTH PAVER PATIO



BREWDOG

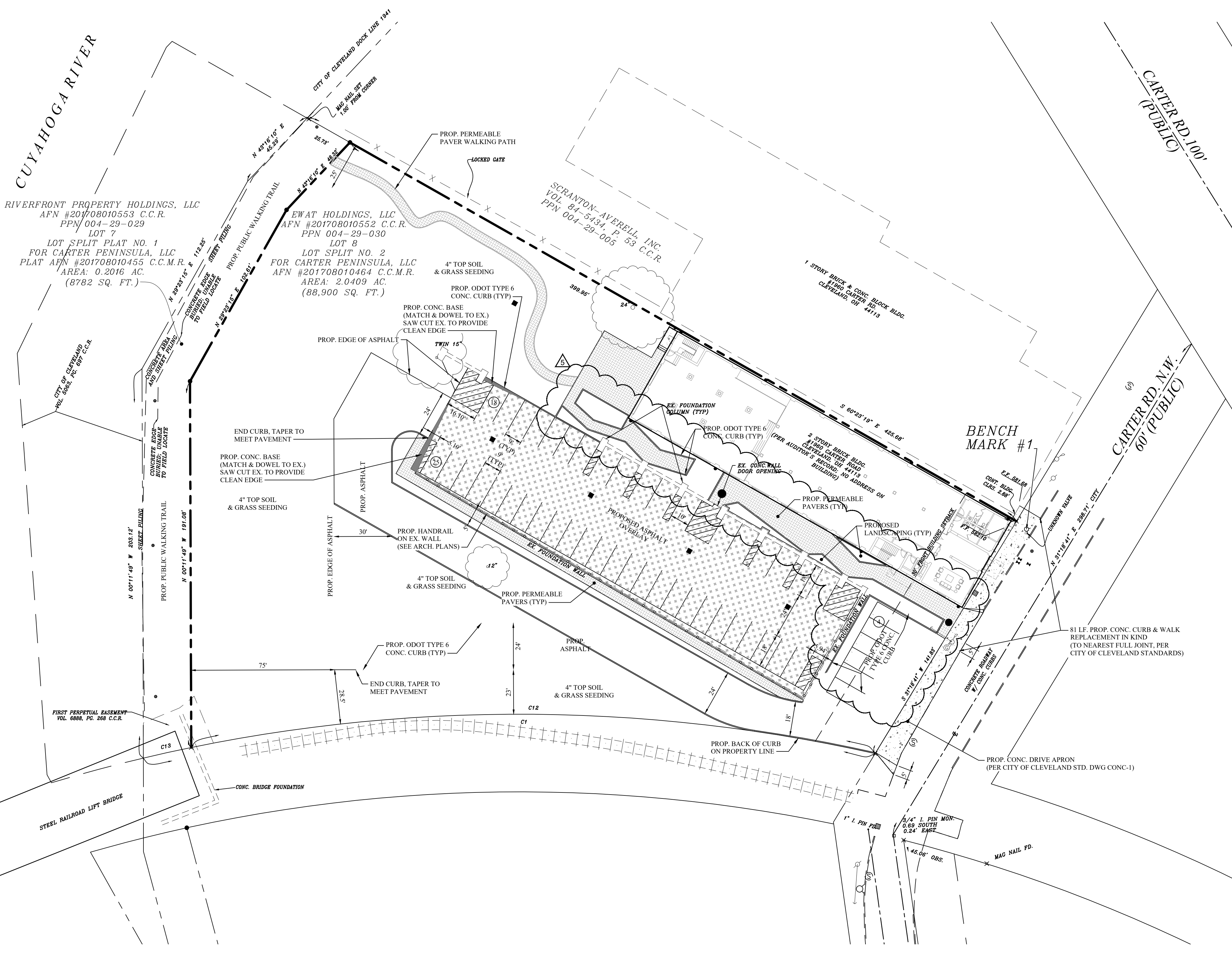
EXISTING CONDITIONS

vocon.

