



Cleveland City Planning Commission

Friday, March 5, 2021

**** PLEASE MUTE YOUR MICROPHONE ****

David Bowen, Commission Chair

Freddy L. Collier Jr., Director

Michael Bosak, Administrator

Cleveland City Planning Commission

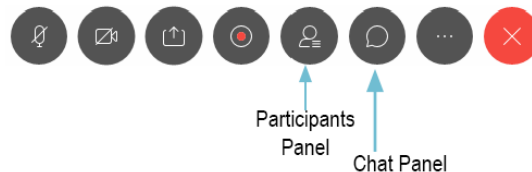
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



March 5, 2021

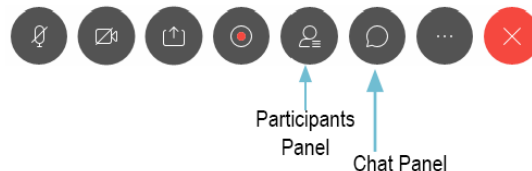
Cleveland City Planning Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



March 5, 2021

Cleveland City Planning Commission

Call to Order and Roll Call



March 5, 2021

Cleveland City Planning Commission

Special Presentations – Public Art



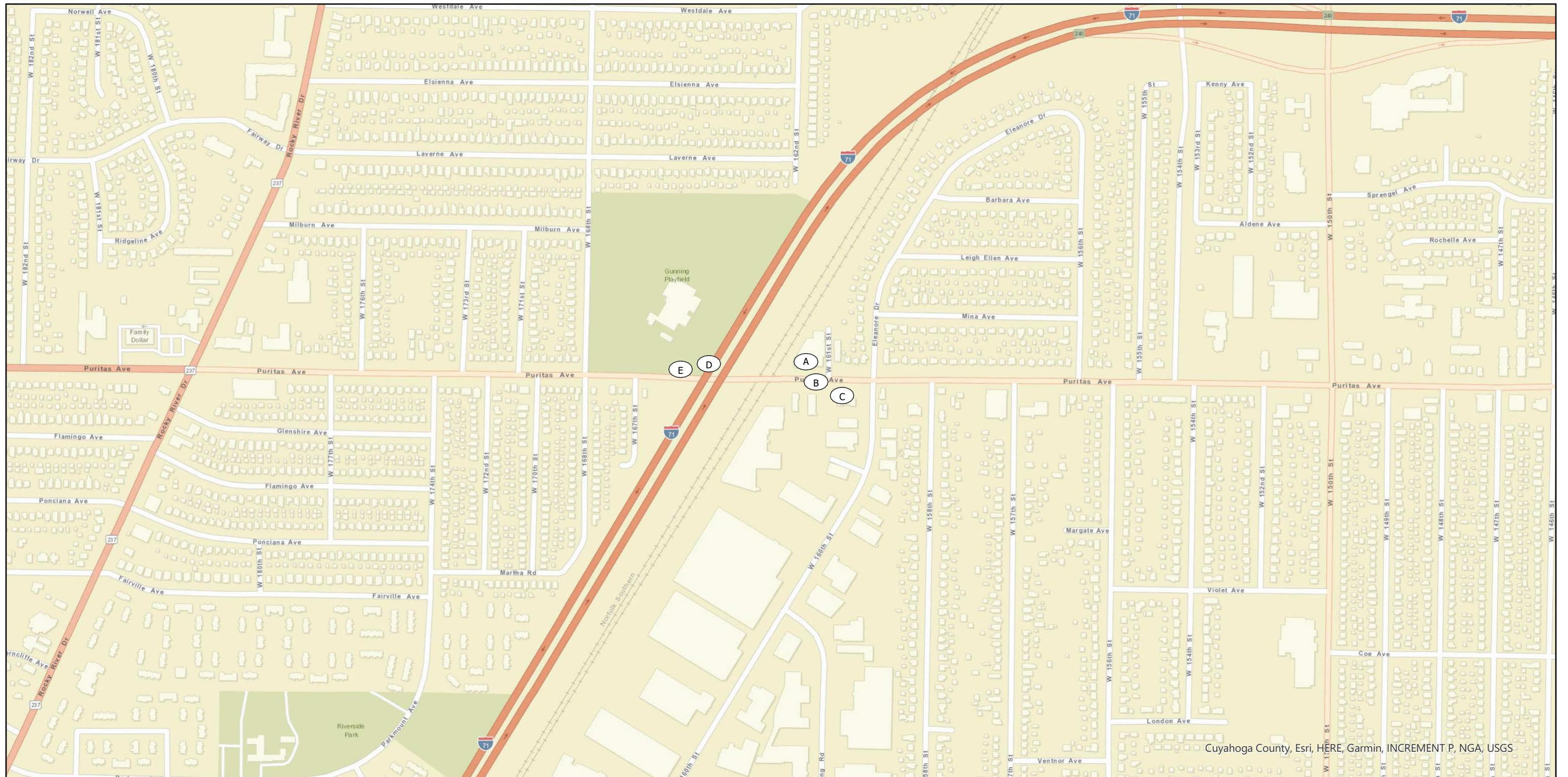
March 5, 2021



More Alike than Different Mural

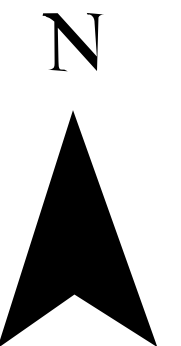
Location: Retaining wall at north side of Puritas Avenue from W. 161st St. to the bridge

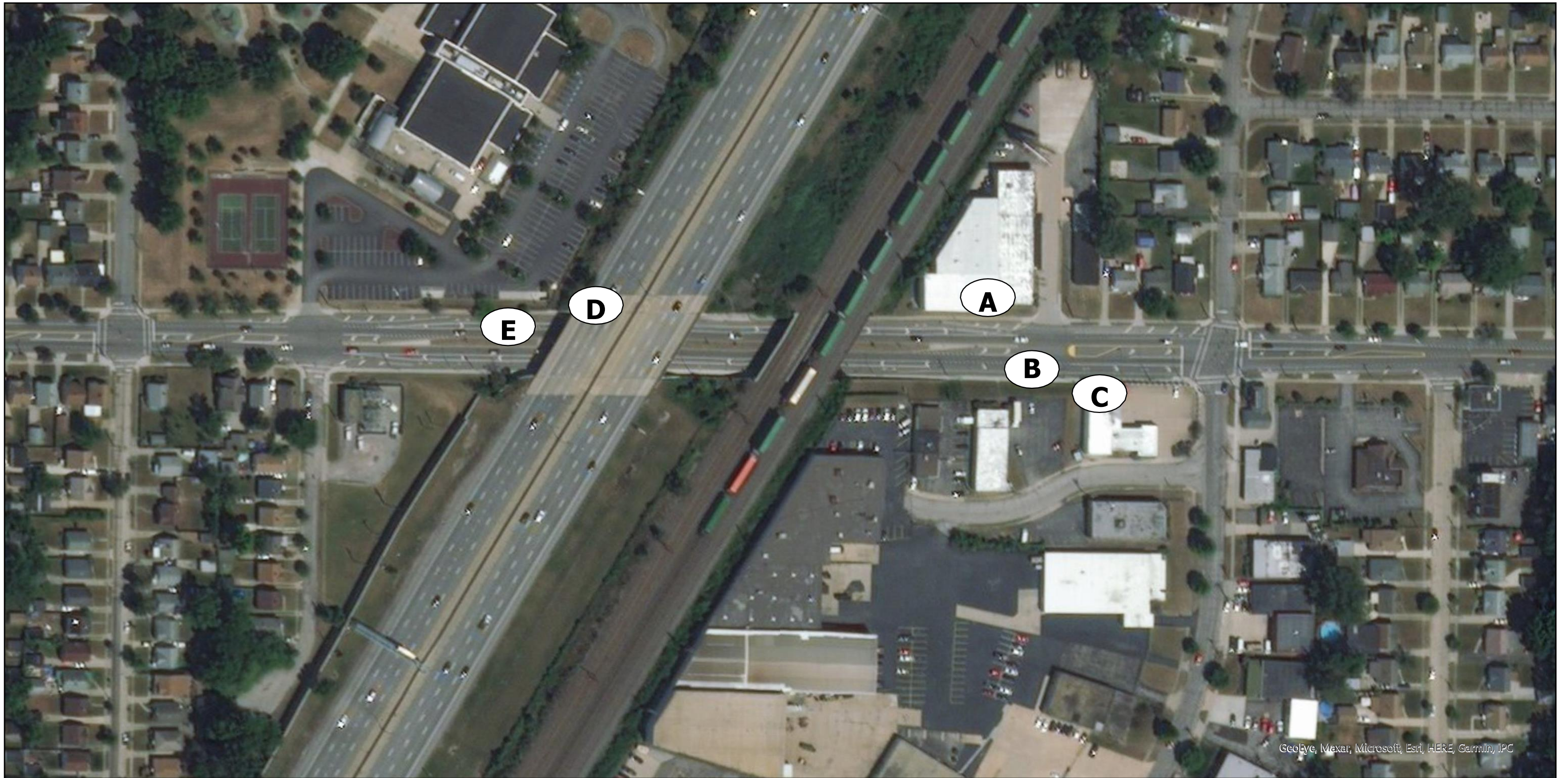
Presenter: Melissa Miller, Bellaire Puritas DC



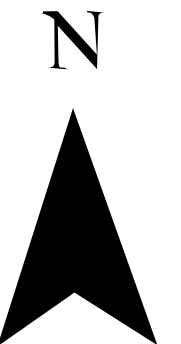
Puritas Murals Area Map

Design Review Submittal Feb 3 2021





Puritas Murals Detail Map
Design Review Submittal Feb 3 2021





Puritas Murals - Proposed Location A
Design Review Submittal Feb 3 2021



Puritas Murals - Proposed Location A
Design Review Submittal Feb 3 2021



Puritas Murals - Proposed Location A
Design Review Submittal Feb 3 2021



Puritas Murals - Existing Location B
Design Review Submittal Feb 3 2021



Puritas Murals - Existing Location B
Design Review Submittal Feb 3 2021





Puritas Murals - Existing Location B
Design Review Submittal Feb 3 2021



Puritas Murals - Existing Location C
Design Review Submittal Feb 3 2021



Puritas Murals - Existing Location D
Design Review Submittal Feb 3 2021



Puritas Murals - Context E
Design Review Submittal Feb 3 2021





Proposed Mural – “More Alike Than Different”

Design Review Submittal Feb 3 2021



Design Review Submittal Feb 3 2021



Proposed Mural – “More Alike Than Different”

Design Review Submittal Feb 3 2021



Proposed Mural – “More Alike Than Different”

Design Review Submittal Feb 3 2021





Garrett Weider – Previous Work

Design Review Submittal Feb 3 2021





Garrett Weider – Previous Work
Design Review Submittal Feb 3 2021



Cleveland City Planning Commission

Zoning Map Amendments



March 5, 2021

Zoning Map Amendments

March 5, 2021

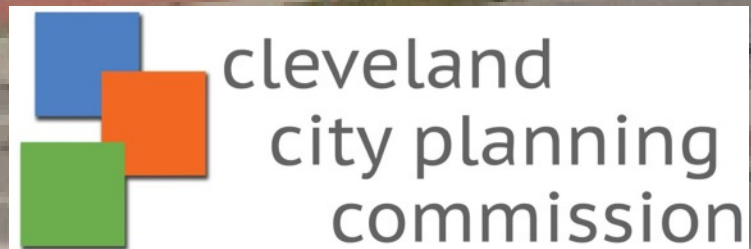


Ordinance No. xxx-2021(Ward 12/Councilmember Brancatelli): Changing the Use, Area & Height Districts of parcels of land north and south of Harvard Avenue between slightly west of East 71st Street to Ottawa Road and east and west of East 71st Street between Indiana Avenue and Clement Avenue.



Harvard Avenue Rezoning: Part 2 Map Change 2624

City Planning Commission
March 5, 2021



Purpose of Rezoning

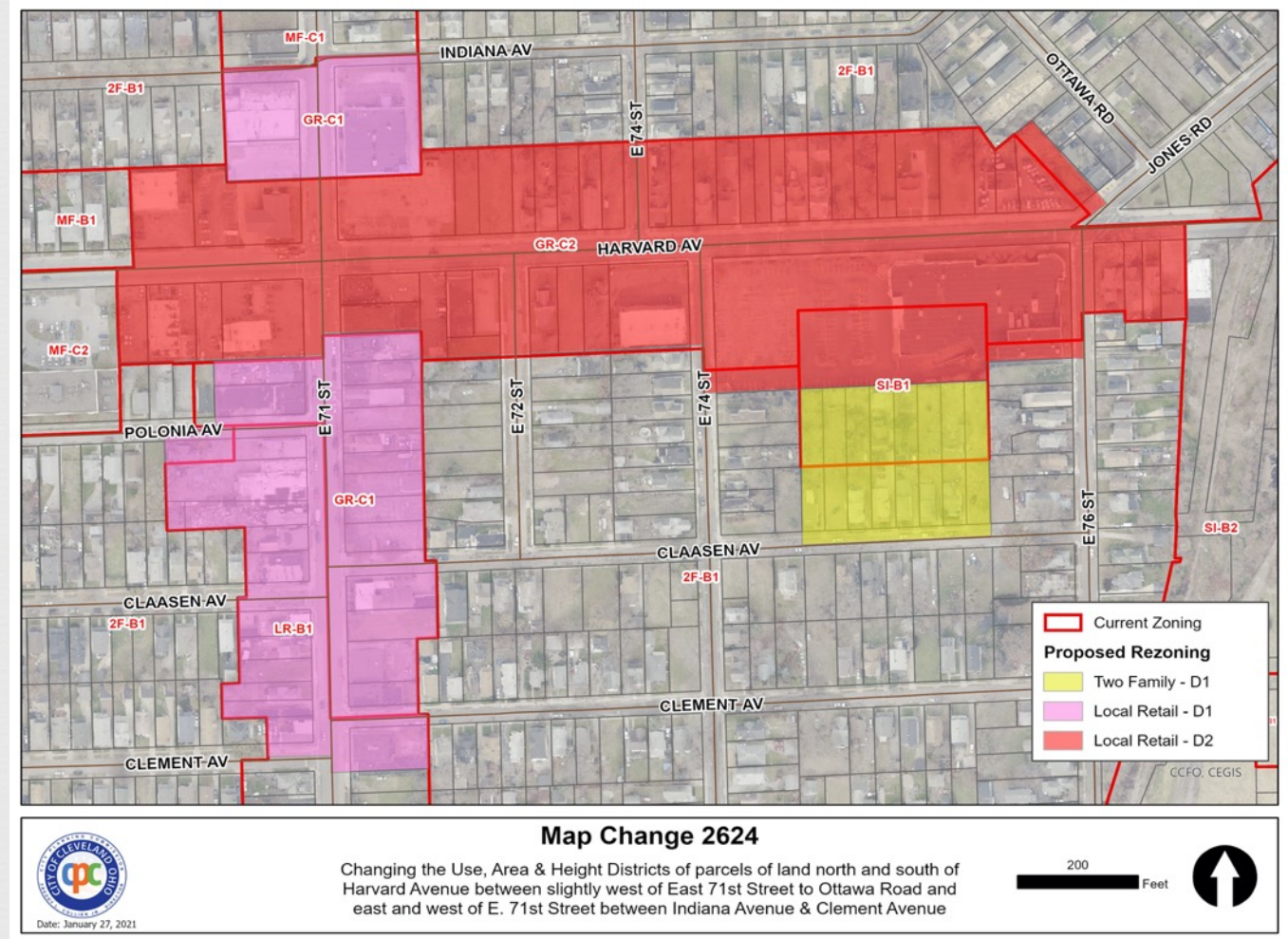
- ❖ To remove legacy industrial zoning and general retail designations to align more with the Citywide 2020 Plan & other neighborhood plans
- ❖ To consolidate hodgepodge of zoning districts (General & Semi Industry, Retail, Residential)
 - ❖ To ensure that future development is consistent with residential/retail nature of this area of Harvard Avenue and that infill development within the neighborhood core – is considerate of nearby residential uses

Current Zoning & Permitted Uses

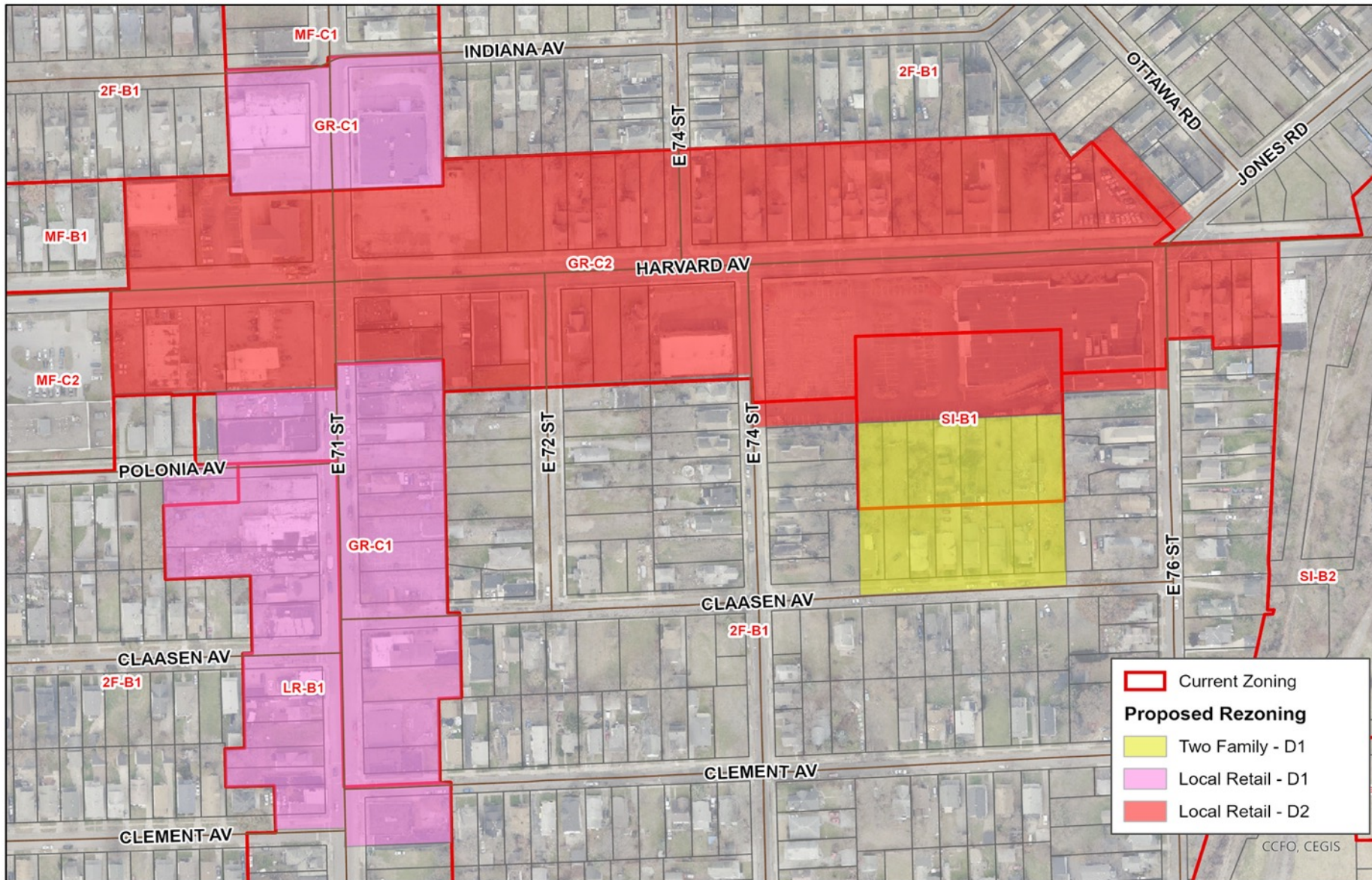
Local Retail Business: Residential uses, food stores, variety stores, shoe stores, drugstores, eating places, professional offices, and other retail uses that serve the neighborhood (§343.01)





General Retail Business: Residential uses, retail stores, department stores, funeral parlors, new and used car lots, gas stations, office buildings, hotels and motels, banks, gamerooms and other similar uses (§343.11)

General Industry Use Districts: All uses permitted in Semi-Industry district, plus open yard storage of second hand lumber or other used building material, junk, paper, rags, also the operation of wrecking or dismantling motor vehicles, or the storage of motor vehicles. Accessory uses permitted included asphalt or tar, carbon, coke, coal, gas creosote, oil cloth or linoleum, rubber, etc. manufacturing (§345.04)



Semi-Industry Use Districts: Warehouses, auto repair garages, cold storage plants, garment factories, newspaper plants, trucking terminals, breweries, and other light manufacturing uses (§345.03)



	Current Zoning
Proposed Rezoning	
	Two Family - D1
	Local Retail - D1
	Local Retail - D2



Date: January 27, 2021

Map Change 2624

Changing the Use, Area & Height Districts of parcels of land north and south of Harvard Avenue between slightly west of East 71st Street to Ottawa Road and east and west of E. 71st Street between Indiana Avenue & Clement Avenue



Proposal



Aerial of SI District to be 2F



View looking east on Classen

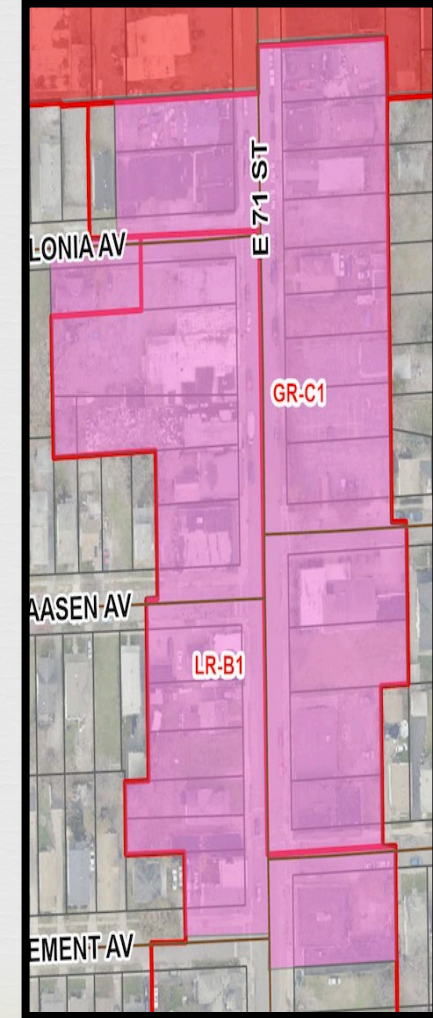
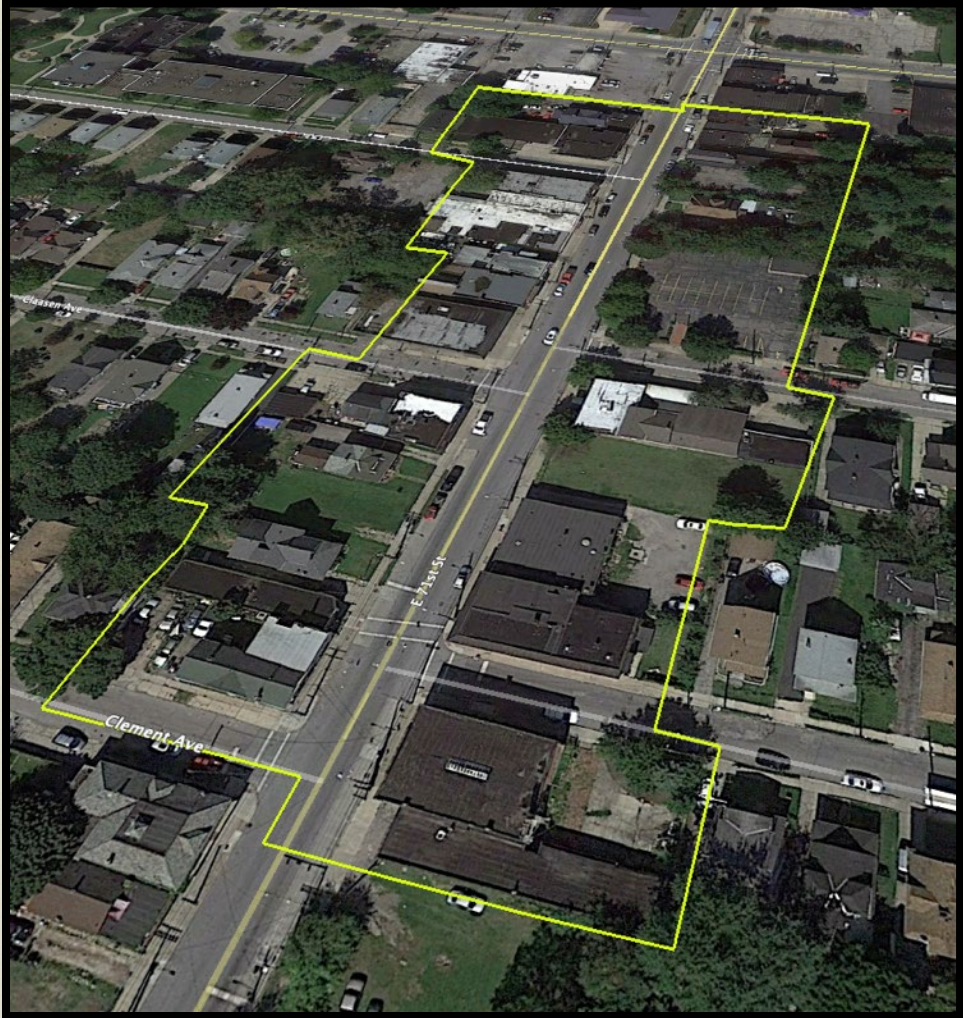


View looking West on Classen

Two-Family Residential – D1: To align with existing land use, secure property owners' assets and to ensure future development is infill housing.