04/08/21 | 210092-00 | Z103

CURVE	DELTA ANGLE	CHORD BEARING	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH
C1	20.5978°	S 89.5926° W	851.17	385.00	195.25	381.51
C12	24.1138°	N 82.2254° W	851.17	359.50	182.47	356.83
C13	1°43'30"	S 77.3227° W	851.17	28.58	12.76	28.58

SITE BENCH MARK	
BENCH MARK #1 TOP NUT ON HYDRANT	
ELEVATION = 584.75	



SITE DATA	
USE DISTRICT	= GI-B3 (GENERAL INDUSTRY)
SITE AREA	= (2.04 AC.)
EX. BUILDING AREA	= 25,020 S.F. (TOTAL FOOTPRINT)
BUILDING SETBACKS:	
FRONT YARD	= 30'
SIDE YARD	= NOT REQUIRED
REAR YARD	= NOT REQUIRED
NUMBER OF PARKING SPACES:	
REGULAR PARKING SPACES	= 47

FLOOD ZONE	
FLOOD ZONE "X" PER FLOOD INSURANCE	
RATE MAP NUMBER 39035C 017 E	
COMMUNITY PANEL NUMBER 39035 0177 E	
EFFECTIVE DATE DECEMBER 3, 2010	

LEGEND	
	REGULAR DUTY ASPHALT
	HEAVY DUTY ASPHALT
	PERMEABLE PAVERS
	CONCRETE PAVING
<i>ITALICS TEXT REPRESENTS EXISTING CONDITION</i>	
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION	

STATE OF OHIO
 PROFESSIONAL ENGINEERING
 MATTHEW J. WEBER
 No. 61709
 Reg. No.: 61709

BARRINGTON BUILDING
 CLEVELAND, OHIO
 RENOVATION

PROJECT TITLE:	BARRINGTON BUILDING 1956 CARTER ROAD CLEVELAND, OH 44113
DESIGN PROGRESS	07.18.2019
WINDOW SIZING	08.27.2019
PROGRESS SET	09.20.2019
PERMIT SET	10.25.2019
REVISION 1	01.09.2020
REVISION 2	02.08.2020
REVISION 3	02.15.2020
REVISION 4	05.15.2020
REVISION 5	06.25.2020

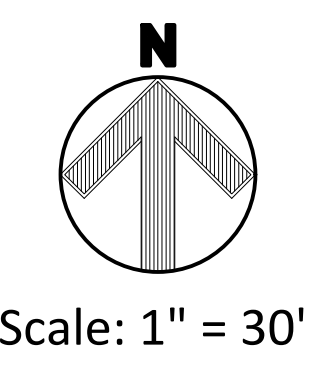
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19.54
 SITE PLAN
 c2.0

I:\Server\Projects\2021\210051-210100\210095-00\Drawings\02_Design\00_Presentation\Site\Concept\2018-274_Site\01\CLD.WG 4.8.2021 1:13:53 PM

OHIO
 Utilities Protection
 SERVICE
Call Before You Dig
 800-362-2764 or 8-1-1
 www.oups.org

OGPUPS
 Ohio Oil & Gas Producers Underground Protection Service
 800-925-0988 or 8-1-1
 www.ogpups.org