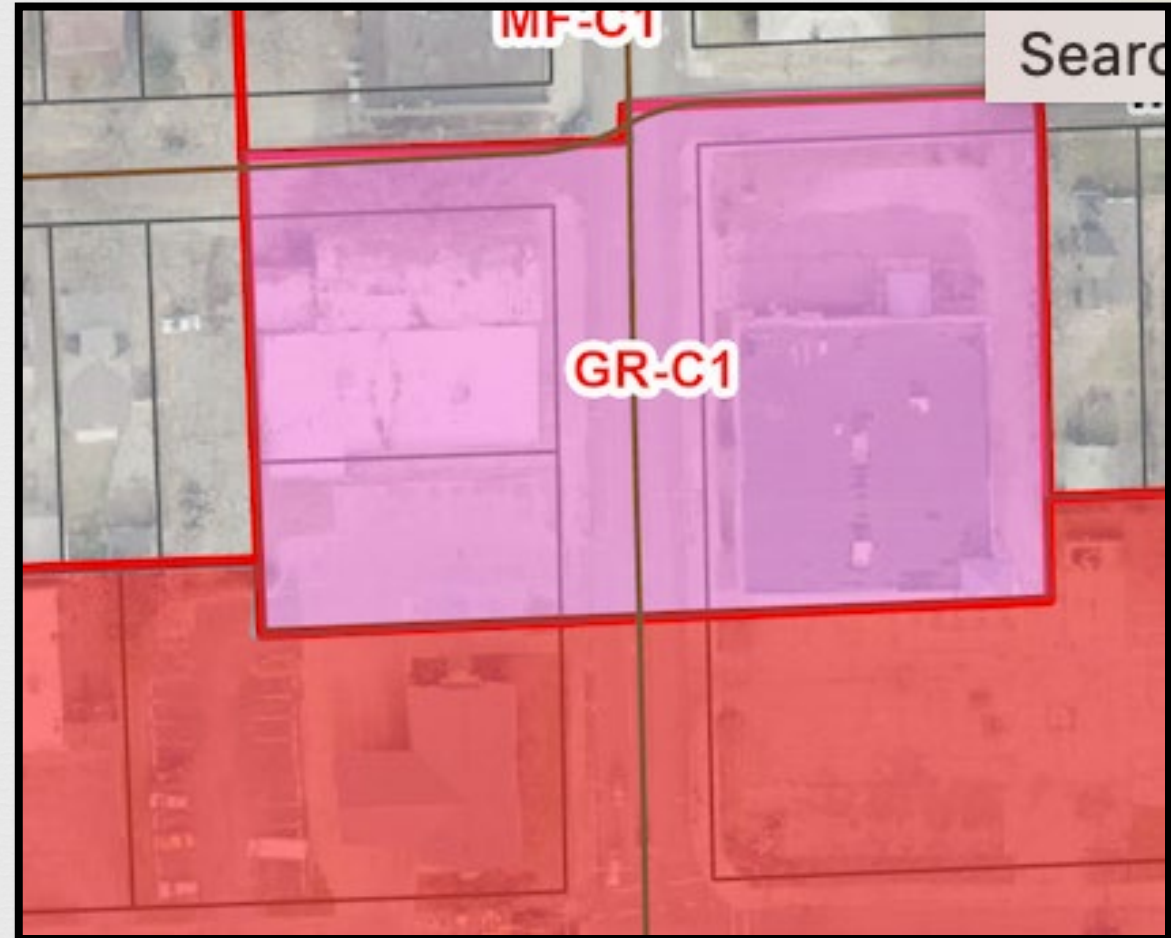
Proposal

Local Retail – D1: To align existing uses & businesses with neighborhood plan , while promoting more neighborhood-oriented infill businesses



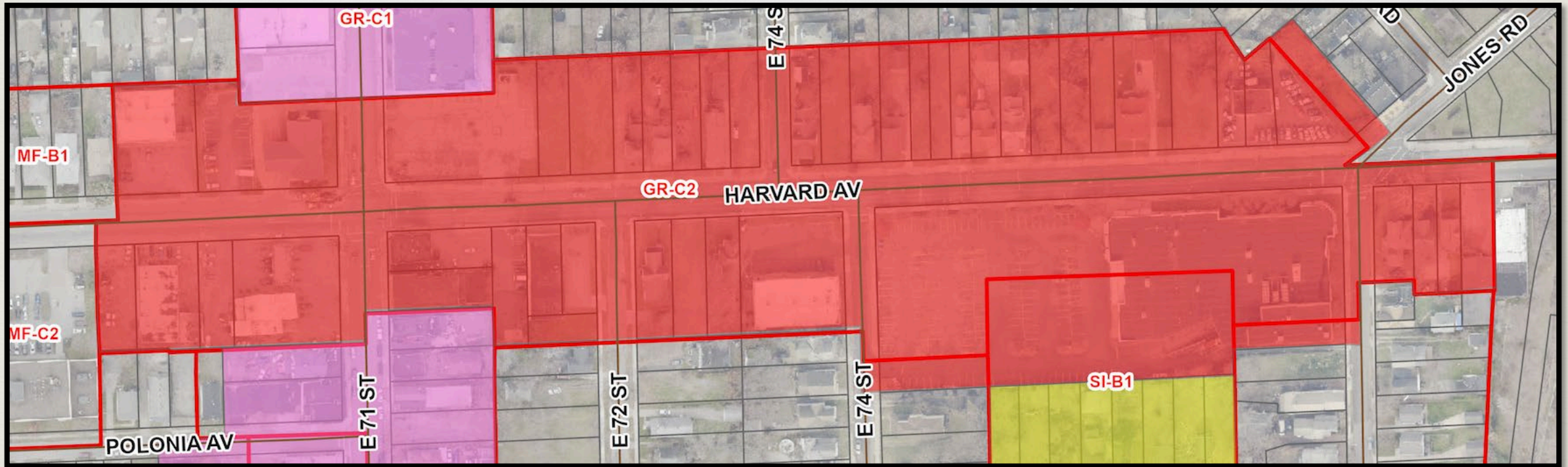
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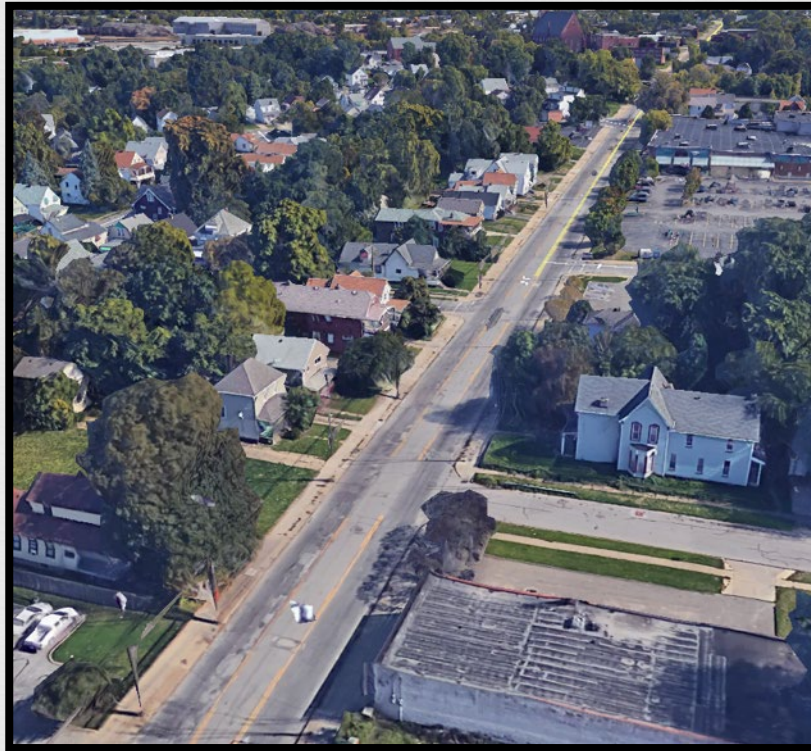
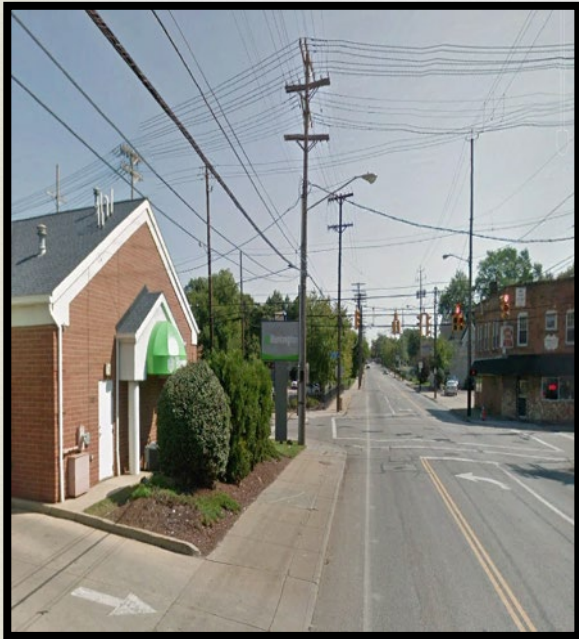
Proposal

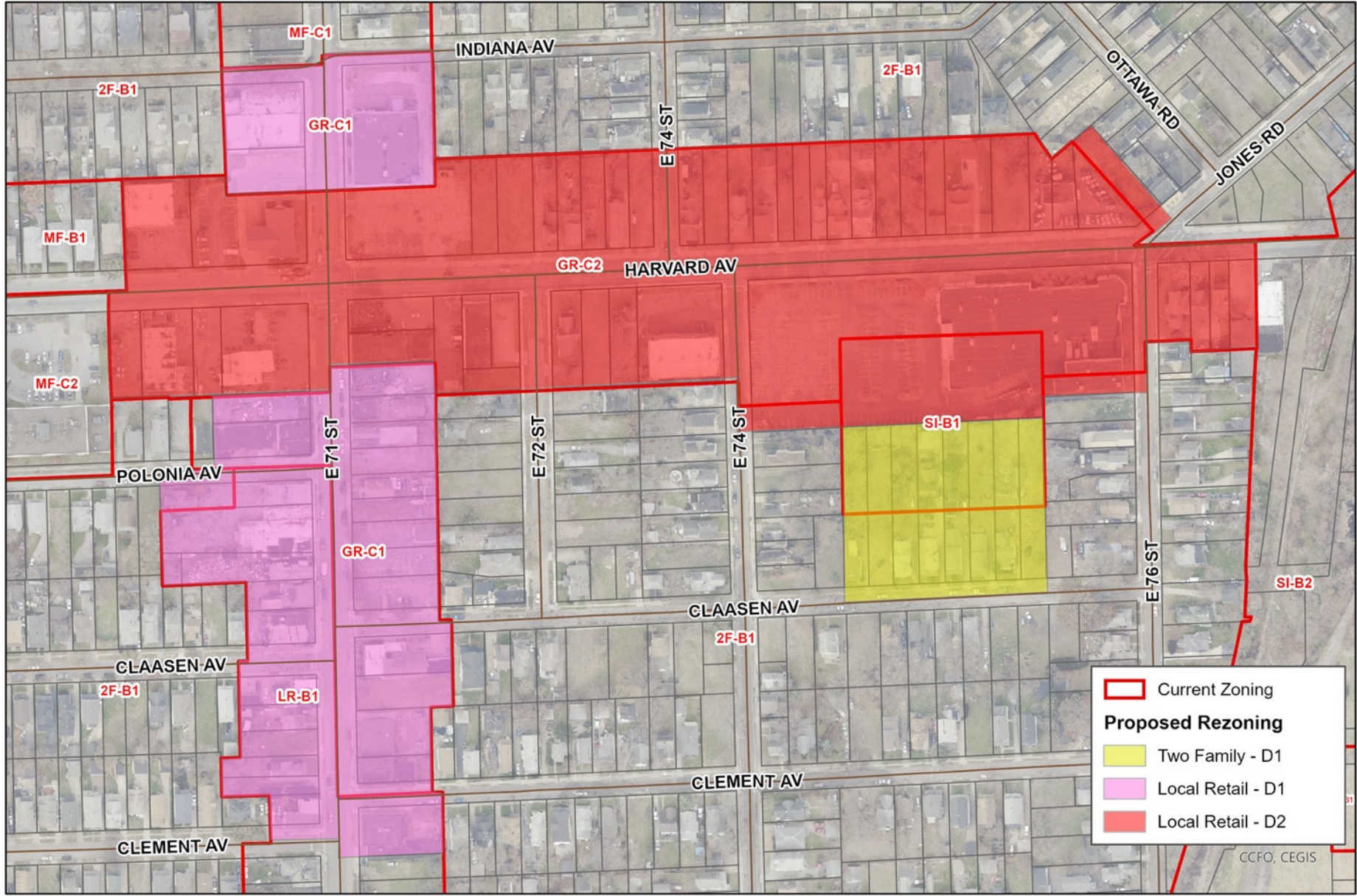
Local Retail – D2: To align the zoning with current structures and land uses and to ensure future development is consistent with neighborhood character.



Proposal

Local Retail – D2: To align the zoning with current structures and land uses and to ensure future development is consistent with neighborhood character.

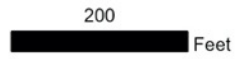




Date: January 27, 2021

Map Change 2624

Changing the Use, Area & Height Districts of parcels of land north and south of Harvard Avenue between slightly west of East 71st Street to Ottawa Road and east and west of E. 71st Street between Indiana Avenue & Clement Avenue



Zoning Map Amendments

March 5, 2021



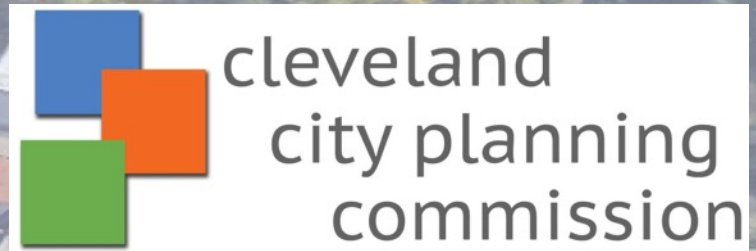
Ordinance No. xxx-2021(Ward 12/Councilmember Brancatelli): Changing the Use, Area and Height Districts of parcels of land west of Pennsylvania Rail Road and north and south of Harvard Avenue between East 76th Street and the Pennsylvania Rail Road.

Harvard Avenue Rezoning: Part 3

Map Change 2625

City Planning Commission

March 5, 2021



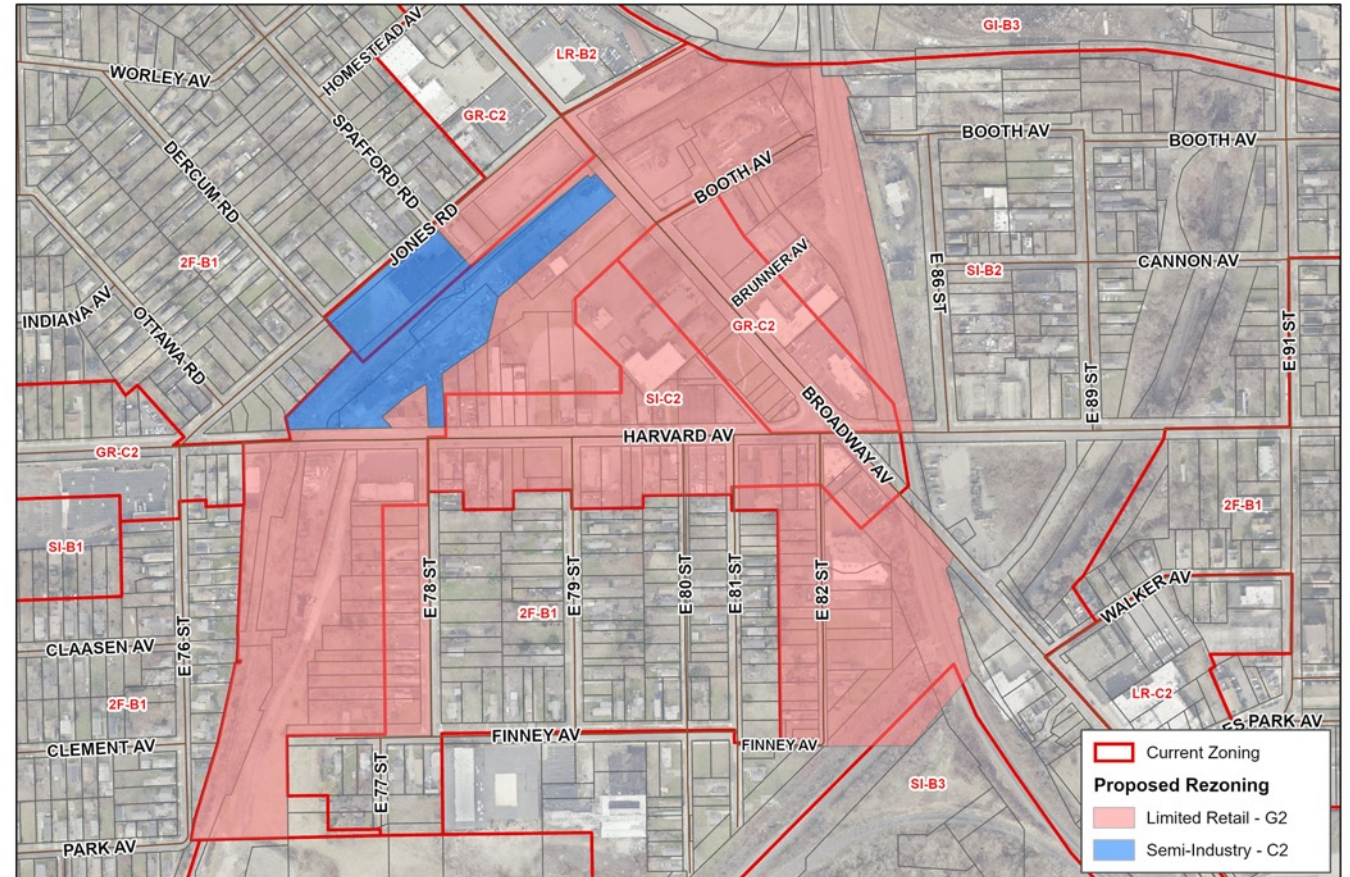
Purpose of Rezoning

- ❖ To remove legacy industrial zoning and general retail designations to align more with the Citywide 2020 Plan & other neighborhood plans
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Map Change 2625
Changing the Use, Area & Height Districts of parcels of land west of the Pennsylvania Rail Road and north and south of Harvard Avenue between East 76th Street and the Pennsylvania Rail Road
Date Created: 3/1/2021

Semi-Industry Use Districts: Warehouses, auto repair garages, cold storage plants, garment factories, newspaper plants, trucking terminals, breweries, and other light manufacturing uses (§345.03)

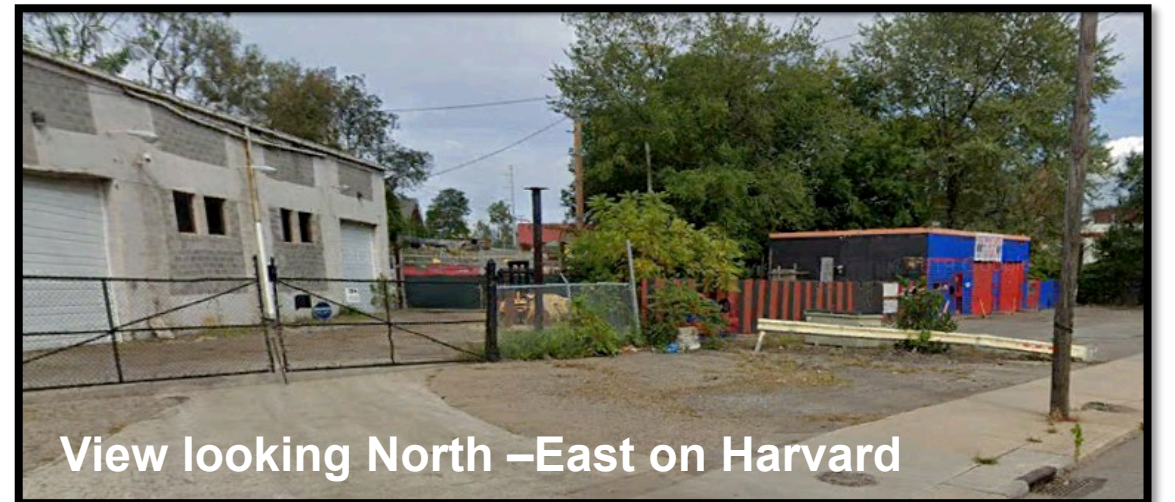
Proposal



View looking East on Harvard



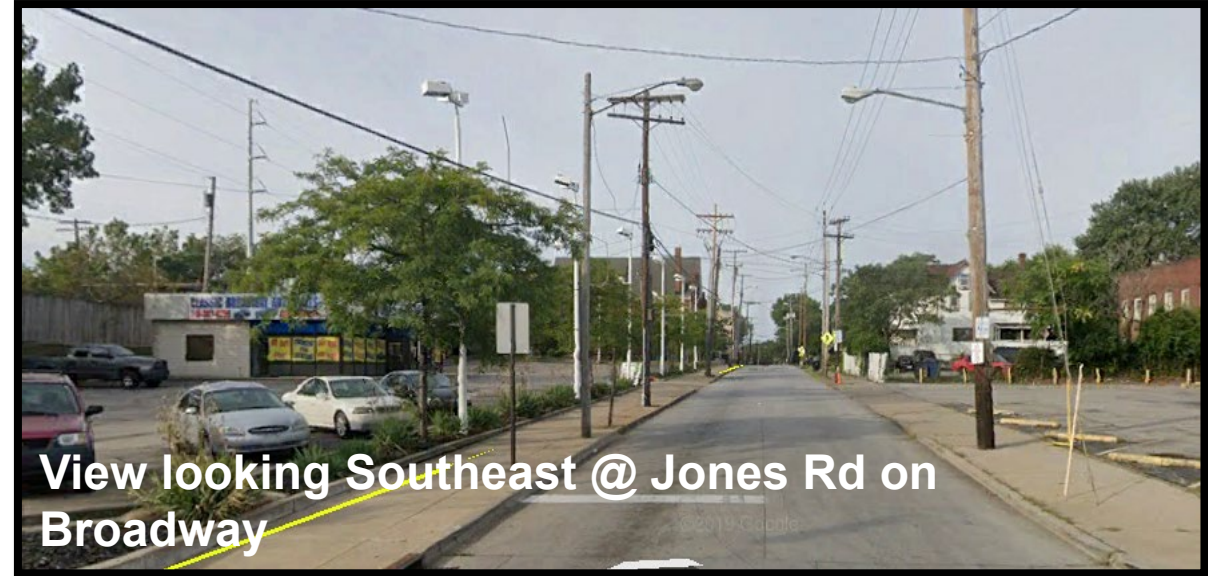
View looking North on E. 82nd St



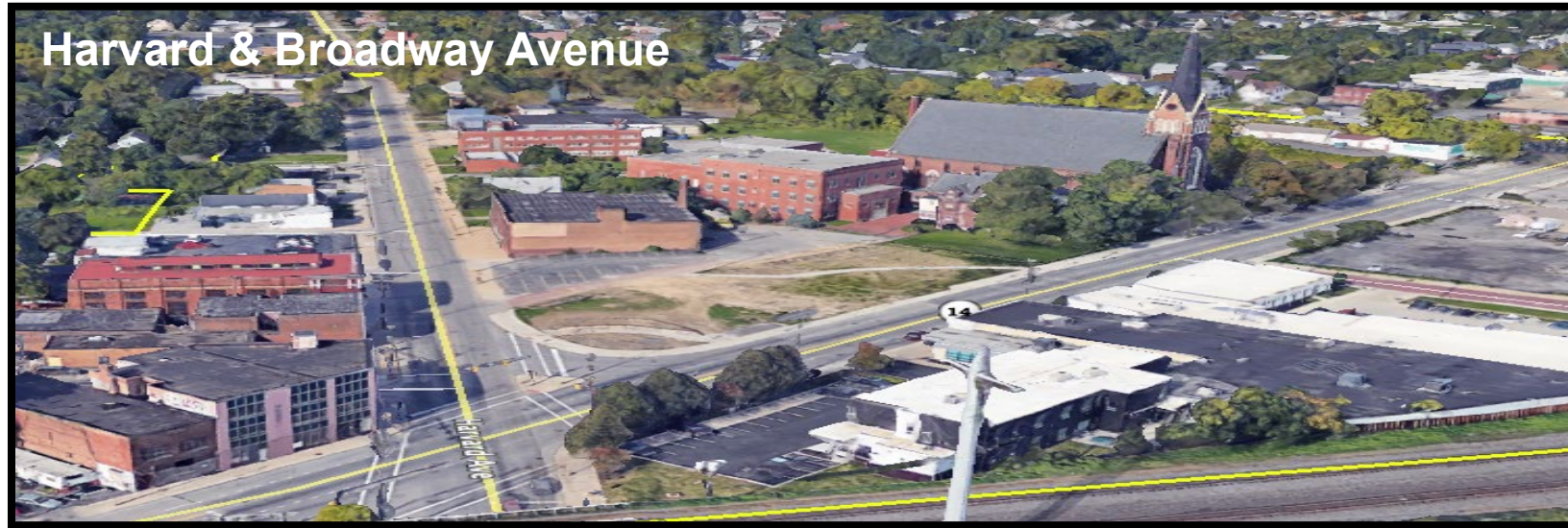
View looking North –East on Harvard

Limited Retail Business – G2 : To align legacy Industrial Zoning with future land use, and to allow for the existing business to continue as usual, while preparing for the future to potentially be adapted into a neighborhood makers space

Proposal



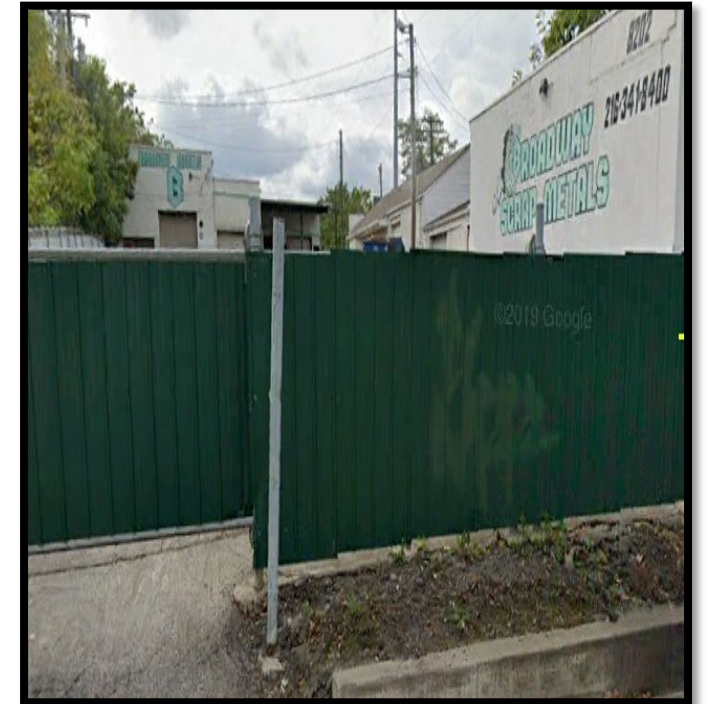
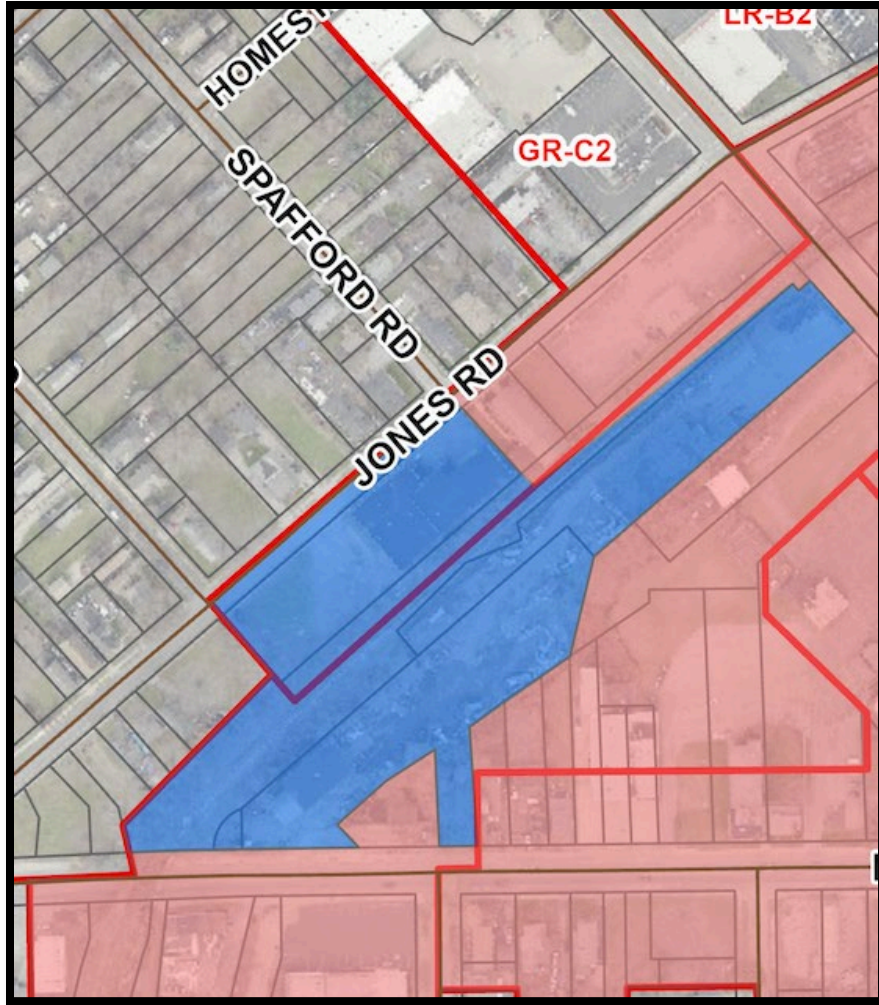
View looking Southeast @ Jones Rd on Broadway



Harvard & Broadway Avenue

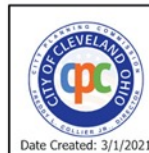
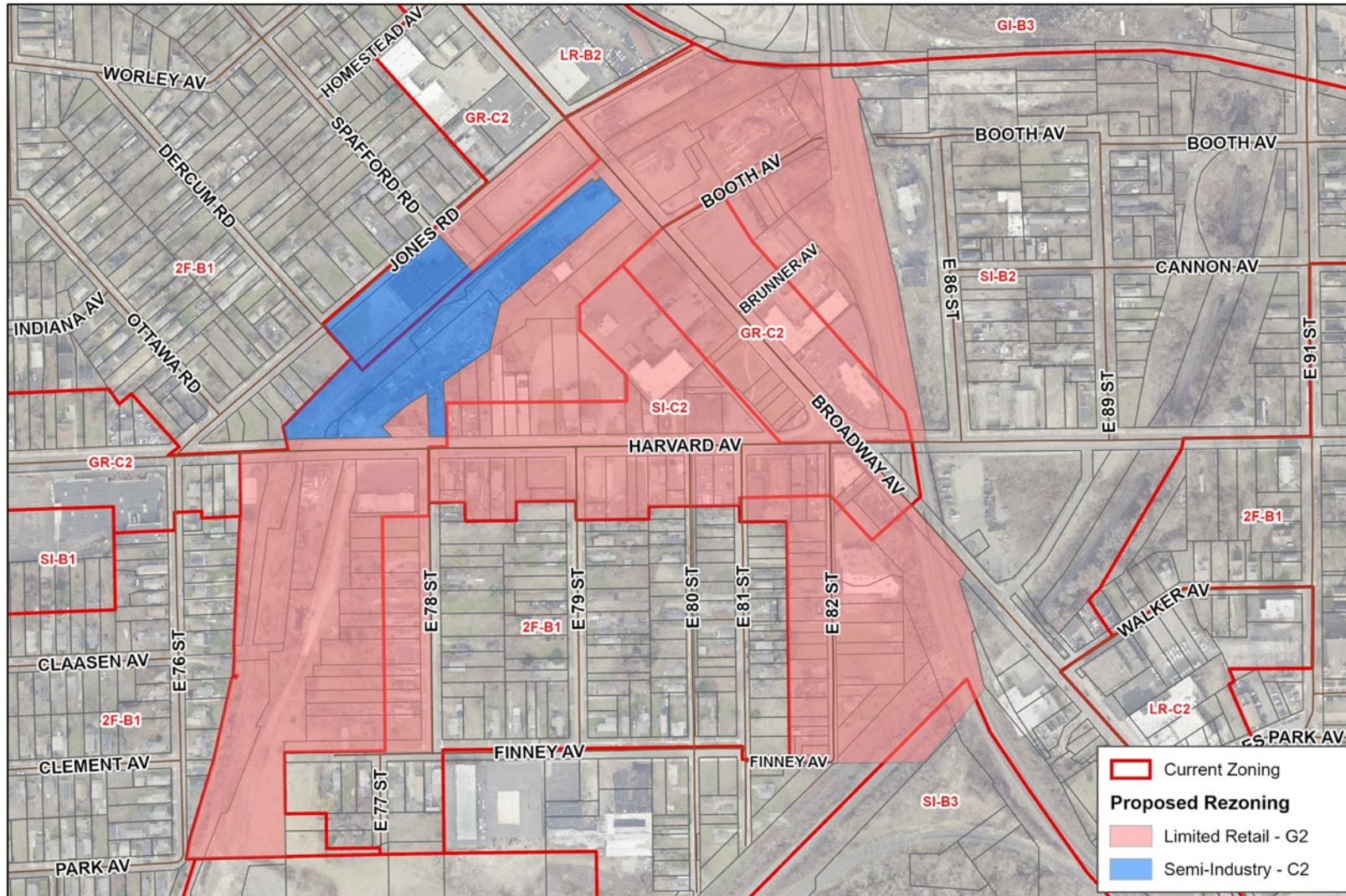
Limited Retail Business – G2 : To align legacy Industrial Zoning with future land use, and to allow for the existing business to continue as usual, while preparing for the future to potentially be adapted into a neighborhood makers space

Proposal



Semi-Industry – C2: To align legacy industrial use to allow for the existing business to continue as usual, while ensuring future development meets the neighborhood needs

Proposal



Map Change 2625

Changing the Use, Area & Height Districts of parcels of land west of the Pennsylvania Rail Road and north and south of Harvard Avenue between East 76th Street and the Pennsylvania Rail Road

200 Feet



Zoning Map Amendments

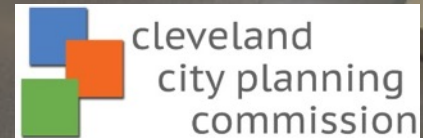
March 5, 2021



Ordinance No. xxx-2021(Ward 7/Councilmember B. Jones): Establishing a 7 Foot Specific Mapped Setback along the west side of East 90th Street from Chester Avenue extending north to the southern property line of Permanent Parcel Number 119-09-036.

MAP CHANGE 2627

ADDIS VILLAS



Proposal

Establishing a seven (7) foot Specific Mapped Setback along west side of East 90th Street from Chester Avenue extending north to the southern property line of PPN 119-09-036.

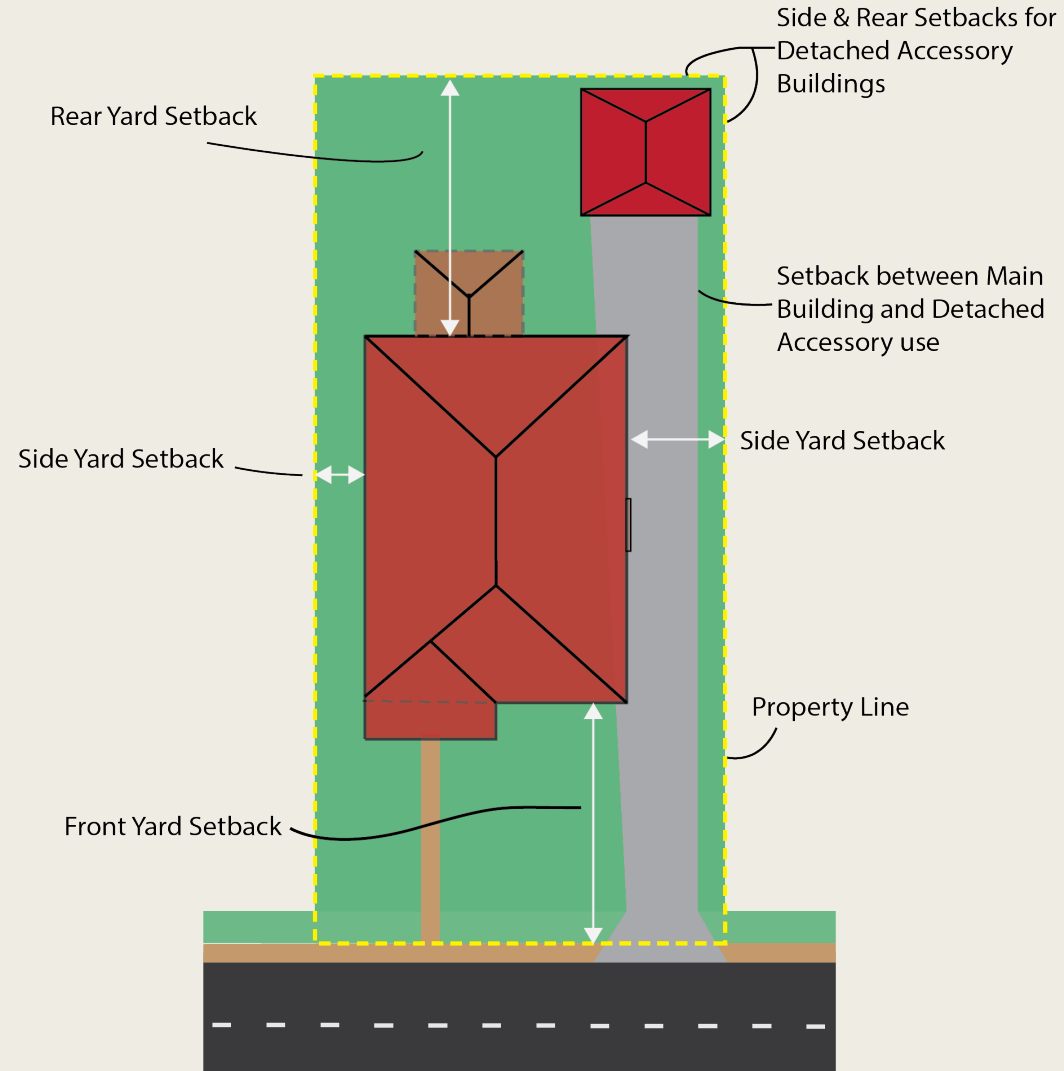
Purpose

To ensure that the LDA/Inspiron multi-family housing project that has been approved by CPC previously can move forward to offer new, diverse housing typologies within our community.



Residential Setbacks

Residential Yard (Setback) Requirements



**Front, Rear & Side
Yard Setbacks
Required for all
Main Buildings in
Residential
Districts**

**Front Yard Req =
15 % of Avg Depth
of Lot**

Mapped Setbacks

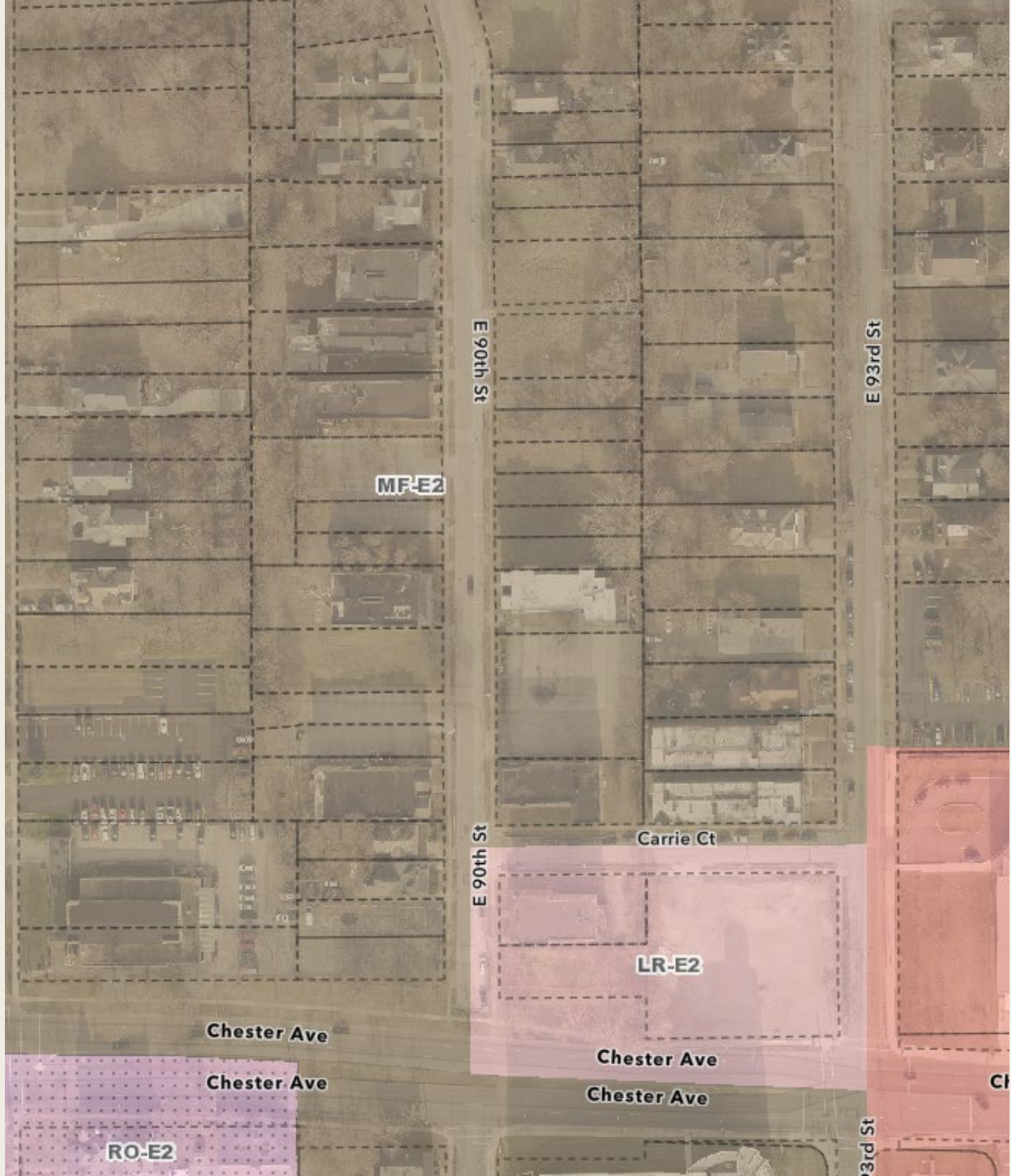
A required front yard space in which no structures may be located, except where specifically allowed by Cleveland Zoning Code

Indicated on Building Zone Maps of the City as from either the property line or the street centerline

Take precedence over all other setback regulations


Can only be changed with legislation

Existing Zoning & Setbacks



Proposed Rezoning




 **Map Change 2627**

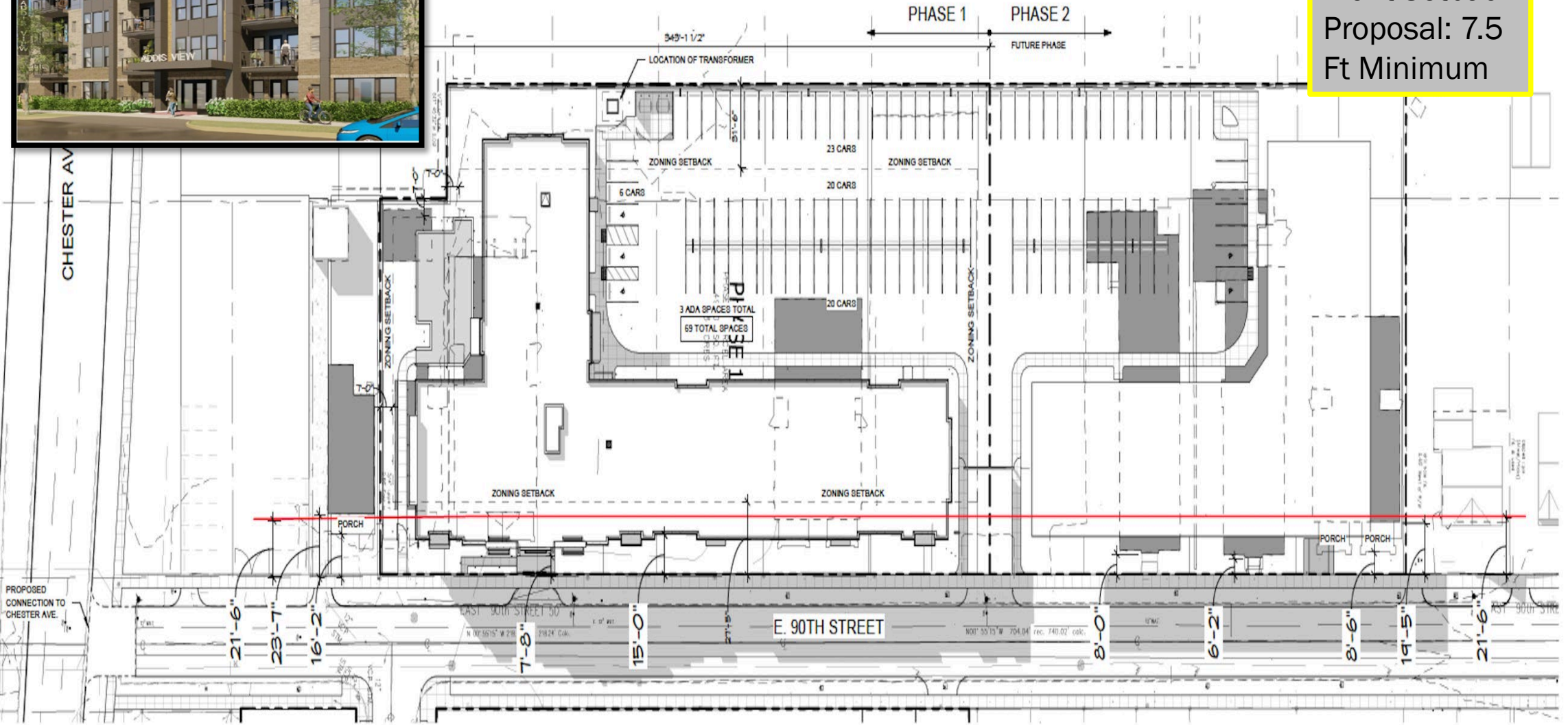
Establishing a 7 Foot Specific Mapped Setback along the West Side of East 90th Street from Chester Avenue extending north to the southern property line of Permanent Parcel Number 119-09-036

Date: Friday, February 26, 2021

100 Feet



Existing & Proposed Conditions



Front Setback
Proposal: 7.5
Ft Minimum



Parcel Depth = 181.5 ft
 15% = 27.5 ft required

Average Front
 Yard Setback =
 22.6 ft to 34.2 ft



Proposed Rezoning




Current Zoning

Parcels

Proposed Changes


7' Specific Mapped Setback

 **Map Change 2627**

Establishing a 7 Foot Specific Mapped Setback along the West Side of East 90th Street from Chester Avenue extending north to the southern property line of Permanent Parcel Number 119-09-036

Date: Friday, February 26, 2021

100 Feet



Cleveland City Planning Commission

Appeal of a Decision by the Planning Commission



March 5, 2021

Appeal of a Decision by the Planning Commission



March 5, 2021

Proposed Lot Split for PPN# 009-26-019

Project Address: 4527 Broadview Road

Presenter: Anthony Brancatelli, Councilmember, Ward 12

Proposed Lot Split for PPN# 009-26-019
4527 Broadview Road

CPC February 19, 2021

4527 BROADVIEW ROAD LOT SPLIT

BEING ALL OF SUBLT NO. 100, IN A.J. HIEBER BROADVIEW SPRING ROAD SUBDIVISION, AS SHOWN BY THE PLAT RECORDED IN VOL. 53, PG. 21 (CCMR), ALL PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NO. 63 & 76, NOW IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA AND STATE OF OHIO. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. PERMANENT MONUMENTS WERE FOUND OR 5/8" # 30" LENGTH CAPPED (REITZ ENG) IRON PINS SET AT ALL POINTS INDICATED. BEARINGS ARE BASED ON BROADVIEW BEARING N03°19'30"E, AND ARE USED TO DENOTE ANGLES ONLY, ALL OF WHICH WE CERTIFY TO BE CORRECT.

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH 44135
PH: (216) 251-3033 EMAIL REITZ@REITZENG.COM

CERTIFICATE
THIS PLAT WAS PREPARED FROM A FIELD SURVEY DONE UNDER MY DIRECTION AND CONFORMS TO THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN THE STATE OF OHIO (OAC 4733-37). ALL IRON PINS SET BEAR CAPS INSCRIBED (REITZ ENG). BEARINGS SHOWN HEREON ARE TO AN ASSUMED MERIDIAN AND ARE INTENDED TO DENOTE ANGLES ONLY. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL OF WHICH I ACKNOWLEDGE TO BE CORRECT.

Stuart W. Saylor DATE: 02/02/21
STUART W. SAYLER, REG. SURVEYOR NO. S-8028



OWNERS ACCEPTANCE:
I, (WE), THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THE PLAT AND CONSOLIDATION OF THE SAME.

RCM MANAGEMENT, LLC. PRINT NAME PRINT TITLE

NOTARY:

STATE OF OHIO
COUNTY OF CUYAHOGA

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED OWNER WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT IT WAS HIS OWN FREE ACT AND DEED.

IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL
AT _____ OHIO THIS _____ DAY OF _____ 20____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

APPROVALS:

THIS PLAT AND CONSOLIDATION IS ACCEPTED AND APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO.

THIS _____ DAY OF _____ 20____

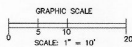
RICHARD SWITALSKI, PLATTING COMMISSIONER

THIS PLAT AND CONSOLIDATION IS ACCEPTED AND APPROVED BY THE PLANNING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO.