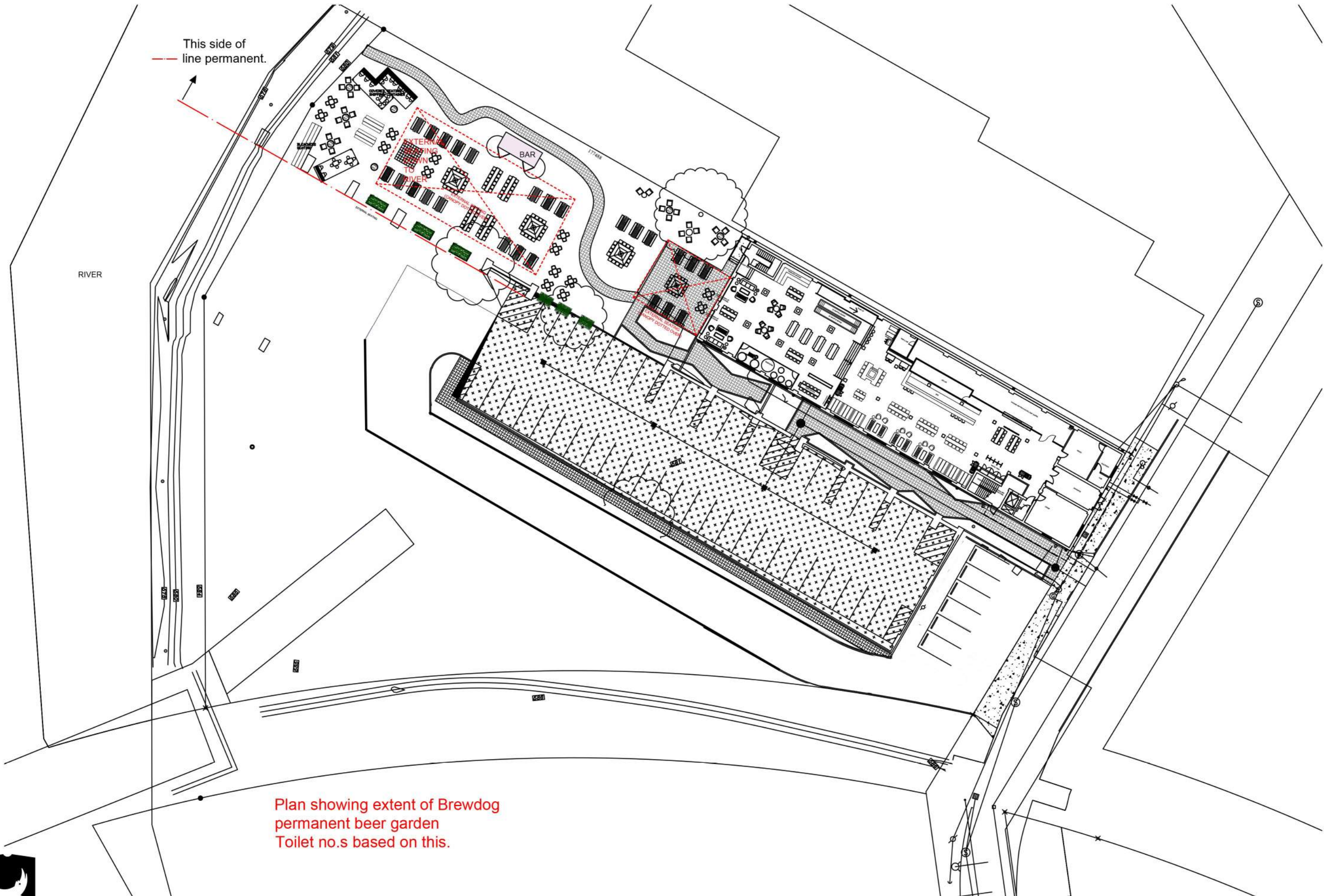
0.100 0.200 0.300 0.400 0.500 0.600 0.700 0.800



Avian, Cleveland - GA Site Plan as proposed (Option1)



Avian, Cleveland - GA Site Plan as proposed (Option2)



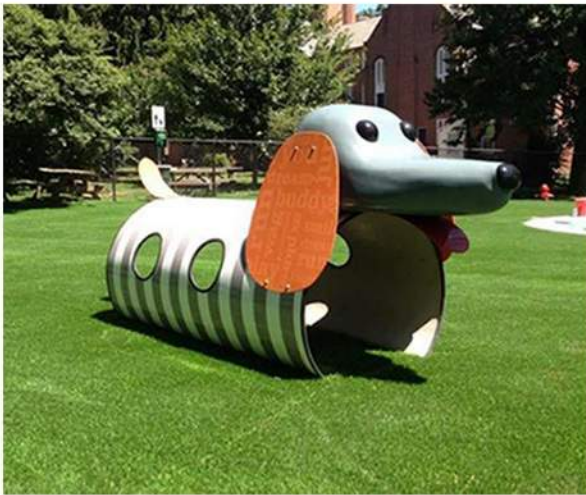
Plan showing extent of Brewdog permanent beer garden
Toilet no.s based on this.



Avian, Cleveland - GA Site Plan as proposed (Extent)