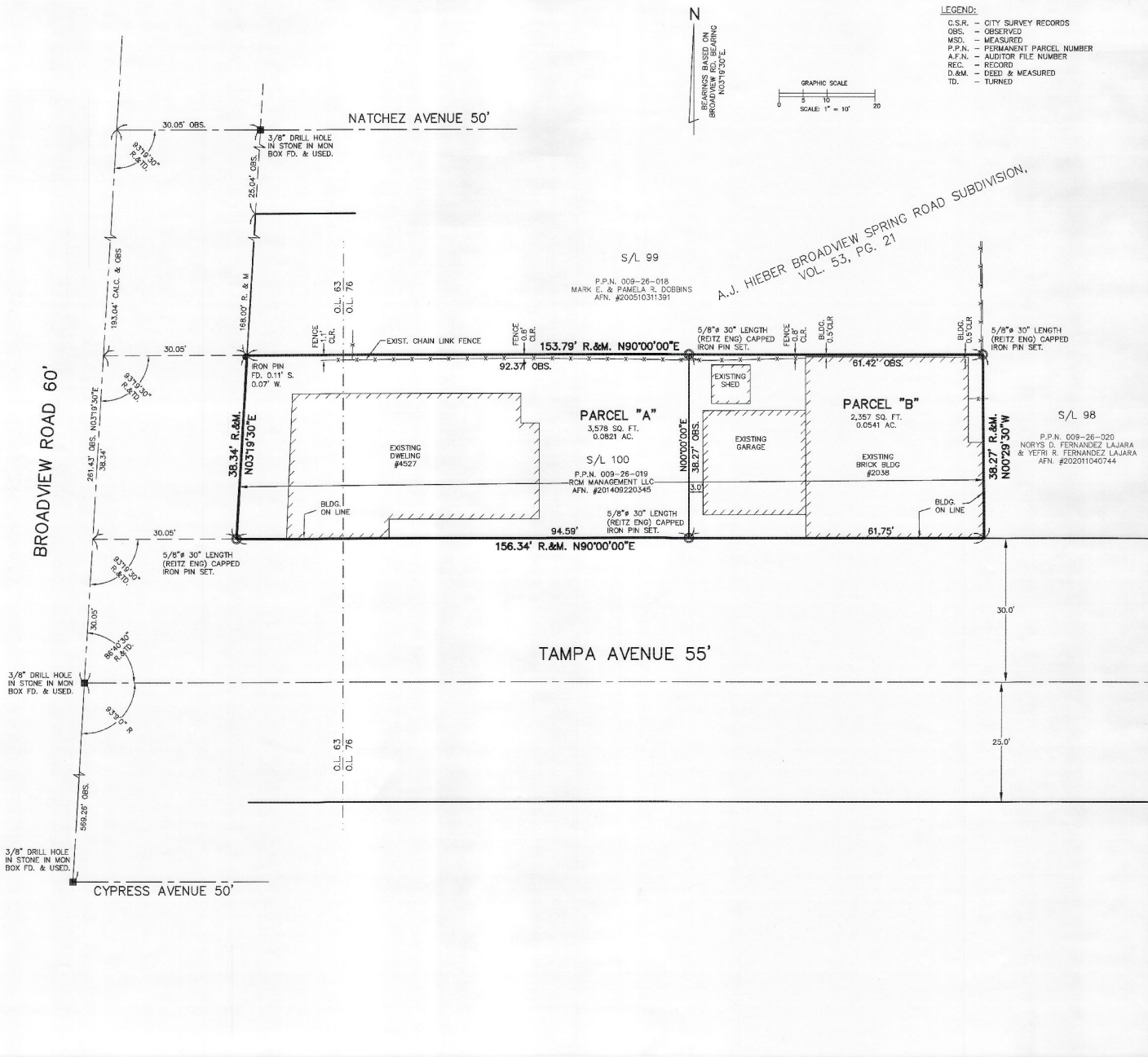
THIS _____ DAY OF _____ 20____

FREDDY COLLIER, PLANNING COMMISSIONER

- LEGEND:**
- C.S.R. - CITY SURVEY RECORDS
 - OBS. - OBSERVED
 - M.S. - MEASURED
 - P.P.N. - PERMANENT PARCEL NUMBER
 - A.F.N. - AUDITOR FILE NUMBER
 - REC. - RECORD
 - D.&M. - DEED & MEASURED
 - T. - TURNED



BEARINGS BASED ON BROADVIEW BEARING N03°19'30"E



C:\Users\stuart\OneDrive\Documents\4527 Broadview Road Lot Split.dwg



Cuyahoga County GIS Viewer



Date Created: 2/3/2021

Legend

□ Municipalities

© Cleveland

1:600



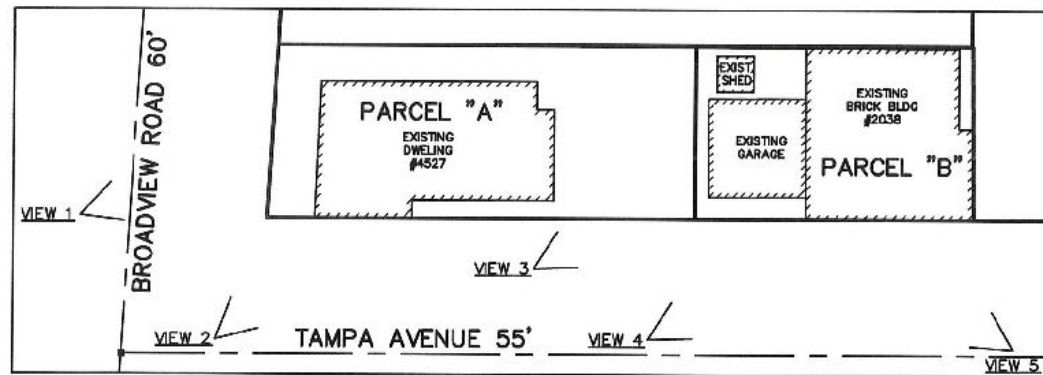
100 0 50 100 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Cuyahoga County
Enterprise GIS
PUTTING CUYAHOGA COUNTY ON THE MAP



SITE



VIEW 1



VIEW 2





Tampa Ave

NO
PARKING
ANY
TIME



Cleveland City Planning Commission

Planned Unit Development



March 5, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Telecommunication Towers



March 5, 2021

March 5, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

New Townhouse Development In a 2-Family District



March 5, 2021

Townhouse Development in a 2-Family District

March 5, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Lot Consolidation / Splits



March 5, 2021

Lot Consolidation / Split



March 5, 2021

For PPN#s 007-07-155

Project Address: 3525 Siam Avenue

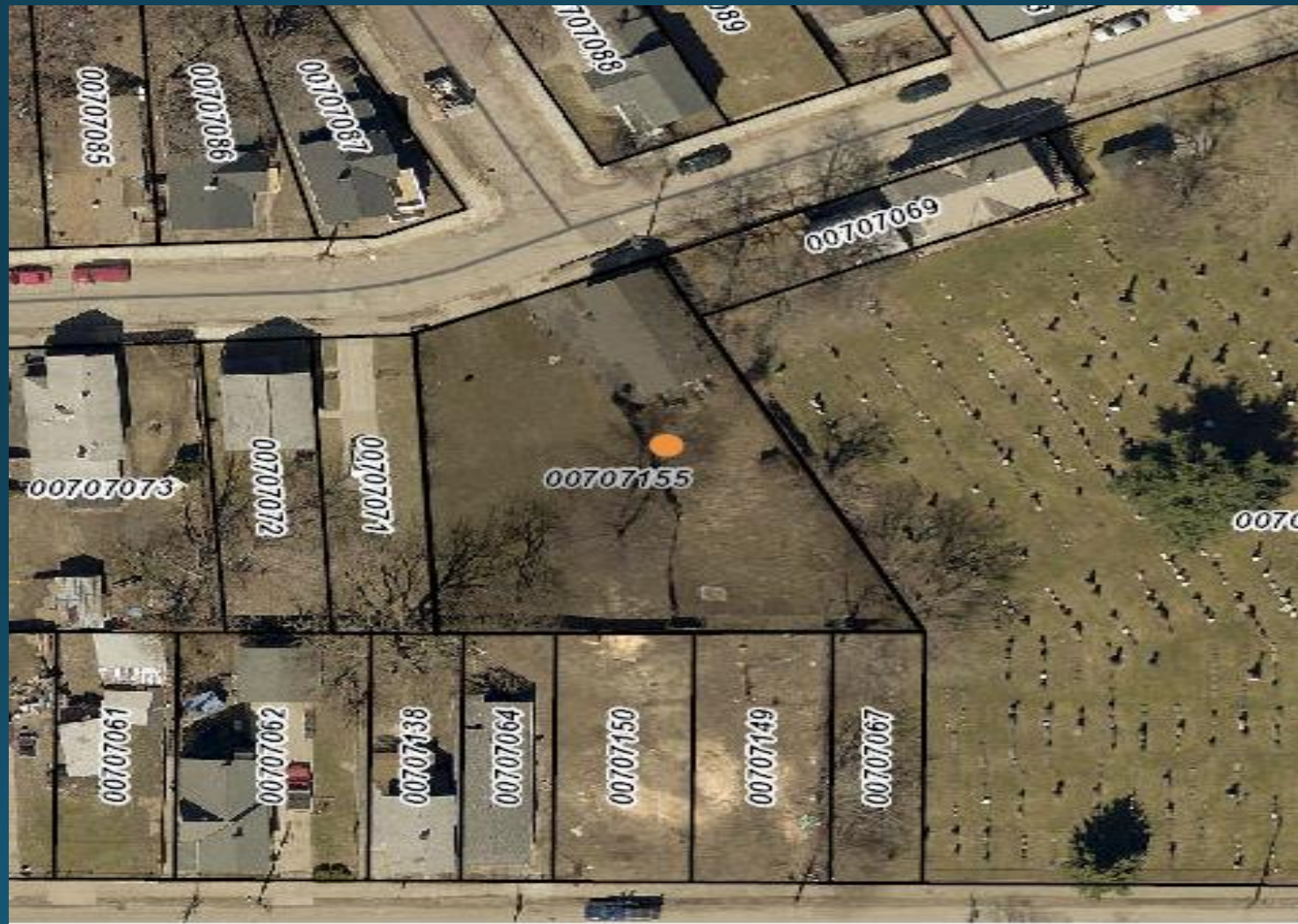
Project Representative: Byron Buonamici, Cleveland Bricks

Note: this project was Tabled by the Planning Commission on February 19, 2021.

4 Parcel Subdivision

3525 Siam Avenue

Aerial



Site Plan

OWNERS ACCEPTANCE

I, (We) the undersigned owner(s) of the land shown herein, do hereby accept this Plat of Lot Split of the same.

Red Hawk North LLC
Ajmal Kazmi - Owner

Notary Public

State of _____
County of _____

I, _____, Notary Public, do hereby certify that I am a duly qualified and commissioned Notary Public in and for said County and State, personally appeared the above named Owner(s) who acknowledged to me that he (she) executed the foregoing instrument and that it was his (her) free act and deed.

In witness whereof, I have hereunto set my hand and official seal at _____ this _____ day of _____, 2021.

Notary Public

My commission expires _____

SURVEYOR NOTES

In May 2017 - August 2017 the Riverstone Company performed survey work in the area. Since that time there has been extensive construction on Fulton Road including a number of original monuments being destroyed and new monuments needed to be set. These new monuments were located by Riverstone in 2020 and the new monuments were not located in the same location as the original monuments. After speaking with the City of Cleveland some monuments that were destroyed could not be replaced to the original location due to existing or future construction. The new monuments were reset from CDIs and to avoid confusion Riverstone is using the newly set monuments for the accurate alignments of Fulton Road and Siam Avenue.

The Subdivision of record with Cuyahoga County and deed of record have conflicting distances for the new lot of Sublot No. 73. The distance on the record Subdivision matches occupation lines and iron uses.

The proposed residences shown herein are based on plans from LMS Design LLC, received January 22, 2021.

Due to proposed re-grading and construction some interior corners may not be set until a later date.

APPROVALS

This Plat of Lot Split is created and approved by the Planning Commission of the City of Cleveland, Ohio this _____ day of _____, 2021.

Planning Commissioner - Richard Sarkola

This Plat of Lot Split is accepted and approved by the Planning Director of the City of Cleveland, Ohio this _____ day of _____, 2021.

Planning Director - Freddy Collier

REFERENCE SURVEYS

- Sargent & Dixon's Subdivision, Volume 2, Page 43 of Cuyahoga County Map Records, (dated July 1960) (Rec.)
- Avrell and Bradford's Allotment, Volume 4, Page 9 of C.C.M.R. (dated July 1969) (Rec.)
- Plat of Consolidation, Volume 359, Page 26 of Cuyahoga County Map Records, (Broster)
- Fulton Road Bridge - Section "A" & "B", Map made at direction of Hiram B. Wright - City Auditor, Dated 1911, City of Cleveland Record J4, (J4)
- Lot Consolidation, Volume 299, Page 28 of Cuyahoga County Map Records, (Vinson)
- Plat of Lot Split and Consolidation, APN: 201712905680 and 20180160988 of Cuyahoga County Map Records, (See Survey Halted (SH))
- Plat of Lot Split and Consolidation, Volume 385, Page 58 of Cuyahoga County Map Records, (Rec)
- Parcel "A" Lot Split from Flata Industrial Railroad Company, Volume 315, Page 71 of Cuyahoga County Map Records, (CT)
- City of Cleveland Survey Records - (CSR-Station)
- Centerline Schematic Plan - Fulton Road, (Plan)
- City of Cleveland Hopkins Books, (Hopkins)

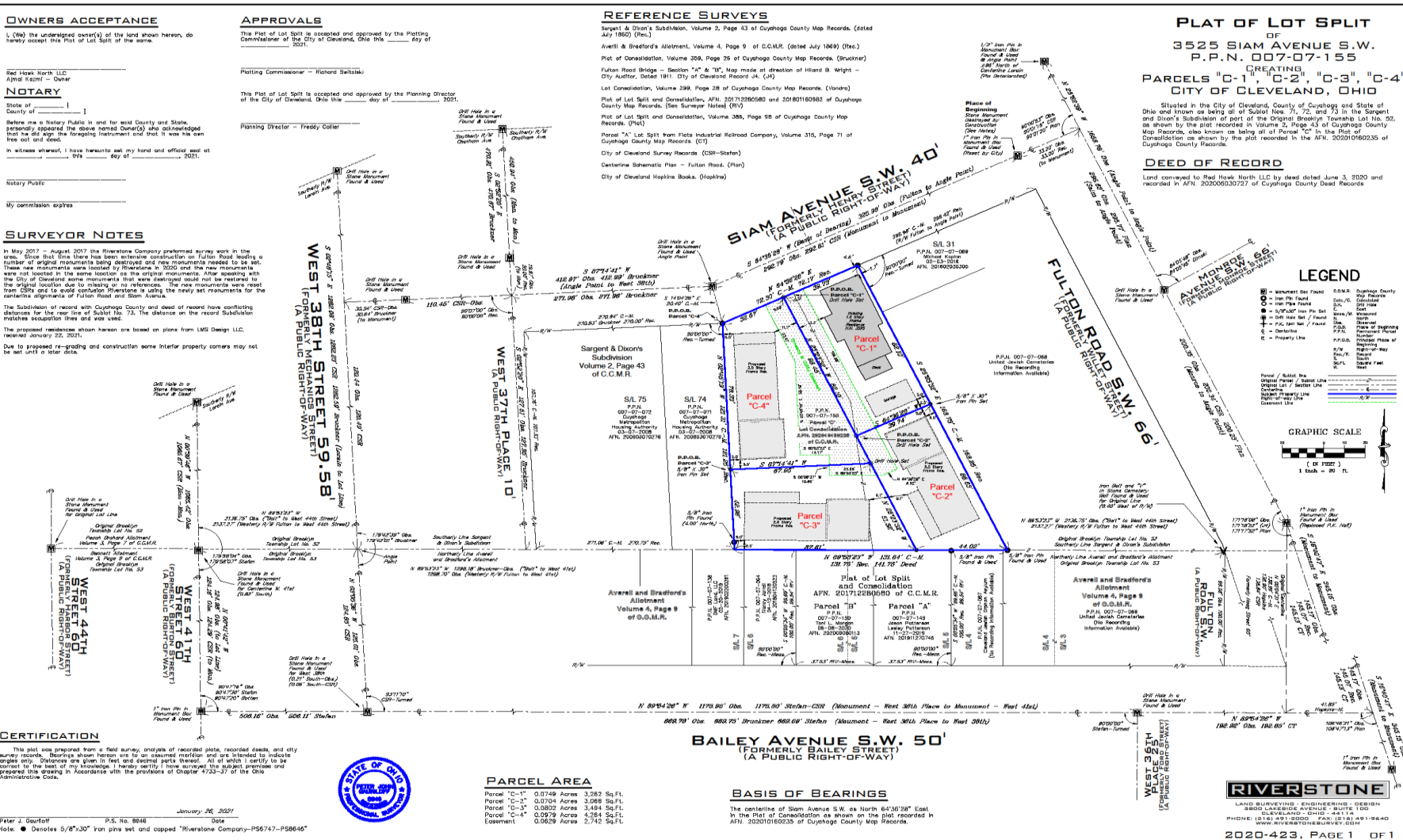
PLAT OF LOT SPLIT

3525 SIAM AVENUE S.W.
P.P.N. 007-07-155
CREATING
PARCELS "C-1", "C-2", "C-3", "C-4"
CITY OF CLEVELAND, OHIO

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being of Sublot Nos. 71, 72, and 73 in the Sargent and Dixon's Subdivision of part of the Original Broadway Township Lot No. 92, as shown by the plat recorded in Volume 2, Page 43 of Cuyahoga County Map Records, also known as being of Parcel "C" in the Plat of Consolidation as shown by the plat recorded in the APN: 202010160235 of Cuyahoga County Records.

DEED OF RECORD

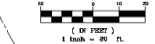
Land conveyed to Red Hawk North LLC by deed dated June 3, 2020 and recorded in APN: 202006030727 of Cuyahoga County Deed Records



LEGEND

- Monument Set Found
- Iron Pipe Found
- Iron Stake Set / Found
- Centerline
- Property Line
- Original Plat / State Line
- Original Plat / Section Line
- Original Plat / Right of Way
- Original Plat / Easement
- Original Plat / Other

GRAPHIC SCALE



CERTIFICATION

This plat was prepared from a field survey, analysis of recorded plats, recorded deeds, and city survey records. Bearings shown herein are to an observed meridian and are intended to indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge. I hereby certify I have surveyed the subject premises and prepared this drawing in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code.



Plat # Gouffier P.S. No. 8816
Note: • Denotes 5/8" x 3/4" iron pin set and capped "Riverstone Company-P56747-P58646"

PARCEL AREA

Parcel "C-1"	0.0749 Acres	3.282 Sq. Ft.
Parcel "C-2"	0.0704 Acres	3.089 Sq. Ft.
Parcel "C-3"	0.2802 Acres	1,214 Sq. Ft.
Parcel "C-4"	0.2979 Acres	1,284 Sq. Ft.
Easement	0.0629 Acres	2,742 Sq. Ft.

BAILEY AVENUE S.W. 50' (FORMERLY BAILEY STREET) (A PUBLIC RIGHT-OF-WAY)

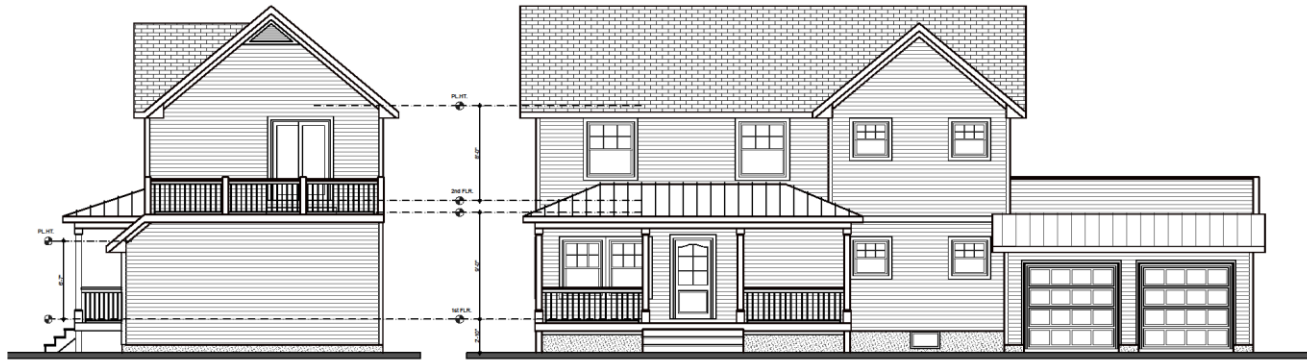
BASE OF BEARINGS

The bearings of Siam Avenue S.W. are North 64°30'28" East in the Plat of Consolidation as shown on the plat recorded in APN: 202010160235 of Cuyahoga County Map Records.



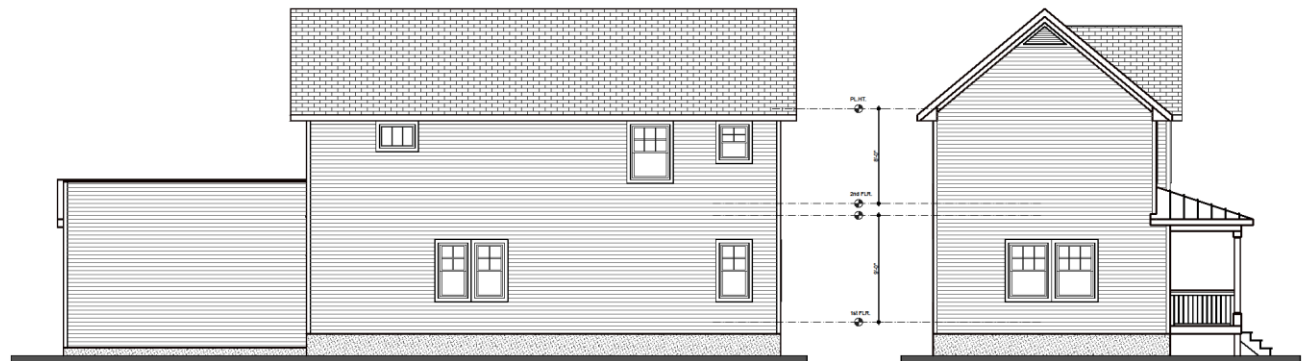
LAND SURVEYING, ENGINEERING, DESIGN
11000 CLEVELAND BOULEVARD, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-8000 FAX: (216) 491-9640
WWW.RIVERSTONE-SURVEY.COM

Floor Plans and Elevations



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

LEFT ELEVATION
SCALE: 1/4"=1'-0"



LMS design LLC
33205 Cannon Rd.
Solon, Ohio 44139
440.796.3598
lms-group@hotmail.com

SPECULATIVE RESIDENCE

CLEVELAND, OH 44XXX

EXTERIOR ELEVATIONS

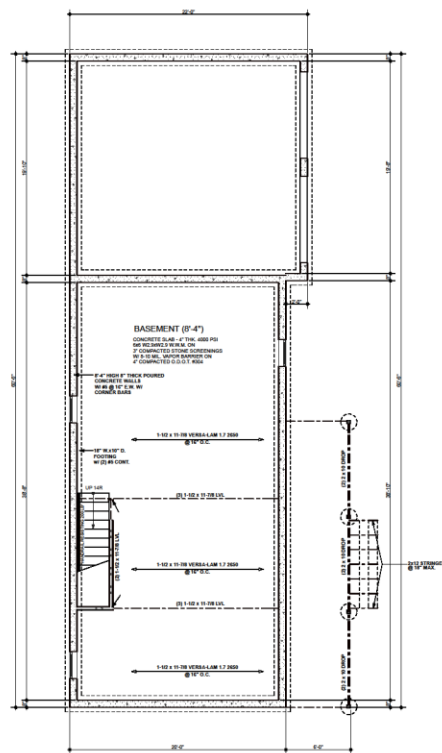
SCALE: 1/4" = 1'-0"

© COPYRIGHT 2020
LMS DESIGN LLC
ALL RIGHTS RESERVED

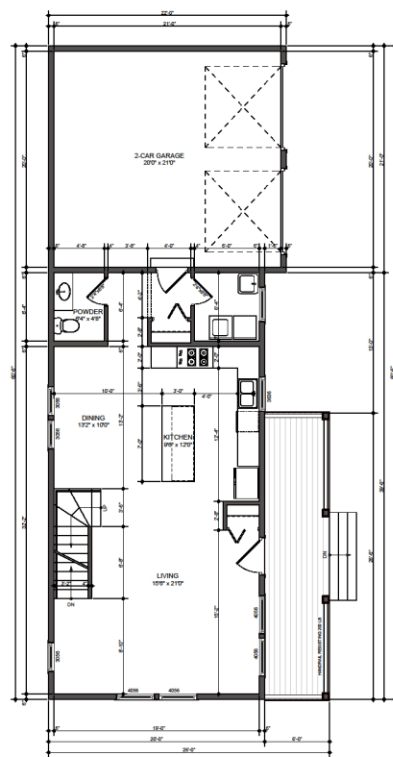
JOB NUMBER: 20-89

DECEMBER 25, 2020

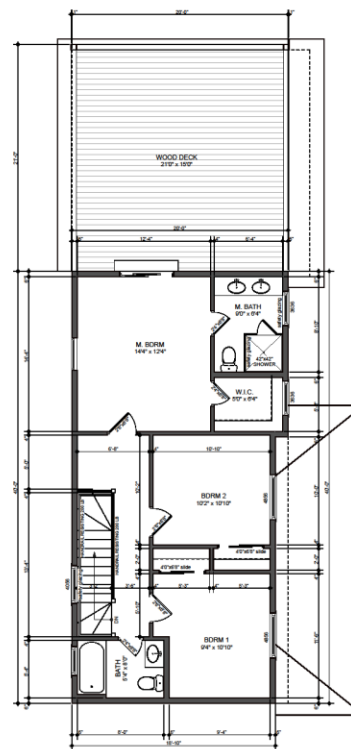
JANUARY 15, 2021



BASEMENT PLAN
SCALE: 1/4"=1'-0"



1st FLOOR PLAN 800 SQ. FT.
SCALE: 1/4"=1'-0"



2nd FLOOR PLAN 720 SQ. FT.
SCALE: 1/4"=1'-0"



33205 Cannon Rd.
Solon, OH 44139
440.796.3598
Lms-group@hotmail.com

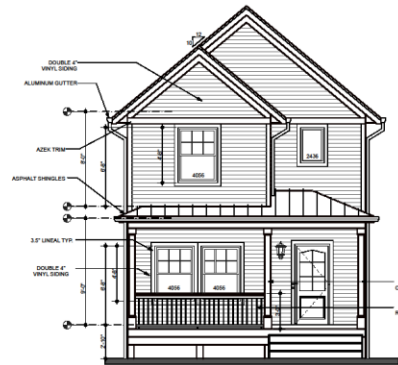
SPECULATIVE RESIDENCE

CLEVELAND, OH 44XXX

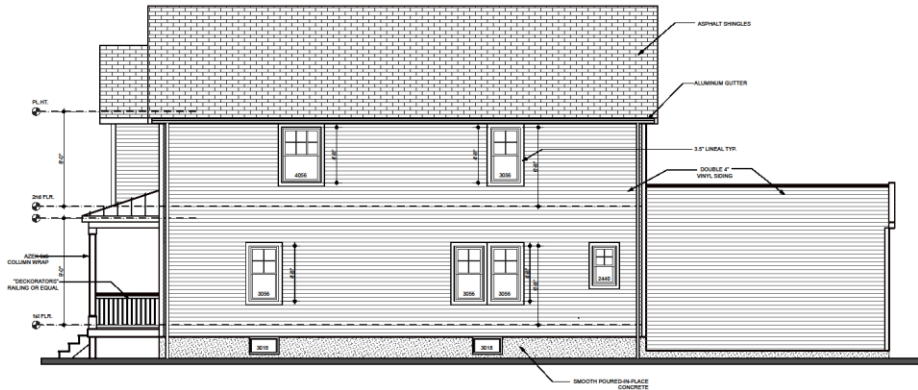
FLOOR PLANS

SCALE: 1/4" = 1'-0"

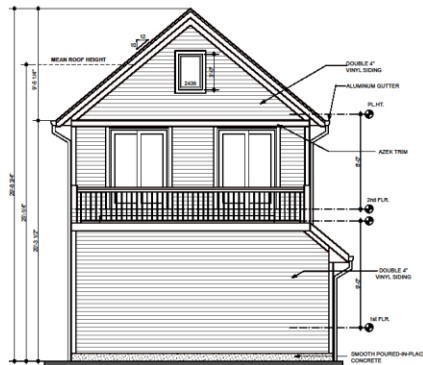
DESIGNED BY
LMS DESIGN LLC
ALL RIGHTS RESERVED
JOB NUMBER: 25-89
DECEMBER 28, 2020
JANUARY 15, 2021



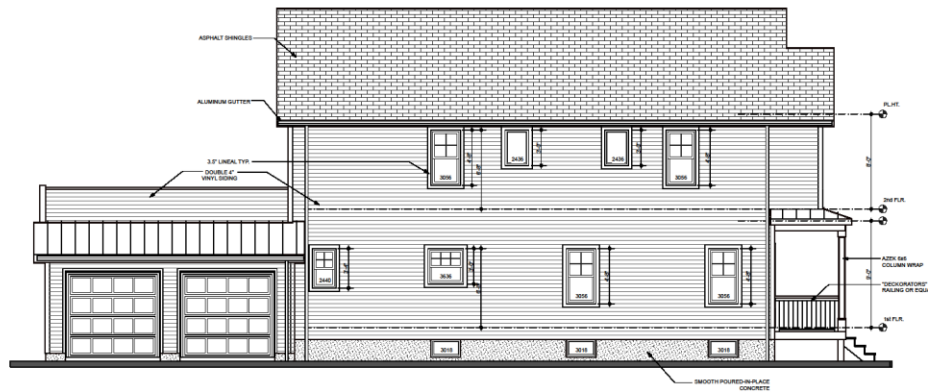
FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"



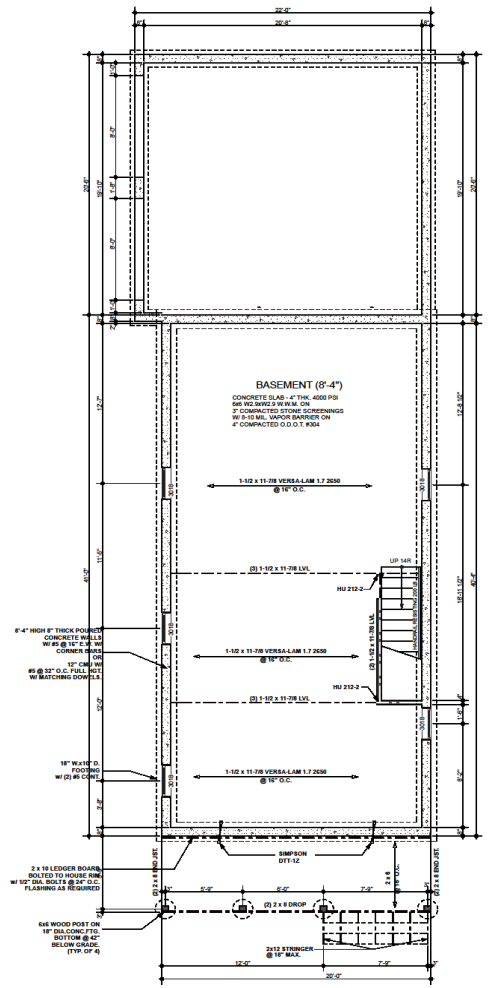
LMS design LLC
33205 Cannon Rd.
Solon, Ohio 44139
440.796.3598
Lms-group@hotmail.com

SPECULATIVE RESIDENCE
XXXXX
CLEVELAND, OH 44113

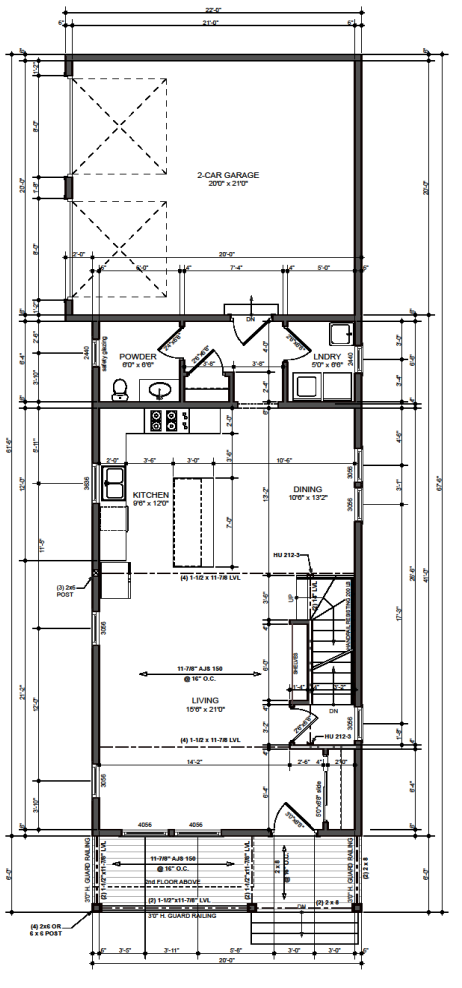
EXTERIOR ELEVATIONS,
SCALE: 1/4" = 1'-0"

© 2021 PROPERTY OF
LMS DESIGN, LLC
ALL RIGHTS RESERVED
JOB NUMBER: 21-08
JANUARY 17, 2021
JANUARY 28, 2021

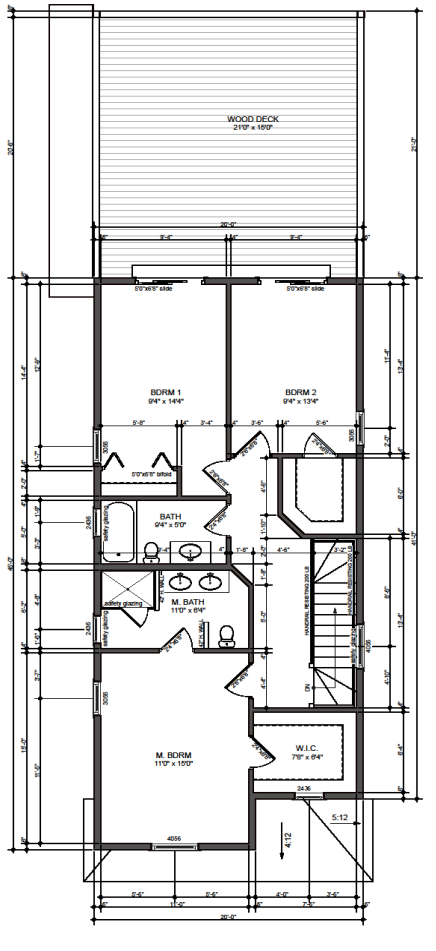
A-3



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



1st FLOOR PLAN 820 SQ. FT.
SCALE: 1/4"=1'-0"



2nd FLOOR PLAN 820 SQ. FT.
SCALE: 1/4"=1'-0"



LMSdesign LLC
33205 Cannon Rd.
Solon, Ohio 44139
440.796.3588
Lms-group@hotmail.com

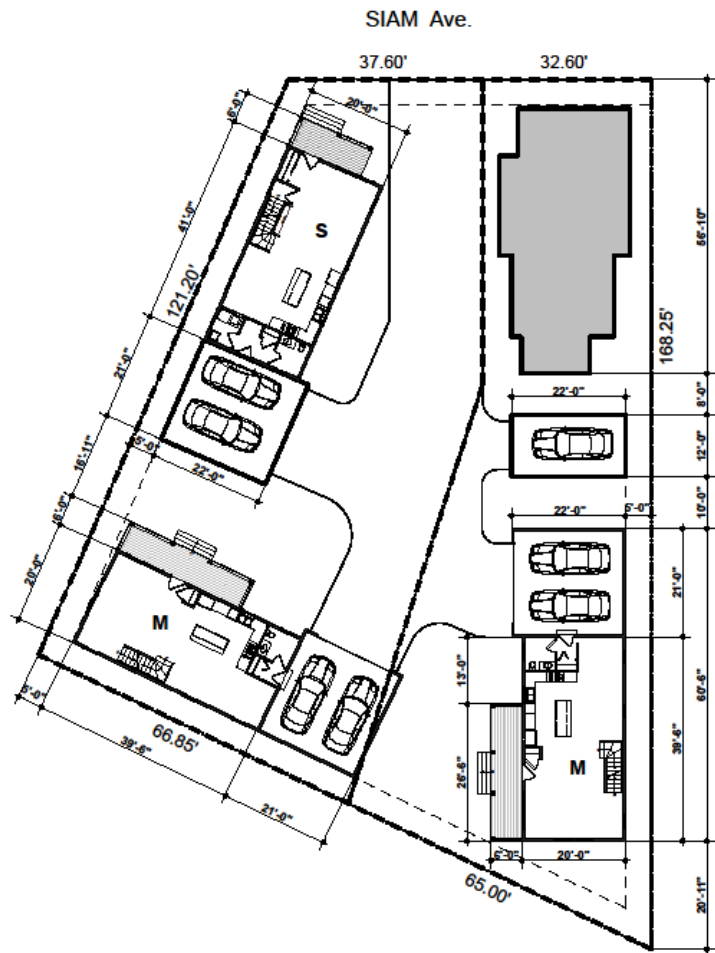
SPECULATIVE RESIDENCE
XXXXX
CLEVELAND, OH 44113

FOUNDATION PLAN,
FLOOR PLANS
SCALE: 1/4" = 1'-0"

<small>© COPYRIGHT 2021 LMS DESIGN, LLC ALL RIGHTS RESERVED</small>
JOB NUMBER: 21-08
JANUARY 17, 2021
JANUARY 26, 2021

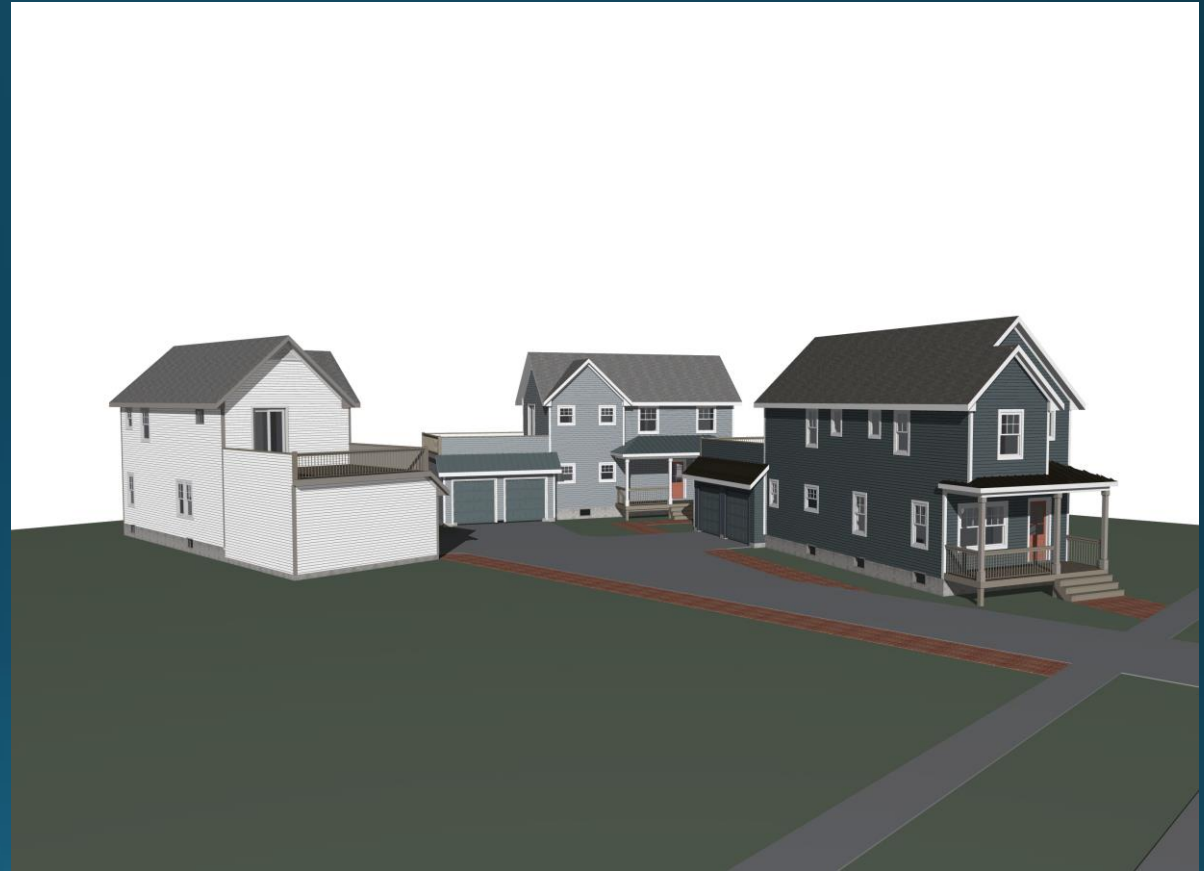
Existing Conditions and Context





SCHMATIC SITE PLAN

SCALE: 1"=20'-0"



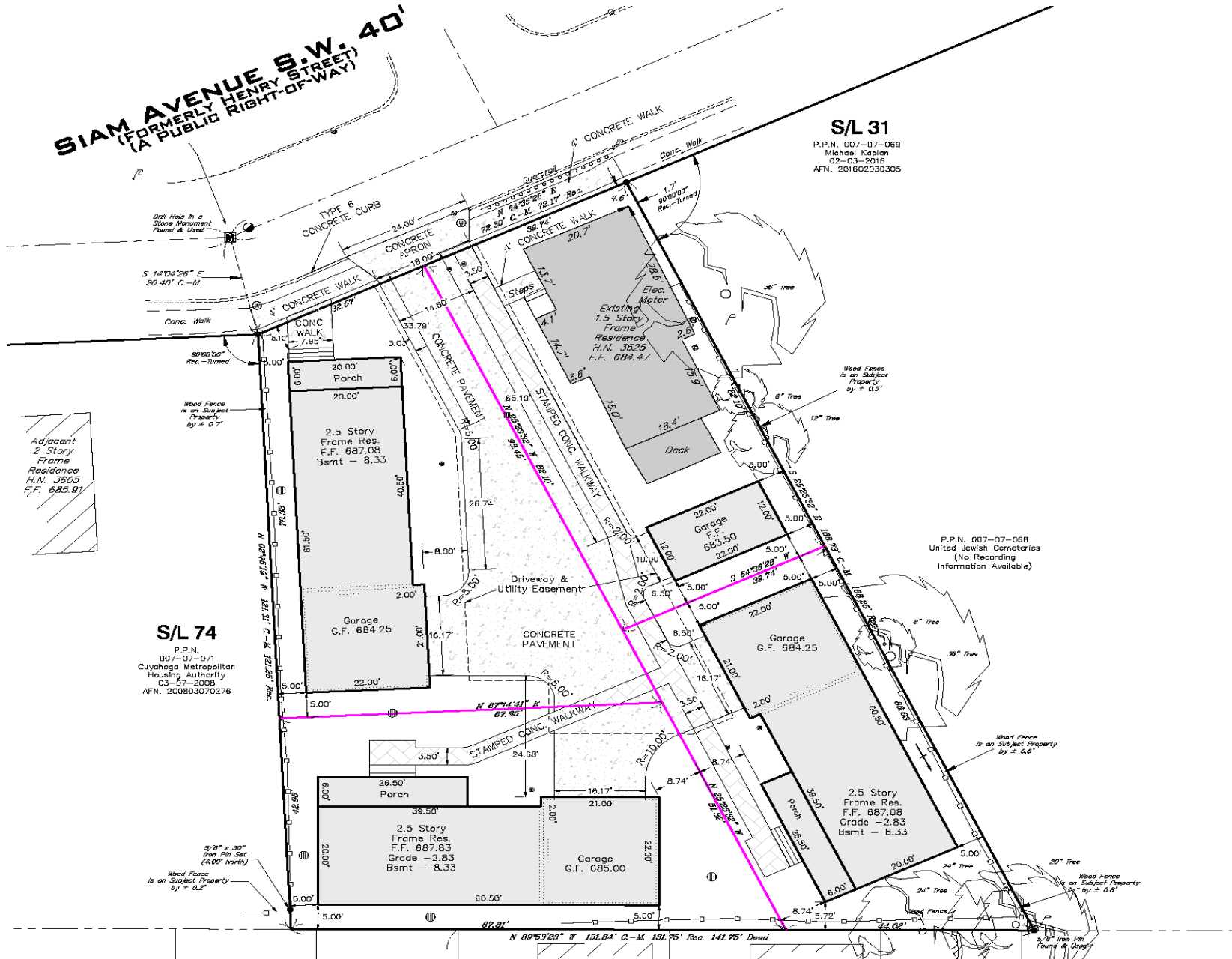






SIAM AVENUE S.W. 40'
 (FORMERLY HENRY STREET)
 (A PUBLIC RIGHT-OF-WAY)

S/L 31
 P.P.N. 007-07-068
 Michael Kaplan
 02-03-2018
 AFN. 201602030305



LEGEND

⊠	Monument Box Found	⊙	Spot Elevation Tag
○	Iron Pin or Pipe Found	⊕	Hydrant
●	5/8" Iron Pin Set and Capped Dudley #56747	⊖	Water Valve
+	P.K. Nail	⊗	Water Meter
⊕	Gas Meter	⊘	Water Valve
⊖	Gas Valve	⊙	Reducer
⊗	Utility Pole	⊘	Sanitary Manhole
⊘	Light Pole	⊙	Curb Inlet
⊙	Guy Anchor & Line	⊘	Catch Basin
⊙	Telephone Box	⊙	Property Line
⊙	Electric Box	⊙	Centerline
⊙	Boiler		
⊙	Clearcut / Test Tap		

---	Parcel Line	---	Original Sublot Line
---	Original Lot Line	---	Centerline
---	Property Line	---	R/W
---	Right-of-way Line	---	Proposed
---	Easement Line	---	Existing
---	Railroad Tracks	---	Proposed

---	Electric Line	---	Sanitary/Combination Sewer
---	One Line	---	Storm Sewer
---	Waterline	---	Fence Line (Wooden)
---	Fence Line (Chain-Link)	---	Fence Line (Chain-Link)
---	Guerdral		

Ac.	Acres	Inv.	Invert
Adj.	Adjacent	L.C.A.	Lined Common Area
A.F.N.	Auditor's File Number	L.F.	Line Foot
App.	Asphalt	Mans./M	Measured
B.F.	Basement Floor	MH	Manhole
Bot.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	P.S.	Permanent Parcel
CB	Catch Basin	P.P.N.	Proposed Parcel
C.C.M.R.	Cuyahoga County Map Records	Prop.	Proposed
C.L.F.	Chain-Link Fence	Rec./Rt.	Record
Cl.	Clear	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Double Iron Water Main	TBR	To Be Removed
Elev.	Elevation	T/C	Top of Curb
Encr.	Encroachment	Tell	Tell
Est.	Estimating	T.F.	Top of Footer
Ex.	Existing	T.T.	Test Tap
FF	Finished Floor	TW	Top of Wall
GUT	Gutter	Vol.	Volume
		Wat	Water



RIVERSTONE
 LAND SURVEYING & ENGINEERING, L.L.C.
 3800 WOODLAND AVENUE, SUITE 1000
 CLEVELAND, OHIO 44114
 PHONE: 216-491-9640
 WWW.RIVERSTONEURV.COM

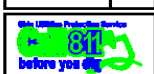
2020-424

PLAN REVISIONS:

PAGE REVISIONS:

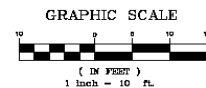
ISSUED FOR:
PERMIT
 2/16/2021
 NOT FOR CONSTRUCTION

SIAM TOWNHOMES
 CLEVELAND, OHIO
 SITE PLAN



OGPUPS
 OHIO GREEN PROFESSIONAL URBAN PLANNING & SURVEYING

03.01



Lot Consolidation / Split



March 5, 2021

For PPN# 007-01-071

Project Address: 4210 Orchard Avenue

Project Representative: Jeff Snacki, Property Owner

LOT SPLIT PROPOSAL FOR PARCEL #007-01-071

Located at 4210 Orchard Avenue

Cleveland, Ohio 44113

Property Owner: Jeff Snacki (216)632-0395

REASONS FOR THE REQUESTED PARCEL SPLIT

4210 ORCHARD AVENUE
CLEVELAND, OHIO 44113

- I purchased this property in 2015 with the intention of restoring both the house and the church.
- While in the process of fixing up the house I have been unsuccessful in obtaining funding for repairing the structurally damaged church.
- The church had been structurally damaged during the building of Orchard School and the parishioners moved out at this point.
- The church is a beautiful building that needs the right team and funding to complete the job. If allowed, I have decided to split the parcel in order to save the church but keep my house.
- I have found a buyer/ developer for the church that is very interested in saving the building and turning it into 4 residential units. I see this as an exciting opportunity to save a venerable structure in need of immediate structural repair and turn it into a place that will enrich the neighborhood.

Current Plat approved 1999

The current parcel is divided into two sub-lots that divide the church building in half.

CERTIFICATION

THIS PLAT WAS PREPARED FROM A FIELD SURVEY, ANALYSIS OF RECORDED PLATS, RECORDED DEEDS AND CITY SURVEY RECORDS. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. BEARINGS USED HEREON ARE BASED ON THE CLEVELAND REGIONAL GEODETIC SYSTEM AND, ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

Joseph Gutoskey, P.E.
JOSEPH GUTOSKEY, P.E. 7567



WE, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND SURVEY, DO HEREBY ASSENT TO AND ADOPT THIS CONSOLIDATION AND LOT SPLIT OF THE SAME, ACKNOWLEDGE THAT THE SAME WAS AT OUR REQUEST AND AUTHORIZE ITS RECORDING.

BAILEY ORCHARD DEVELOPMENT LTD., LLC

BY: *William V. B.*
New Village Corp., Member

Connie Dennis
WITNESS *Connie Dennis*
WITNESS *Connie Dennis*

STATE OF OHIO }
COUNTY OF CUYAHOGA } SS

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE SIGNED BAILEY ORCHARD DEVELOPMENT LTD., LLC BY: *Russell Belysch* ITS MEMBER WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS FREE ACT AND DEED AND THE FREE ACT AND DEED OF SAID BAILEY ORCHARD DEVELOPMENT LTD., LLC. IN WITNESS WHEREOF I HAVE SET MY HAND AND OFFICIAL SEAL AT Cleveland, OHIO, THIS 19 DAY OF October, 1999.

Rae S. Shea
NOTARY PUBLIC

RAE S. SHEA
NOTARY PUBLIC, STATE OF OHIO
Recorded in Cuyahoga County
My Comm. Expires Feb. 12, 2001



Plat No. 18-24

RECEIVED FOR RECORD
Recorded in Cuyahoga
County Records

On November 4, 1999

At 11:49 A.M.

File # 199911040583

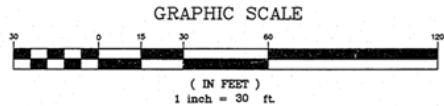
\$ 21.60

Vol. 302 Pg. 60

COUNTY RECORDER

FRANK RUSSO, COUNTY AUDITOR
APPROVED OWNERSHIP, ONLY, OF

PERM. PARCEL NO.
007-01-068/069/070
BY: *Frank Russo* 11-4-99
Deputy Auditor



APPROVALS

THIS PLAT IS HEREBY APPROVED BY THE PLANNING DIRECTOR OF CITY OF CLEVELAND THIS 30 DAY OF November, 1999.

Earl W. Jackson
FOR THE CITY PLANNING DIRECTOR PER B.O.Z.A. 99-244

THIS PLAT IS HEREBY APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND THIS 10 DAY OF November, 1999.