Avian, Cleveland - External Bar / Seating Mood images

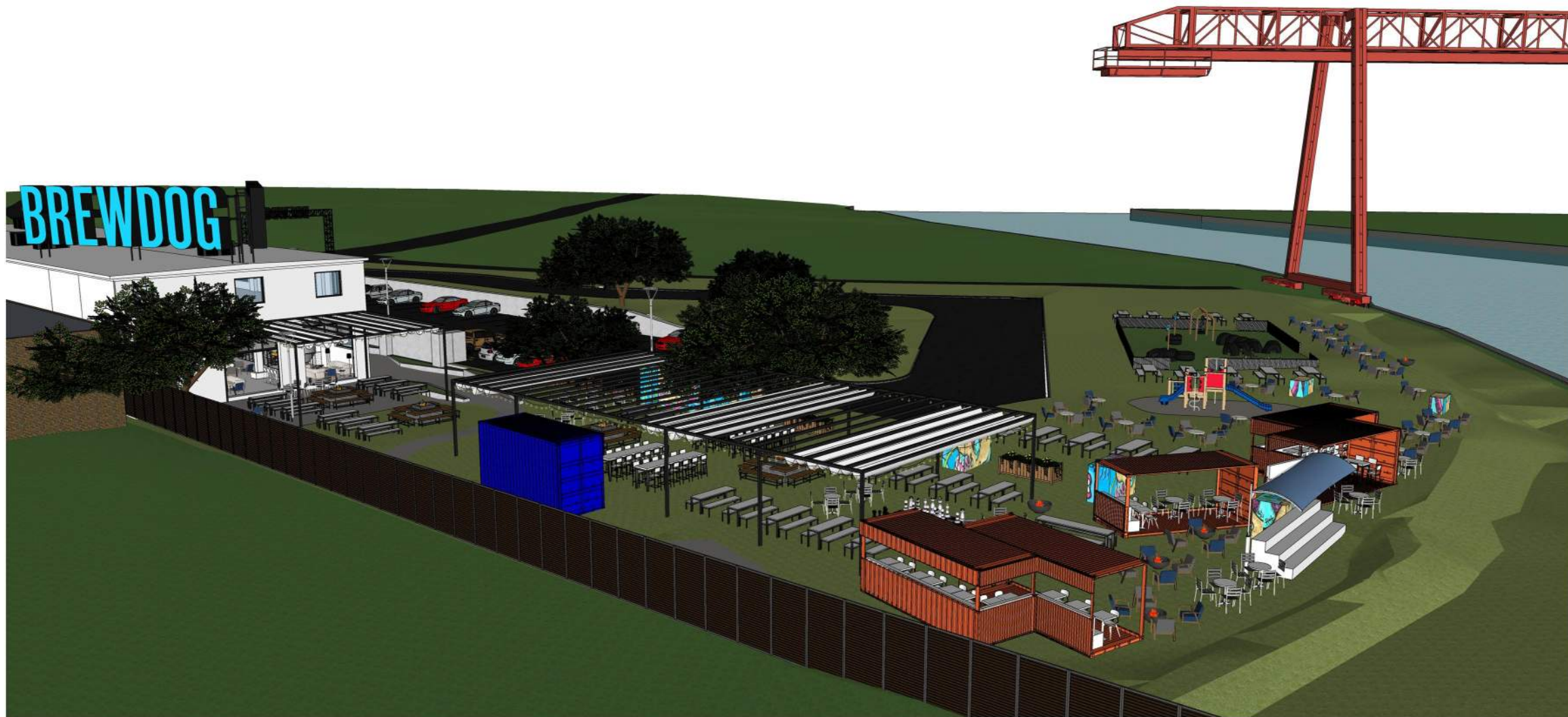




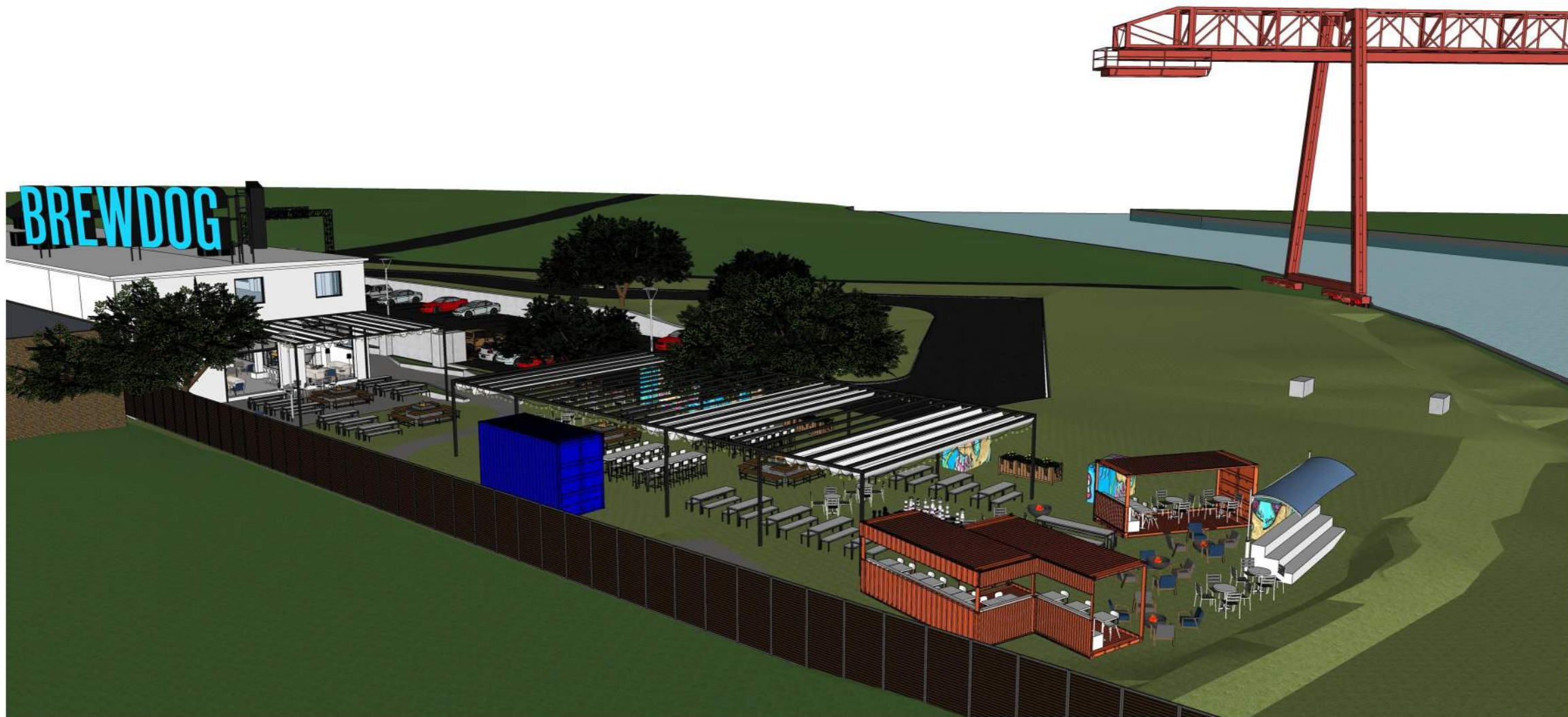
Avian, Cleveland - Site Isometric (Option1)



Avian, Cleveland - Site Isometric (Extent)



Avian, Cleveland - Outdoor Seating Area View (Option1)



Avian, Cleveland - Outdoor Seating Area View (Extent)





Avian, Cleveland - 3D Visual

November 22, 2019

Mr. Matthew Weber, P.E.
Weber Engineering Services
2555 Hartville Road, Suite B
Rootstown, OH 44272

**Re: *Barrington Building, 1970 Carter Road – Cleveland, Ohio
Utility Review Approval (CDPP-10-27-2019-0001234)***

Dear Mr. Weber:

The Northeast Ohio Regional Sewer District (NEORS) is in receipt of plans for a parking lot and storm sewer system to be connected to a manhole on Carter Road that is a part of the Westerly Low-Level Interceptor system. The connection will be made to District manhole LLA00235 using a 12" diameter pipe at an elevation of 571.50 which is within of 24" of the invert of the Interceptor.

The plans dated October 24, 2019 have been reviewed and the connection to manhole LLA00235 has been approved provided the following conditions are met:

- The contractor shall provide a watertight connection to the existing infrastructure.
- The owner shall warrant that the connections and new structures will be watertight for a period of one year.
- The contractor is responsible for any and all damage to existing infrastructure as determined by the NEORS.
- The contractor shall prevent any debris from entering the sewers. Any debris entering the sewer shall be removed by the contractor.
- The contractor is responsible for obtaining any and all permits required for the work, including Cleveland Water Pollution Control.
- A 72-hour notice shall be provided to Maintenance Services – Technical Support; call Charles Cofield at 216-310-6037 to schedule an NEORS inspector for the connection.

Thank you for your cooperation, if you have any questions, feel free to call me at extension 6802.

Sincerely,



Mary E. Maciejowski
Community Discharge
Permit Program Manager

cc:

David Ritter, NEORS
Elie Ramy, Cleveland WPC

Cleveland City Planning Commission

DRAC New Member Nominations



April 16, 2021

Design Review New Member Nomination

April 16, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Director's Report



April 16, 2021

Director's Report



April 16, 2021

- Special meeting discussion for Vision for the Valley
- Joint meeting discussion between Landmarks and Planning Commission regarding warehouse district/public square development.

Cleveland City Planning Commission

Adjournment



April 16, 2021