Richard
FOR THE CITY PLATTING COMMISSIONER PER B.O.Z.A. 99-244

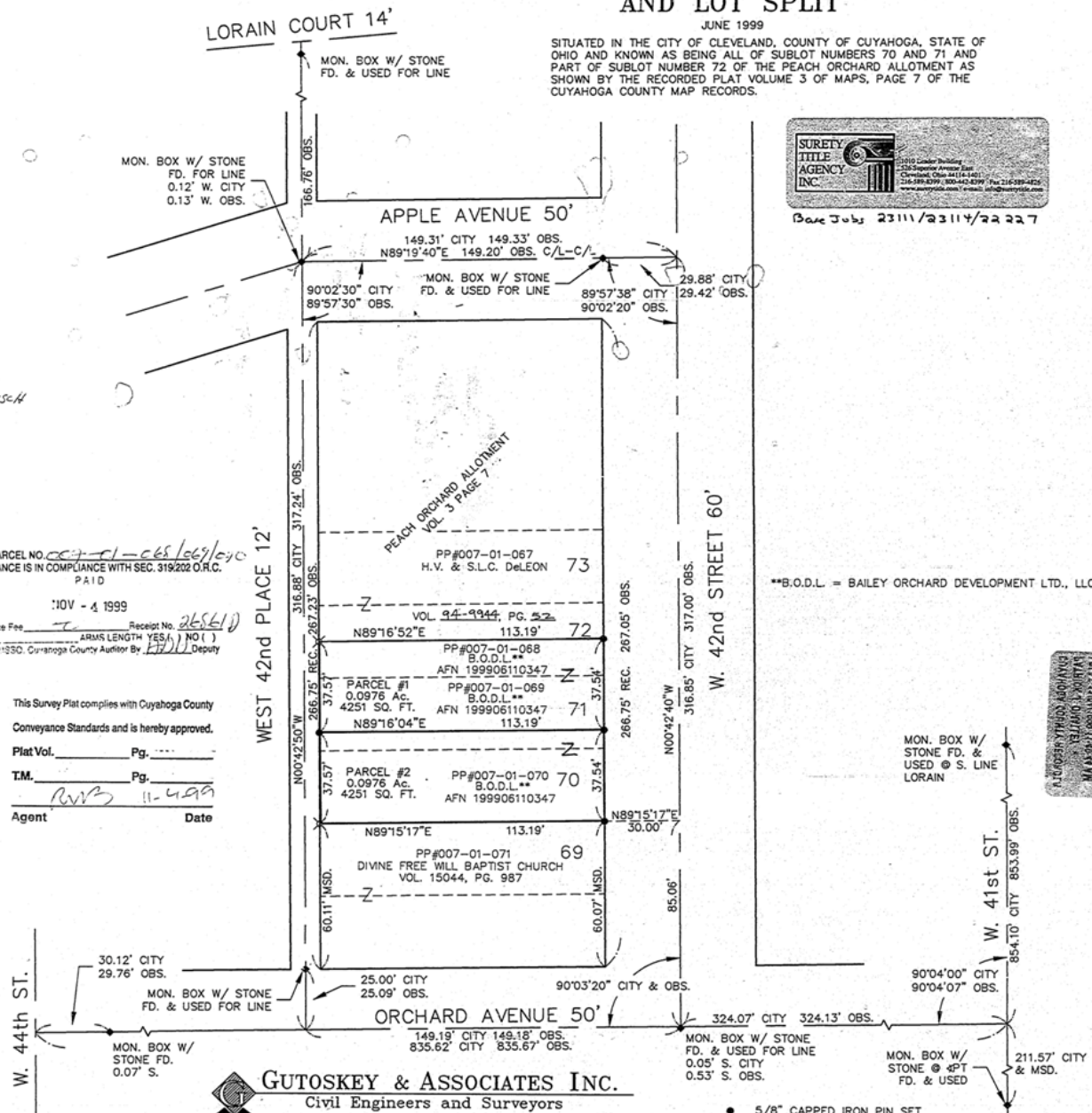
PLAT OF CONSOLIDATION AND LOT SPLIT

JUNE 1999

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO AND KNOWN AS BEING ALL OF SUBLOT NUMBERS 70 AND 71 AND PART OF SUBLOT NUMBER 72 OF THE PEACH ORCHARD ALLOTMENT AS SHOWN BY THE RECORDED PLAT VOLUME 3 OF MAPS, PAGE 7 OF THE CUYAHOGA COUNTY MAP RECORDS.



Bank Jobs 23111/23114/22 227



PARCEL NO. 007-01-068/069/070
CONVEYANCE IS IN COMPLIANCE WITH SEC. 319.202 O.R.C.
PAID

Conveyance Fee 7 Receipt No. 265610
TYPE ARMAS LENGTH YES NO ()
FRANK RUSSO, Cuyahoga County Auditor By: *Frank Russo* Deputy

This Survey Plat complies with Cuyahoga County Conveyance Standards and is hereby approved.
Plat Vol. _____ Pg. _____
T.M. _____ Pg. _____
Agent *WV B* Date 11-4-99

**B.O.D.L. = BAILEY ORCHARD DEVELOPMENT LTD., LLC

GUTOSKEY & ASSOCIATES INC.
Civil Engineers and Surveyors
10205 QUEENS WAY #6 Tel (440) 543-6900
CHAGRIN FALLS, OHIO 44023 Fax (440) 543-7176

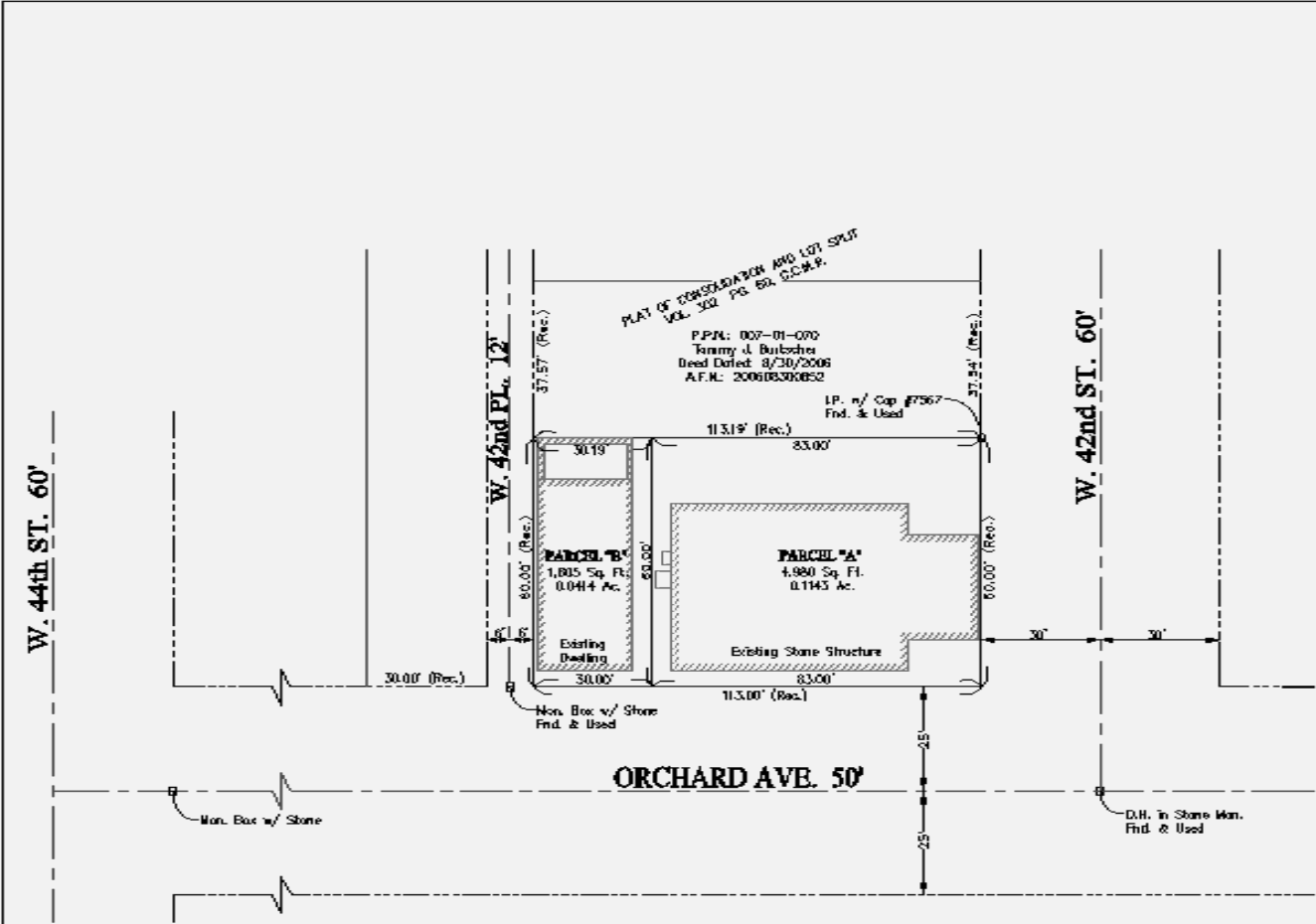
- 5/8" CAPPED IRON PIN SET
- △ P.K. NAIL SET
- ⊕ DRILL HOLE SET

CONTRACT NO. 98-981

A-2478

Plat of Partition currently under consideration for lot split (2021)

The new proposed
line will be between
the house and church.



- LEGEND:**
- P.P.N.: Defines Proposed Parcel Boundary
 - A.F.N.: Defines Adjoining Parcel Boundary
 - S/L: Defines Sub-Lot
 - OL: Defines Original Lot
 - Mon: Defines Monument
 - D.H.: Defines Drill Hole
 - LP: Defines Iron Stake
 - Fnd: Defines Foundation
 - Rec: Defines Record
 - Dd: Defines Deed
 - C.S.R.: Defines City Street Record
 - Obs.: Defines Obstruction
 - Colo: Defines Colored
 - : Defines Survey Monument
 - ⊙: Defines Iron Stake
 - ⊗: Defines Iron Pipe
 - : Subject Property Line
 - : Property Line
 - - - - -: Right-of-Way Line

- DOCUMENTS OF RECORD:**
- 1) P.P.N. 007-01-070, JEFFREY J. SNAICK, Deed Dated: 11/02/15, A.F.N.: 20151220010
 - 2) The Beach Island Method, Volume 3, Page 7, C.C.M.R.
 - 3) Plat of Consolidation and Lot Split of Part of Original Single Township Lot No. 52, Volume 302, Page 48, C.C.M.R.

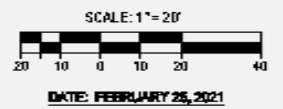
APPROVALS:
THIS PLAT AND PARTITION IS ACCEPTED AND APPROVED BY THE PLANNING COMMISSION OF THE CITY OF CLEVELAND, OHIO.
THIS _____ DAY OF _____, 2021.

THIS PLAT AND PARTITION IS ACCEPTED AND APPROVED BY THE PLANNING COMMISSION OF THE CITY OF CLEVELAND, OHIO.
THIS _____ DAY OF _____, 2021.

PLAT OF PARTITION

PREPARED FOR
JEFFREY J. SNAICK

INTHE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
AND WHEREAS THE FOREGOING IS A PART OF ORIGINAL AND CLUSTERED LOTS
AND WHEREAS THE FOREGOING IS A PART OF ORIGINAL AND CLUSTERED LOTS
AND WHEREAS THE FOREGOING IS A PART OF ORIGINAL AND CLUSTERED LOTS
AND WHEREAS THE FOREGOING IS A PART OF ORIGINAL AND CLUSTERED LOTS



THIS PLAT WAS PREPARED FOR A FIELD SURVEY MADE UNDER MY
DIRECTOR AND CHIEF OF THE SURVEYING DEPARTMENT OF
THE STATE OF OHIO IN THE STATE OF OHIO (LAC 493-32), ALL
THESE SURVEYS ARE MADE IN ACCORDANCE WITH THE
PROVISIONS OF THE OHIO SURVEYING ACT, 1965, AS AMENDED
AND THE RULES AND REGULATIONS OF THE SURVEYING BOARD
OF THE STATE OF OHIO. ALL RIGHTS ARE RESERVED
BY THE SURVEYOR.

PRELIMINARY FOR REVIEW

JERRY E. SCHNEIDER, P.S.
REGISTERED PROFESSIONAL
SURVEYOR No. 6268

JERRY E. SCHNEIDER
7320 VICTORIA ST. N.E.
COLUMBUS, OHIO 43235
614-832-4111

OWNERS ACCEPTANCE:

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN HEREON, DO HEREBY
ACCEPT THIS PLAT AND PARTITION OF THE SAME.

JEFFREY J. SNAICK

NOTARY:

STATE OF OHIO }
COUNTY OF CUYAHOGA } S.S.

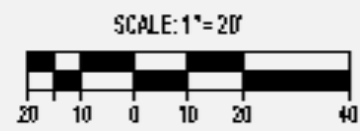
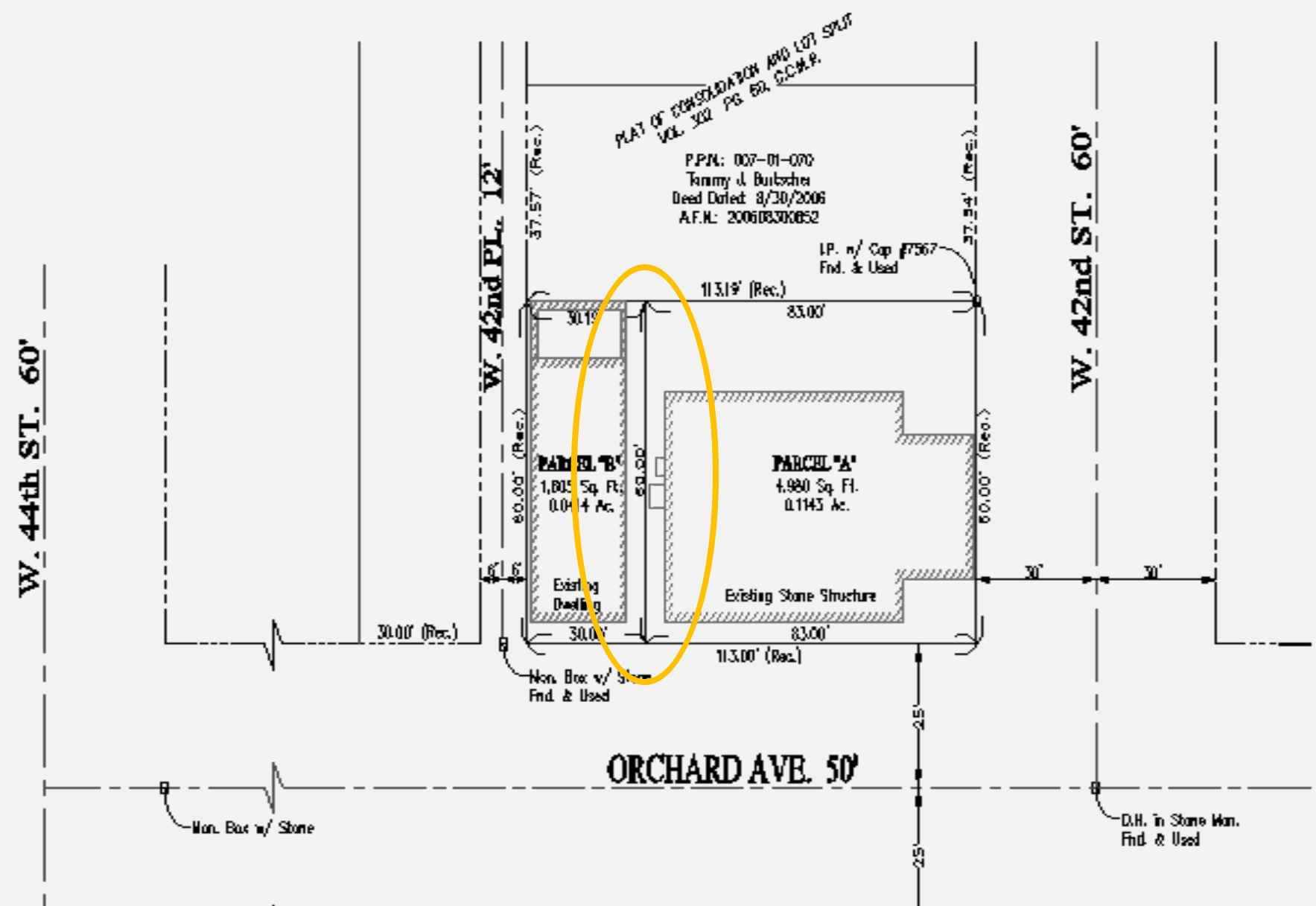
BEFORE ME, NOTARY PUBLIC AND FOR
SAYING AND STATE, PERSONALLY APPEARED TO EARL W. BAKER
AND HE HAS ACKNOWLEDGED THAT HE IS THE OWNER OF THE
INSTRUMENT AND THAT IT WAS HIS OWN FREE ACT AND DEED.

IN WITNESS WHEREOF, I HAVE HEREON SET MY HAND AND OFFICIAL SEAL

AT _____, OHIO
THIS _____ DAY OF _____, 2021.

EARL W. BAKER

IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
AND SHOWN AS BEING ALL OF LOT 10, 11, 12 AND 13 OF THE PEARL
BLOCK AND ALLIANCE OF PART OF ORIGINAL CLEVELAND TOWNSHIP
LOT No. 52 AS SHOWN BY THE RECORDED PLAT IN VOLUME 67 OF MAPS,
PAGE 7 OF CUYAHOGA COUNTY RECORDS.



DATE: FEBRUARY 26, 2021

THIS PLAN WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY
DIRECTION AND CONTAINS TO THE EXTENT OF THE STANDARDS FOR
A SURVEY SURVEYS IN THE STATE OF OHIO (RAC 4733-37), ALL
NEEDS SET AND 50'S 30" BEARS IN CAPS INSCRIBED "SOUND 120 P
425". READINGS SHOWN WERE MADE TO A SMOOTH WEIR AND
ADJUSTED TO HIGHT EAGLES ONLY. DISTANCES ARE GIVEN IN
FEET AND DECIMAL PARTS THEREOF. ALL DISTANCES ARE ACKNOWLEDGE
TO BE CORRECT.

PRELIMINARY
FOR REVIEW

JOHN C. SCHIECZNY, P.S.
REGISTERED PROFESSIONAL
SURVEYOR No. 4261

JOHN C. SCHIECZNY
7720 WENANDOT RD.
COLUMBUS TWP., OHIO 4407
440-527-4111

Church Aerial
with downtown
Cleveland view



Sideview of church
from Orchard
Avenue



Sideview from the Orchard School of Science yard, showing the house and church to be sub-divided.



Front views of
the church from
West 42nd St.



This is the current view of the shared driveway between the church and the house.

Attached to the house, there is an original one car garage that is very small, it is currently used as storage because most modern cars will not fit in it.

If allowed, the shared driveway will be part of the subdivided property belonging to the church. I am open to an easement of the driveway if necessary.





Attached garage(House)

HOUSE

CHURCH

4210 Orchard Ave,
Cleveland, OH 44113

Divine Free Will
Baptist Church

4218

4214

2116

2130

nd Pl

W 42nd Pl

W 42nd Pl

W 42nd Pl

W 42nd St

W 42nd St

W 42nd St

Orchard Ave

Orchard Ave

Orchard Ave

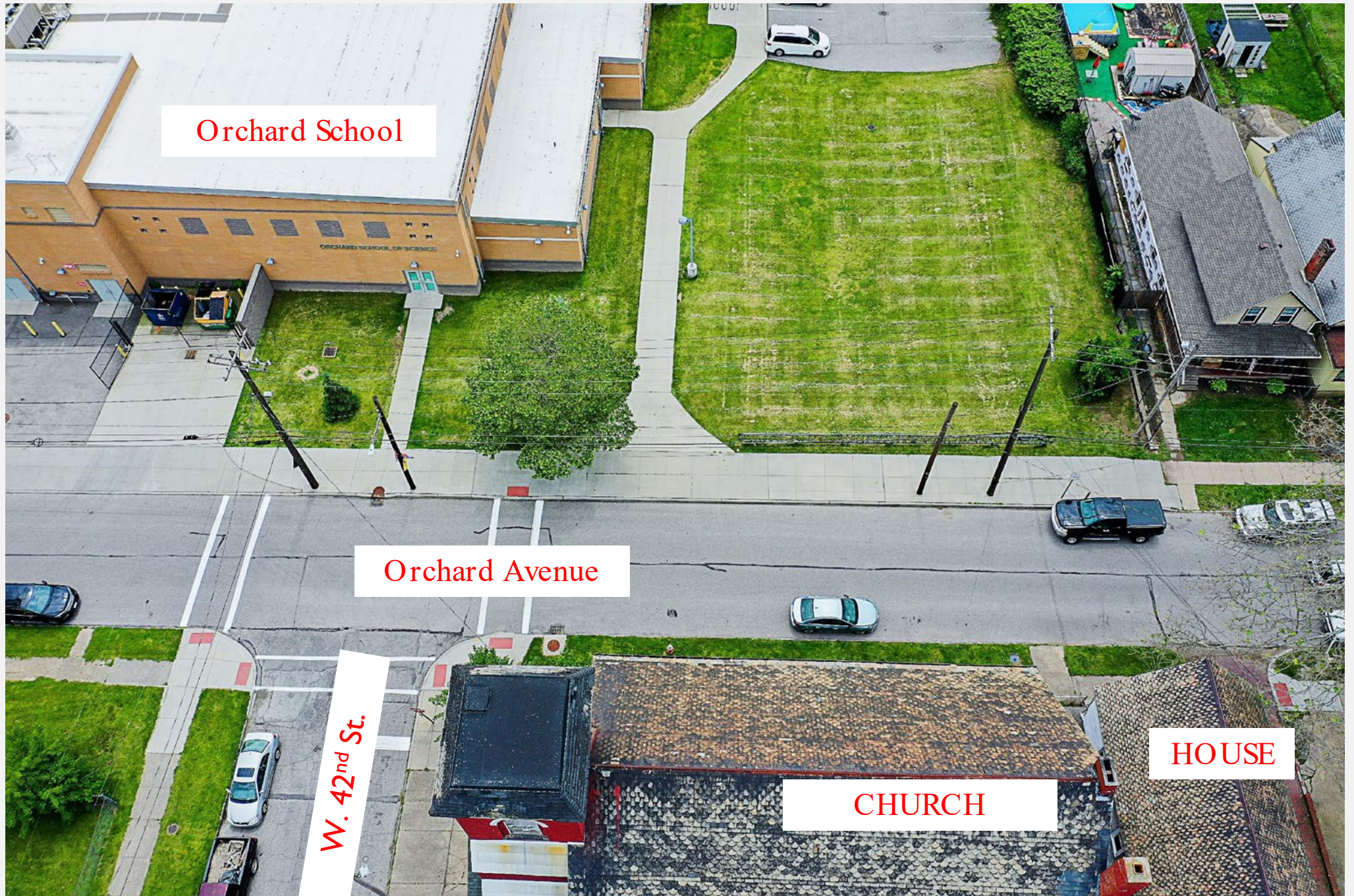
Orchard Ave

Orchard Ave

Orchard Ave

Oro

Church and Orchard School



Orchard School

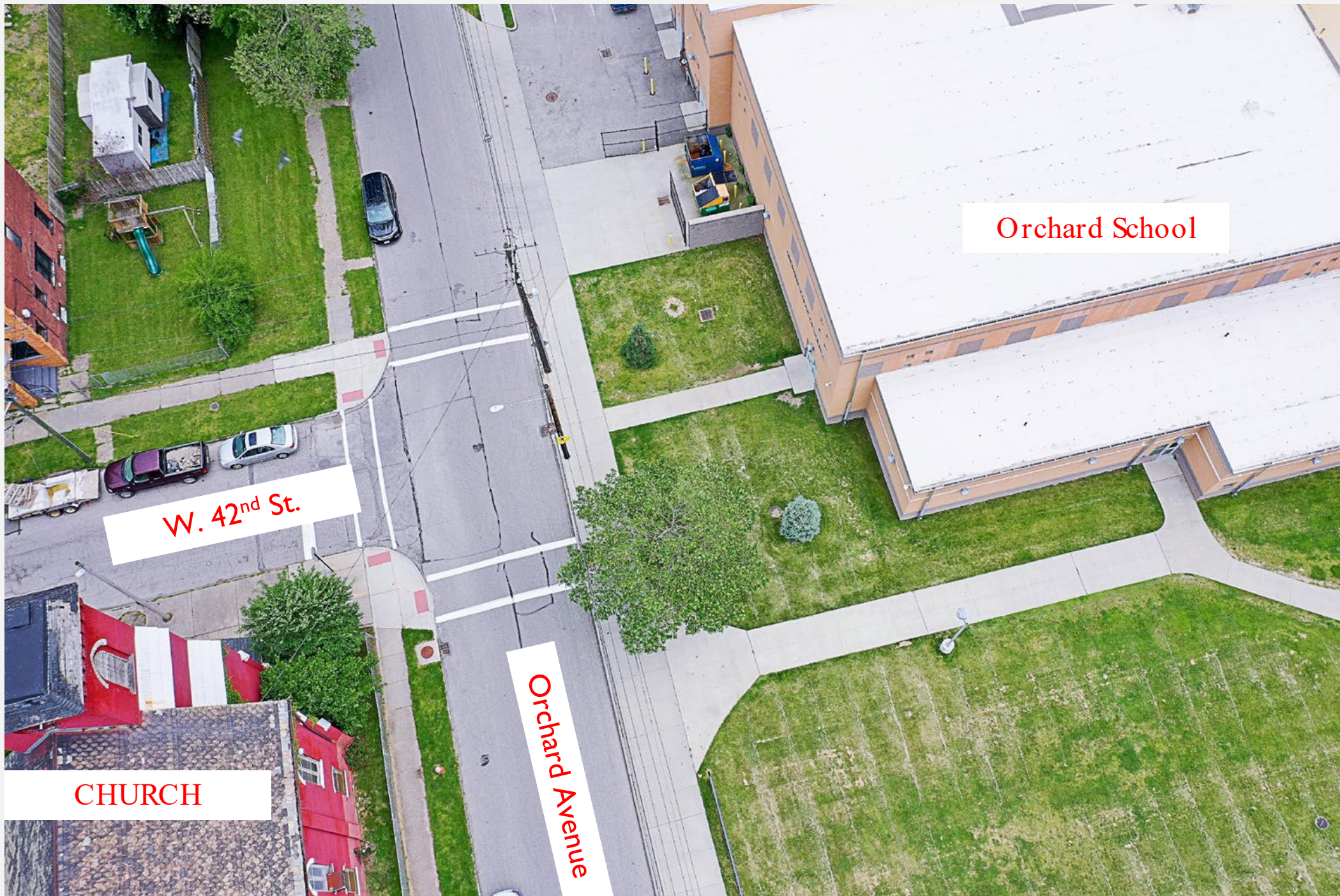
Orchard Avenue

W. 42nd St.

CHURCH

HOUSE

Church and Orchard School



Orchard School

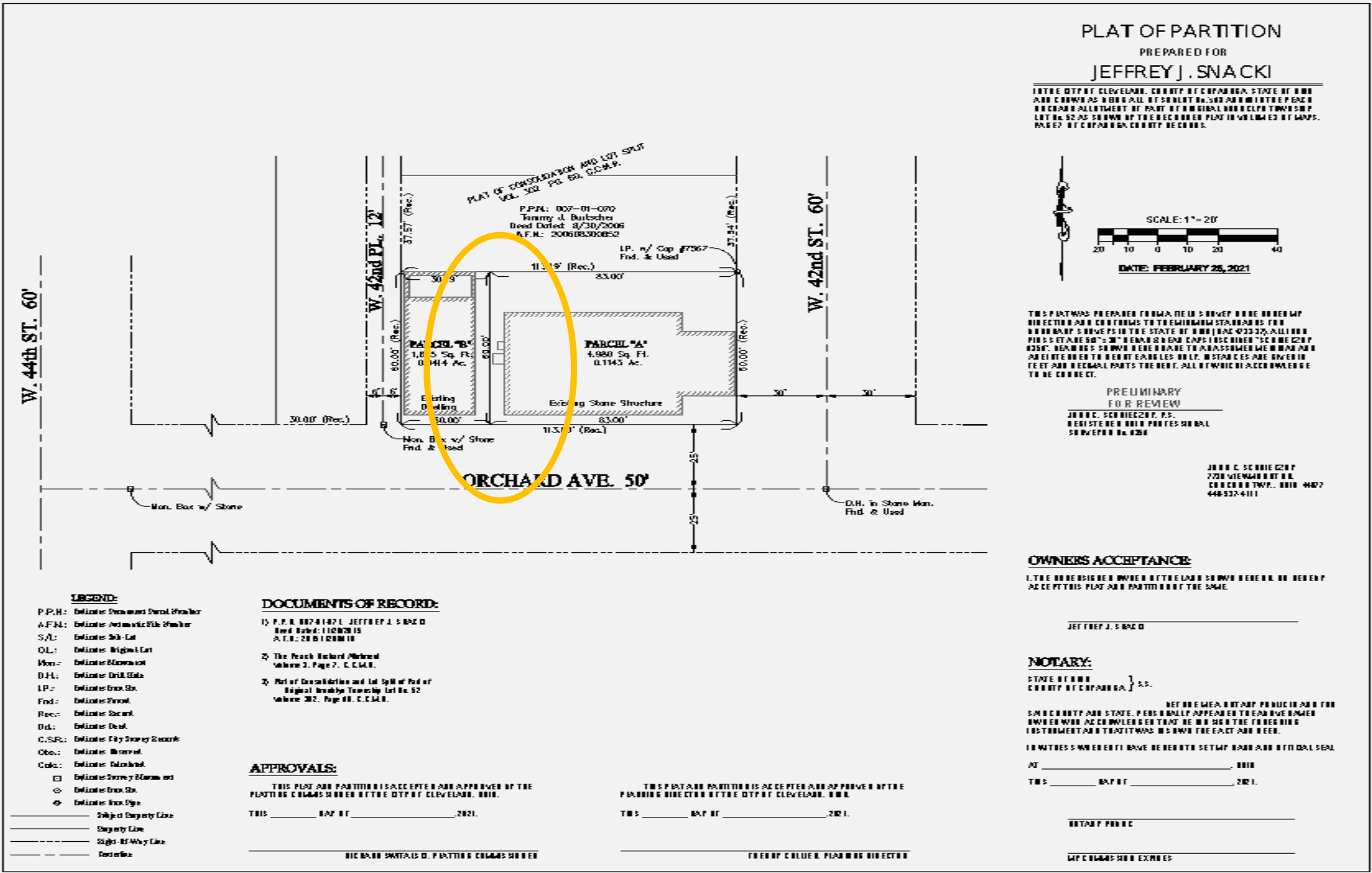
W. 42nd St.

Orchard Avenue

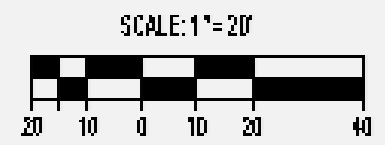
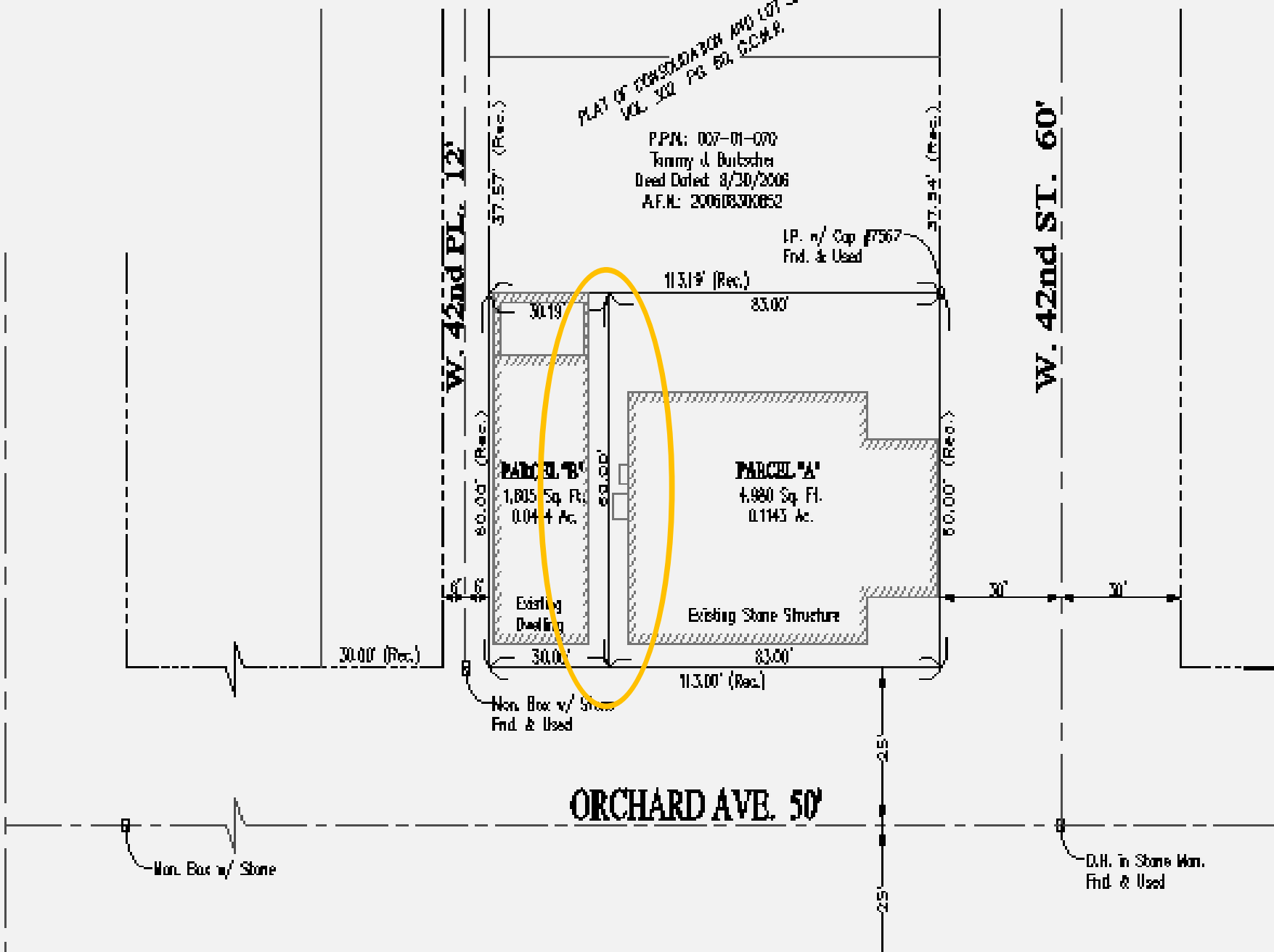
CHURCH

Plat of Partition
currently under
consideration
for lot split
(2021)

The new
proposed line
will be between
the house and
church.



W. 44th ST. 60'



DATE: FEBRUARY 26, 2021

THIS PLAN WAS PREPARED FOR A FIELD SURVEY TO BE CONDUCTED BY THE SURVEYOR AND CONFORMS TO THE MINIMUM STANDARDS FOR SURVEYING PRACTICES IN THE STATE OF IOWA (IAC 403-37), ALL IOWA SURVEYING PRACTICES SHALL BE IN ACCORDANCE WITH IOWA SURVEYING PRACTICES. HEADINGS SHOWN HEREIN HAVE TO ADJUST WHEN MEASUREMENTS ARE MADE TO NEAREST ANGLES ONLY. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL DISTANCES ARE ASSUMED TO BE CORRECT.

PRELIMINARY
FOR REVIEW

JOHN C. SCORIEZOFF, P.S.
REGISTERED PROFESSIONAL
SURVEYOR No. 0254

JOHN C. SCORIEZOFF
7700 VIEWMOUNT DR.
COURTOWN, IOWA 4807
448-937-4111

FOR FURTHER QUESTIONS AND
INFORMATION

Please contact Jeff Snacki (216)632-0395

jeffsnacki@yahoo.com

Cleveland City Planning Commission

Conditional Use Permit



March 5, 2021

March 5, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Mandatory Referrals



March 5, 2021

Mandatory Referrals

March 5, 2021



Ordinance No. 72-2021(Citywide; Introduced by Councilmembers Brancatelli and McCormack): To supplement the Codified Ordinances of Cleveland, Ohio, 1976, by amending Sections 215.01, 215.03, 215.04, 215.06, 215.07, 325.51, 325.72, 327.02, 337.02 and 337.251, as amended by various ordinances, related to transient residential buildings, lodging houses and limited lodging in residence districts.

Cleveland City Planning Commission

Administrative Approvals



March 5, 2021

Administrative Approvals

March 5, 2021



Ordinance No. 100-2021(Ward 1/Councilmember J. Jones): Designating certain property situated in both the City of Cleveland and the City of Warrensville Heights as a joint economic development zone; authorizing the Mayor of the City of Cleveland to sign a Joint Economic Development Agreement with the City of Warrensville Heights; and authorizing the Directors of Economic Development, Public Works, and Capital Projects to execute any necessary documents.

Cleveland City Planning Commission

Design Review Cases



March 5, 2021

Southeast Design Review Case



March 5, 2021

SE2020-020 – Benedictine Atrium New Construction: Seeking Final Approval

Project Address: 2900 East Boulevard

Project Representative: Westleigh Harper, Horton Harper Architects



BENEDICTINE HIGH SCHOOL

Atrium Design Package

February 23, 2021

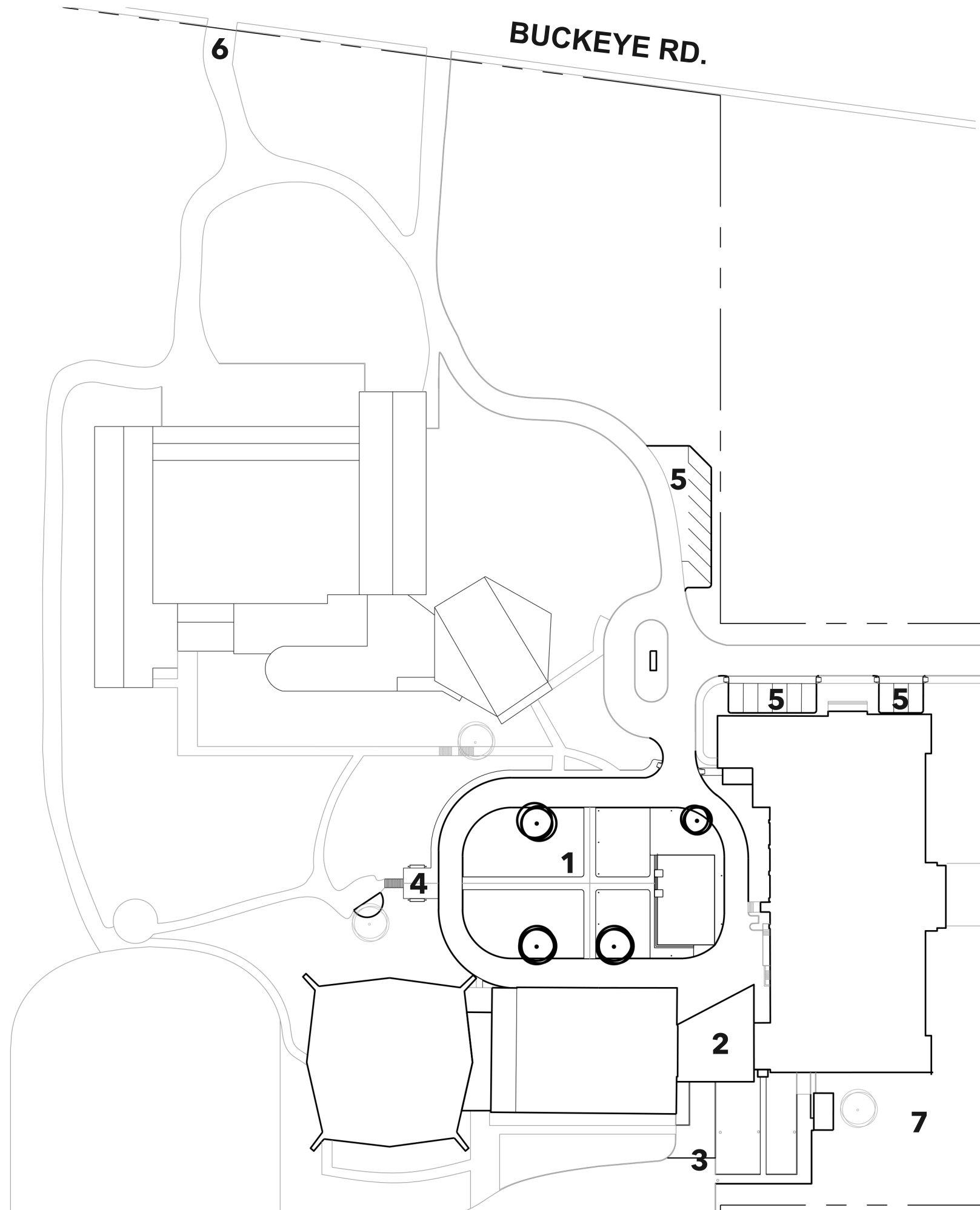


HORTON HARPER
ARCHITECTS



SITE AERIAL

E. 104TH ST.



BUCKEYE RD.

PROPOSED WORK

- 1 QUAD
- 2 ATRIUM
- 3 SOUTH GATE/FENCE
- 4 GROTTTO ENTRY/DEDICATION
- 5 ABBEY PARKING SE
- 6 NORTH ABBEY ENTRY SIGNAGE/GATE
- 7 SENIOR LAWN

MLK JR. DRIVE



CONTEXT



CONTEXT



CONTEXT



CONTEXT



CONTEXT



CONTEXT



CONTEXT



CONTEXT



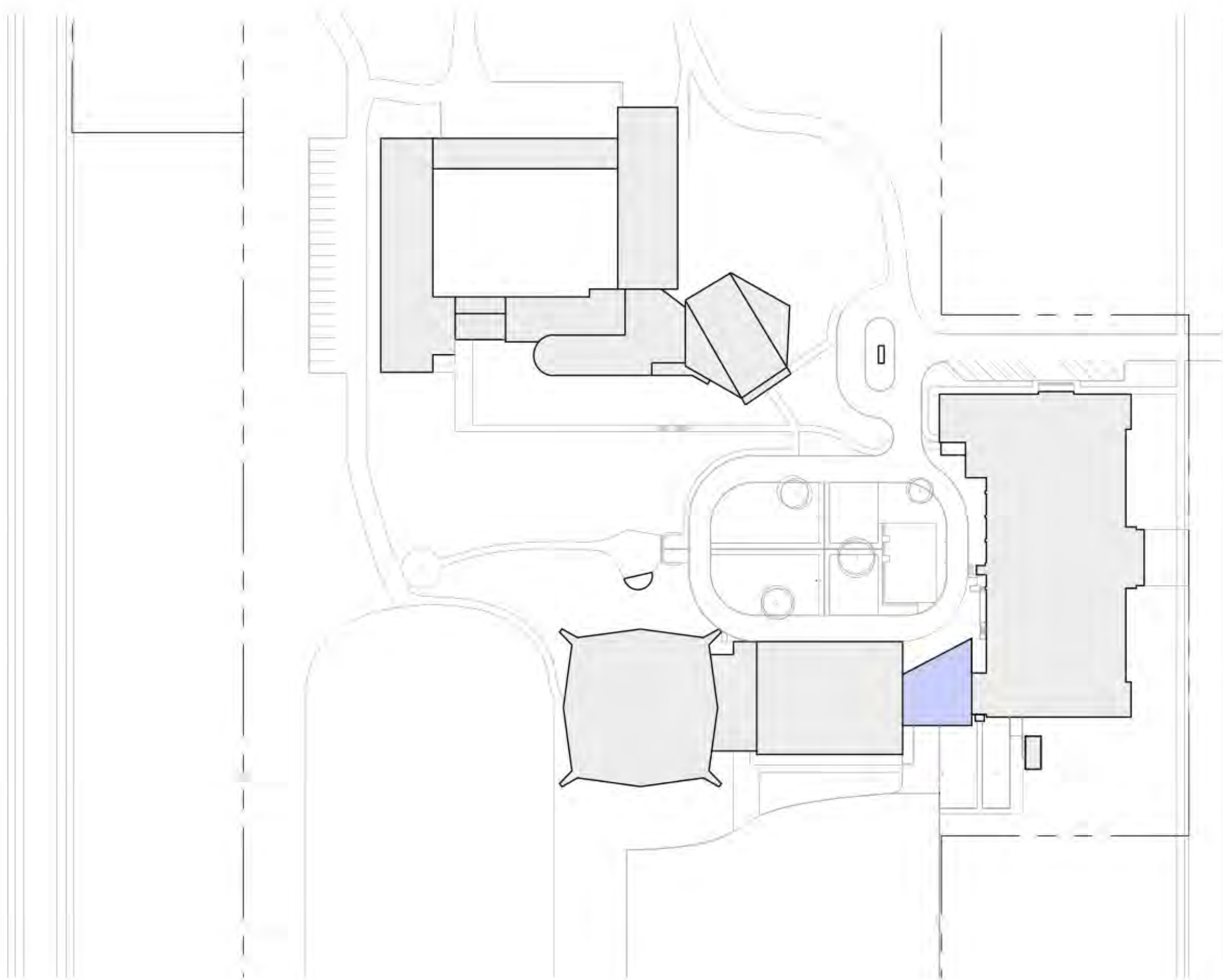
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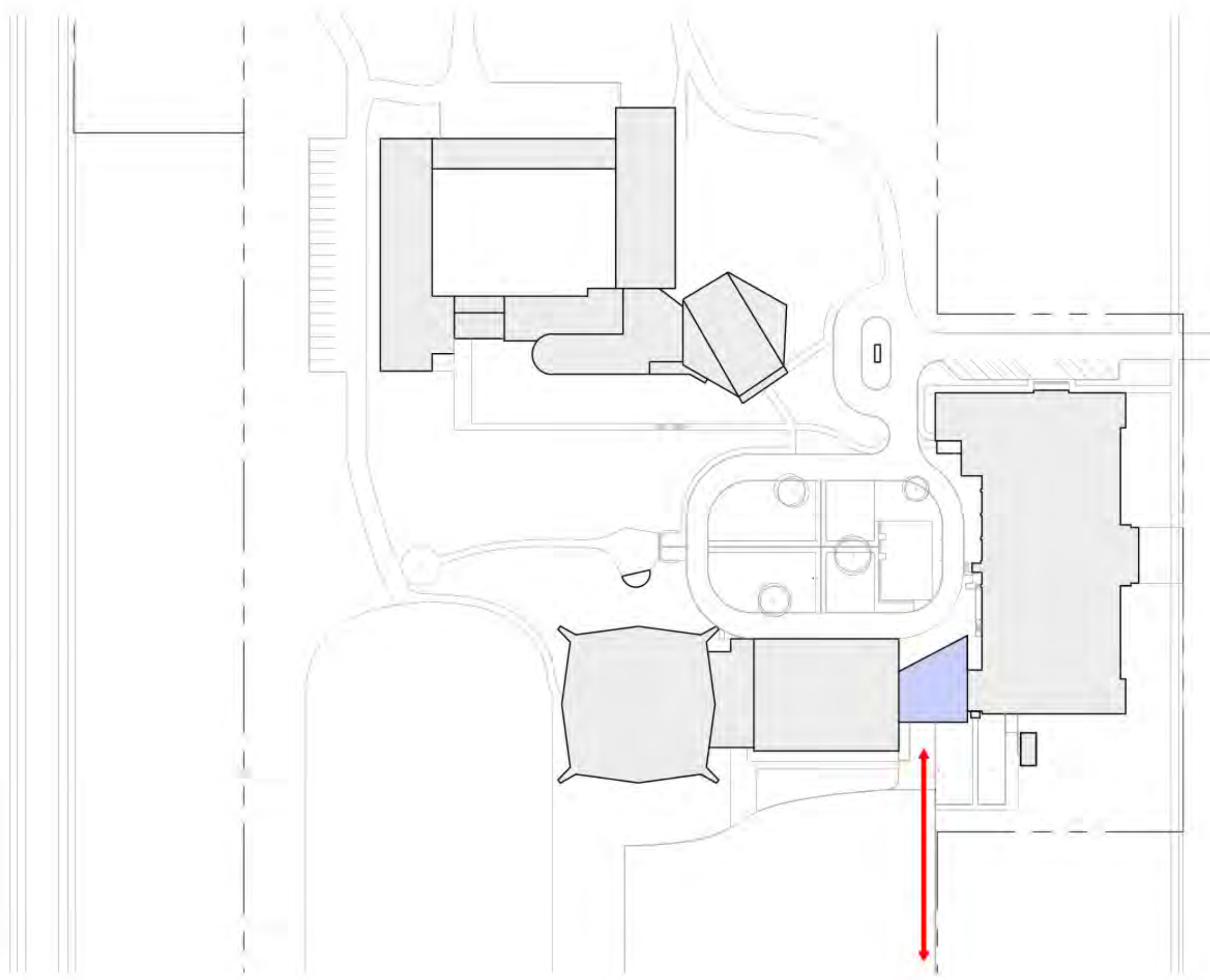
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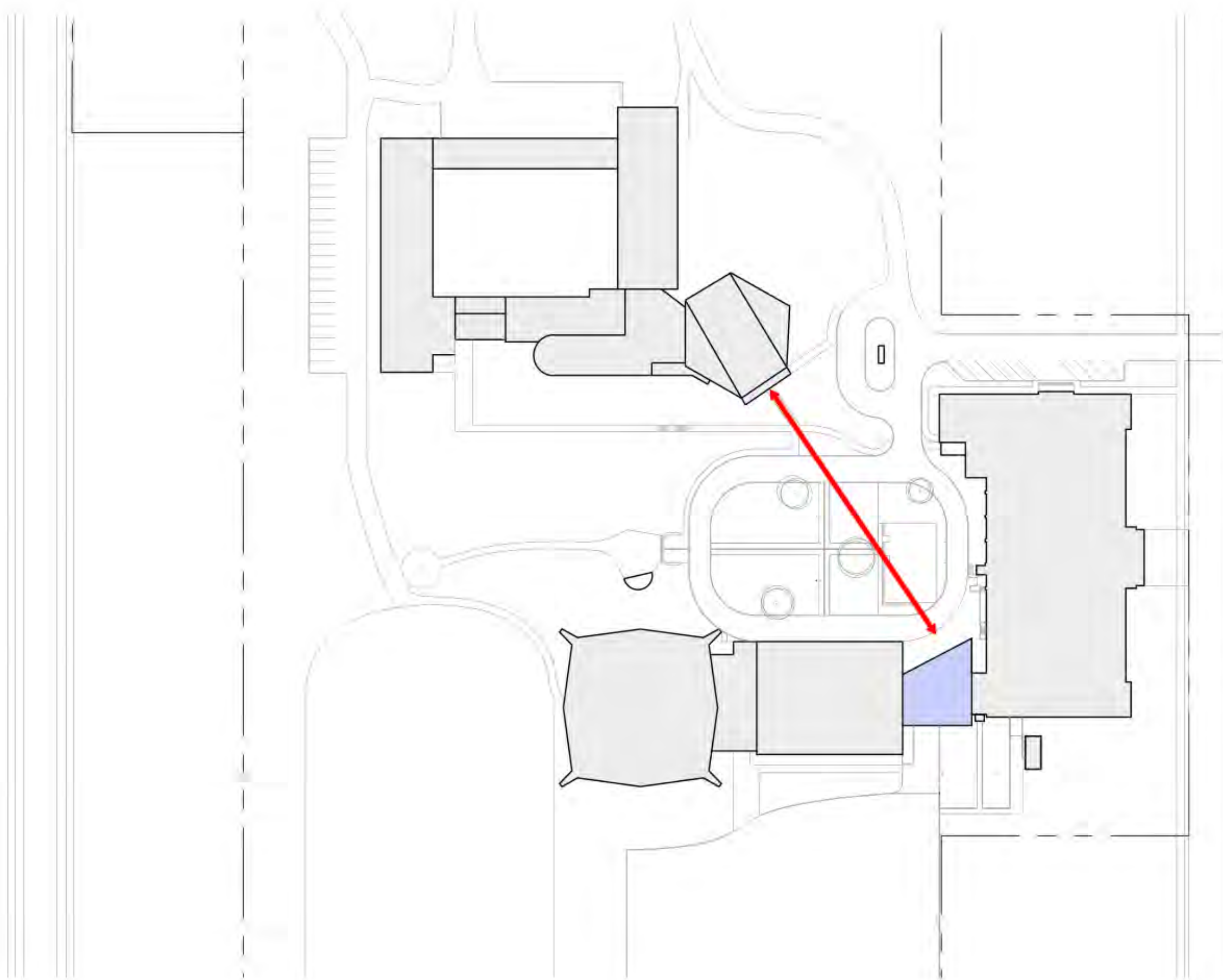
CONTEXT



CONTEXT



CONTEXT

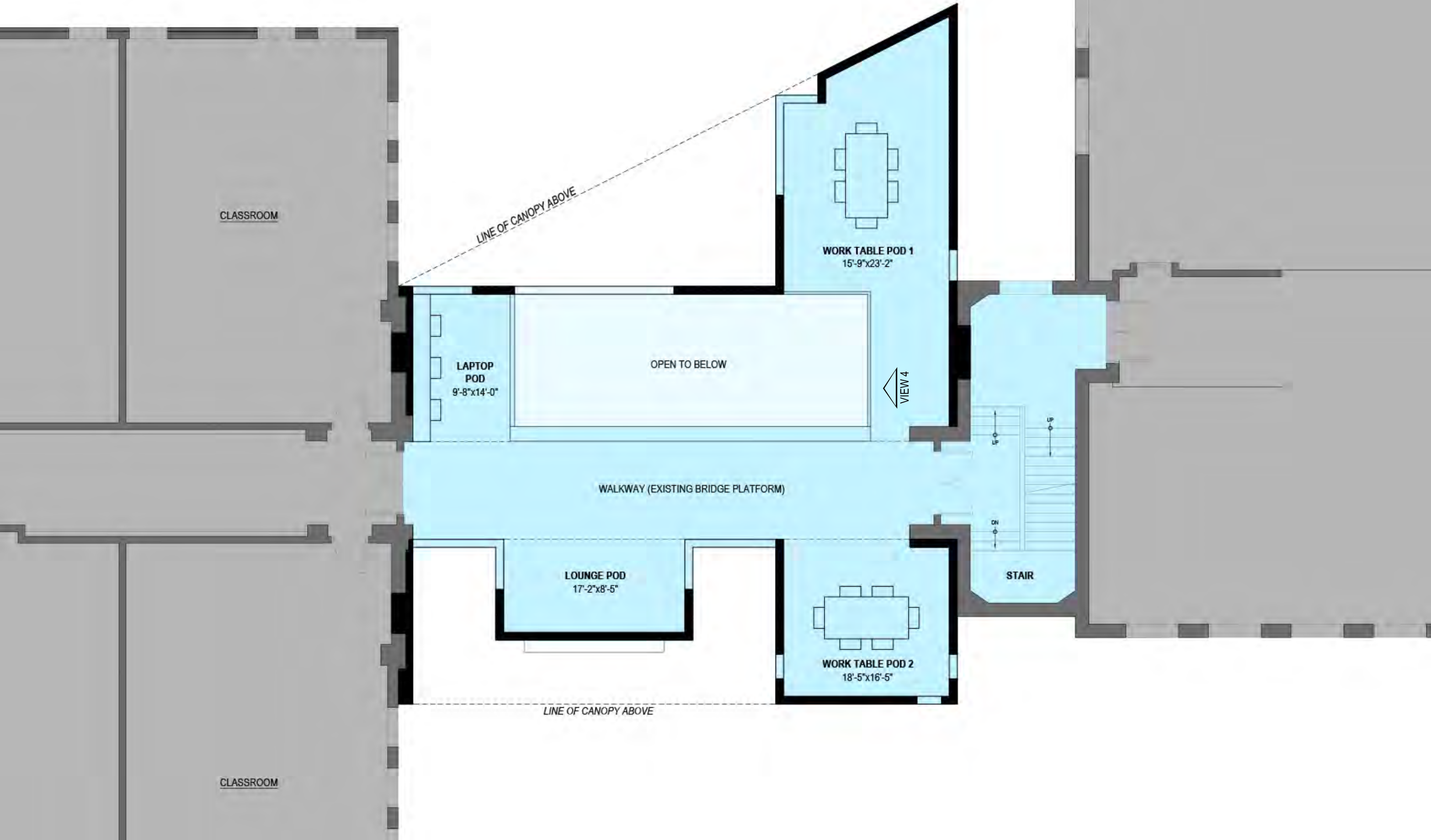


CONTEXT

1ST FLOOR PLAN
Scale: 1/16" = 1'-0" North^



2ND FLOOR PLAN
Scale: 1/16" = 1'-0" North^





North Facade & Quad



North Facade



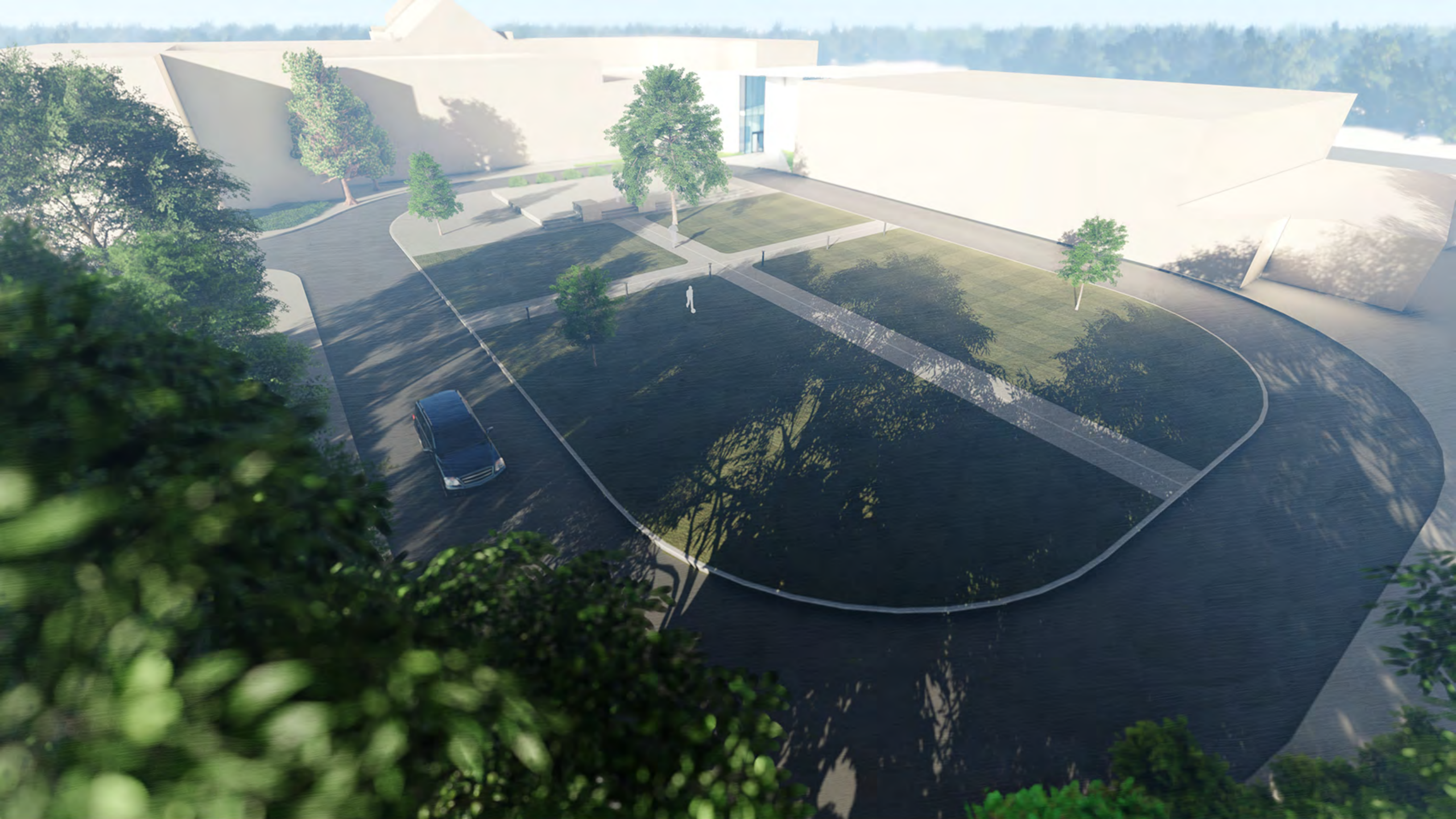
North Entry



South Facade



South Facade



Quad Paths, Platform, & Drive



Paver Detail, set in Gravel



Sedge Ground



Aspen White, Wirecut Brick



Metal Panel (coping & canopy)



Storefront & Windows



Yew, Tall Hedge



Bollard w/Downlight



Grotto Bench



Boxwood, Low Hedge

MATERIAL PALETTE, LANDSCAPE & HARDSCAPE



EUROPEAN HORNBEAM



LADY FERN



WEEPING CHERRY TREE



BOXWOOD



BLACK BASALT DECORATIVE GRAVEL

LEGEND

1. PROPOSED LAWN
2. PROPOSED PAVED WALKWAY
3. PROPOSED PLANTED AREA- BOXWOODS AND FERNS
4. PROPOSED ORNAMENTAL GRAVEL
5. PROPOSED UPLIGHTING

- A. WEEPING CHERRY TREE
- B. EUROPEAN HORNBEAM TREE

LANDSCAPE PLAN
 Scale: 1/16" = 1'-0" North^

ELEVATIONS GENERAL NOTES

- NEW T/O 2ND FLOOR SLAB ELEV. MUST MATCH W/ EXISTING T/O 2ND FLOOR SLAB ELEV. CONTRACTOR TO VERIFY EXISTING HTS. IN FIELD AND ADJUST ANY AFFECTED DIMENSIONS AS NEEDED, INCLUDING BUT NOT LIMITED TO WINDOWS, WALLS, MASONRY COURSING, ETC.
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- REFER TO A5.01 FOR DOOR AND WINDOW INFORMATION

ELEVATIONS KEYED NOTES

- ROOF CANOPY OVERHANG, SEE PLANS
- LINE OF FASCIA BEYOND (INTERIOR) (TYP)
- MASONRY CONTROL JOINT/MASONRY COURSING HORIZONTAL REFERENCE STARTING POINT DATUM LINE, SEE WALL SECTIONS (TYP)
- VERTICAL SEAM OF XXX MATERIAL ROOF CANOPY OVERHANG FASCIA/COPING/D RIP EDGE, LOCATE/ALIGN AS INDICATED (TYP)
- VERTICAL SEAM OF XXX MATERIAL FASCIA/COPING/D RIP EDGE, LOCATE/ALIGN AS INDICATED (TYP)
- NEW ENTRY IN EXISTING MAIN HIGH SCHOOL BUILDING STAIRWAY VESTIBULE, SEE PLANS
- LINE OF NEW GRADE, SEE CIVIL AND ARCHITECTURAL LANDSCAPE PLANS
- FILL IN OPENING IN EXISTING EXTERIOR WALL TO MATCH EXISTING SURROUNDING WALL MATERIALS AND ASSEMBLY, SEE PLANS
- VERTICAL WYTHE OFF FB1 MATERIAL STACKED HEADERS @ MASONRY JAMB OPENING, SEE PLANS, PLAN DETAILS
- FASCIA/COPING/D RIP EDGE, SEE WALL SECTIONS
- NEW SOUTH ENTRY WING WALL, SEE PLANS
- EXISTING MAIN BUILDING
- EXISTING SCIENCE WING BUILDING
- EXISTING MAIN BUILDING BEYOND
- CORNER GLAZING
- EXISTING DOOR: CONTRACTOR TO VERIFY MIN. 90 MINUTE DOOR AND DOOR FRAME RATING. CONTRACTOR TO VERIFY EXISTING FUNCTIONAL XXXX HARDWARE. IF EXISTING DOOR DOES NOT COMPLY W/ CODE MIN. FIRE RESISTANCE REQS., CONTRACTOR TO PROVIDE. CONTRACTOR TO COORD. W/ ARCHITECT FOR NEW DOOR AND/OR DOOR HARDWARE SPECIFICATION/SELECTION
- APPROX. LOCATION OF NEW BACKLIT CNC CUT SIGNAGE TBD
- HORIZONTAL MASONRY EXPANSION JOINT ALONG COURSE UNDER LINTEL FOR OPENING THIS AREA ONLY
- VERTICAL MASONRY EXPANSION JOINT
- EMERGENCY ENTRY WALL SCENCE LIGHT FIXTURE, REFER TO ELECTRICAL DWGS.

EXTERIOR MATERIALS LEGEND

TYPE	FB1	C1	SM1	SM2	MP1	CG1
MATERIAL	BRICK MASONRY VENEER WALL MODULAR SIZE EXTRUDED LINE SMOOTH FINISH RUNNING BOND	POURED IN PLACE CONCRETE WITH SMOOTH FACE EXPOSURE	BRAKEMETAL FASCIA/COPING D RIP EDGE .040" ALUMINUM	"AC-6000" CONCEALED FASTENER FLUSH PANEL .040" ALUMINUM, 16" OR 20" WIDTH	3/8" THICK BLACKENED COLD ROLLED STEEL PLATE RAINSCREEN CLADDING	3/8" BLACK BASALT DECORATIVE GRAVEL GROUND COVER
MANUFACTURERS/FABRICATORS	GLEN-GERY 12637 HARRISON ST SUMMERVILLE, PA 15864 800 854-4753 www.glen-gery.com	N/A	"AMERICLAD QUALITY METALCRAFTS" 21925 INDUSTRIAL BLVD. ROGERS, MN 55374 www.americlad.com 866 260 4047	"AMERICLAD QUALITY METALCRAFTS" 21925 INDUSTRIAL BLVD. ROGERS, MN 55374 www.americlad.com 866 260 4047	"CLEVELAND BLACK OXIDE" 836 BROADWAY AVE CLEVELAND, OH 44115 www.clevelandblackoxide.com 216 861 4431	N/A AS PROVIDED, NATURAL BLACK BASALT IS DARK GREY
SUGGESTED DEALER	THE THOMAS BRICK COMPANY	N/A	INQUIRE WITH PRODCUT REP.	INQUIRE WITH PRODCUT REP.	INQUIRE WITH PRODCUT REP.	N/A
COLOR/ FINISH	ASPEN WHITE S804	N/A	TBD BY ARCHITECT FLUROPON, KYNAR 500 OR HYLAR 5000 FINISH, TO MATCH SM2	TBD BY ARCHITECT FLUROPON, KYNAR 500 OR HYLAR 5000 FINISH, TO MATCH SM1	BLACKENED STEEL	N/A
FASTENERS	MORTAR TYPE AND COLOR TBD BY ARCHITECT	N/A	AS PER MANUFACTURER'S REQUIREMENTS	AS PER MANUFACTURER'S REQUIREMENTS	AS PER ARCH. DWGS., SEE SECTION AND PLAN DETAILS	N/A
FASTENER PATTERN	N/A	N/A	CONCEALED FASTENERS AS PER MANUFACTURER'S REQUIREMENTS	CONCEALED FASTENERS AS PER MANUFACTURER'S REQUIREMENTS	CONCEALED FASTENERS AS PER MANUFACTURER'S REQUIREMENTS	N/A
REMARKS	ALIGN COURSES W/ DOOR AND WINDOW HEADS NOTE CONTROL AND EXPANSION JOINTS ON ELEVATIONS TOLERANCES TO BE AS PER OBC MINIMUMS, ALL VISIBLE BRICK TO BE FREE FROM CHIPS OR CRACKS, BRICK WALLS TO HAVE A CLEAN AND UNIFORM APPEARANCE W/ NO VISIBLE FACETING	REFER TO FOUNDATION PLANS REFER TO STRUCTURAL SPECIFICATIONS	ACCESSORIES AND TRIM FROM MANUFACTURER REFER TO ARCHITECTURAL DETAIL DRAWINGS IN SECTIONS AND PLAN DETAILS FOR PROFILE, TRIM, TERMINATIONS, AND DIMENSIONS. MANUFACTURER HAS BEEN SPECIFIED DUE TO CAPABILITIES AND AVAILABLE OPTIONS, OTHER APPROVED BY ARCHITECT MANUFACTURERS MAY BE UTILIZED.	ACCESSORIES AND TRIM FROM MANUFACTURER ALL FLASHING AND OTHER TRIM PROFILES TO BE BRAKE BENT W/ COIL STOCK OF SAME GAUGE AND FINISH; COIL STOCK TO BE PROVIDED BY MANUFACTURER, PROFILES AS PER DETAILED DRAWINGS ON SECTION DETAILS DRAWINGS AND AS PER MANUFACTURER'S FACADE SYSTEM DETAILS MANUFACTURER HAS BEEN SPECIFIED DUE TO CAPABILITIES AND AVAILABLE OPTIONS, OTHER APPROVED BY ARCHITECT MANUFACTURERS MAY BE UTILIZED.	REFER TO ARCHITECTURAL DETAIL DRAWINGS IN SECTIONS AND PLAN DETAILS FOR PROFILE, TRIM, TERMINATIONS, AND DIMENSIONS. MANUFACTURER HAS BEEN SPECIFIED DUE TO CAPABILITIES AND AVAILABLE OPTIONS, OTHER APPROVED BY ARCHITECT MANUFACTURERS MAY BE UTILIZED.	REFER TO ARCHITECTURAL LANDSCAPE SHEETS

Stamp

Project

BENEDICTINE HS ATRIUM
2900 Martin Luther King Jr. Dr.
Cleveland, OH 44104

Revisions

Original Date 07/14/2020

Submission

- Progress
- Design Review
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- Zoning
- 50% Client Review
- 85% Client Review
- 100% Client Review
- Building Permit
- Construction

Current Date 1/29/2021

Drawn By KVS

Checked By WH

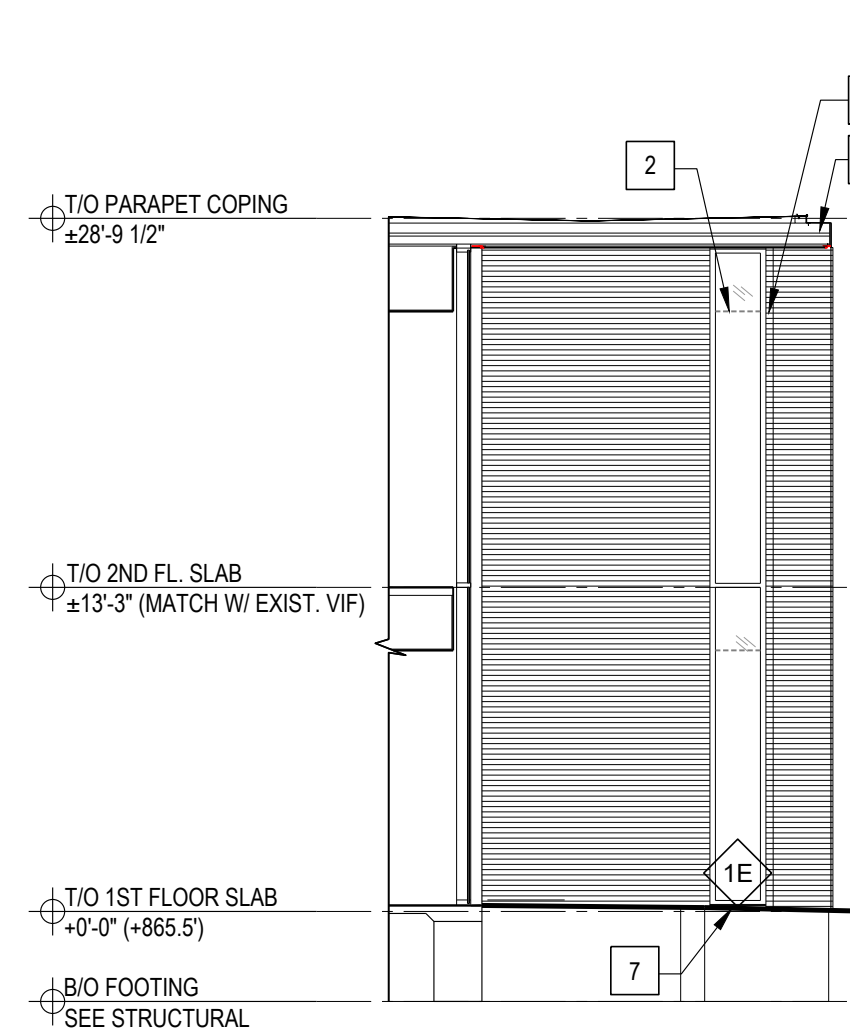
Job Number 20008

Sheet

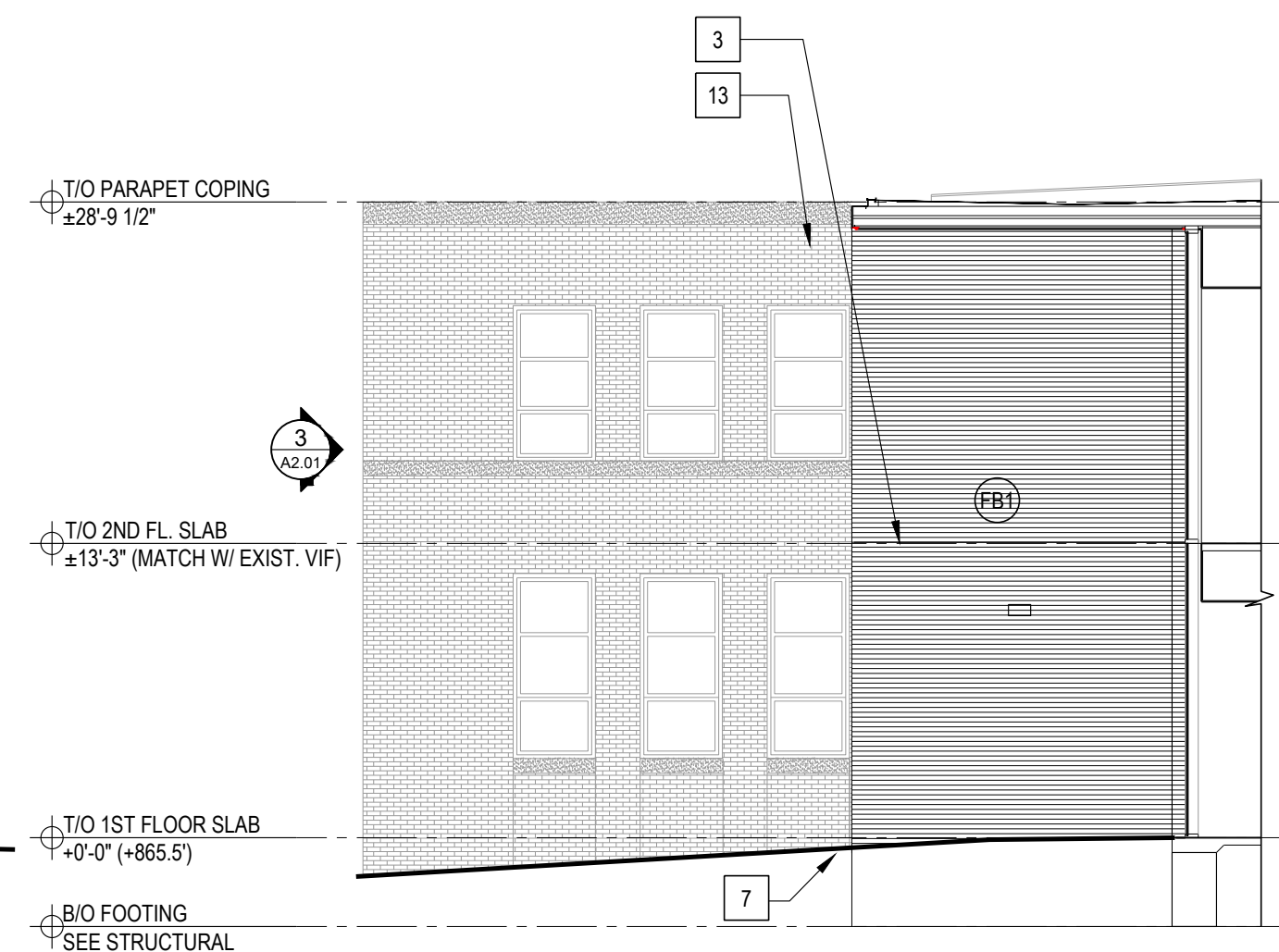
PARTIAL ELEVATIONS EXTERIOR MATERIALS LEGEND

Discipline & Number

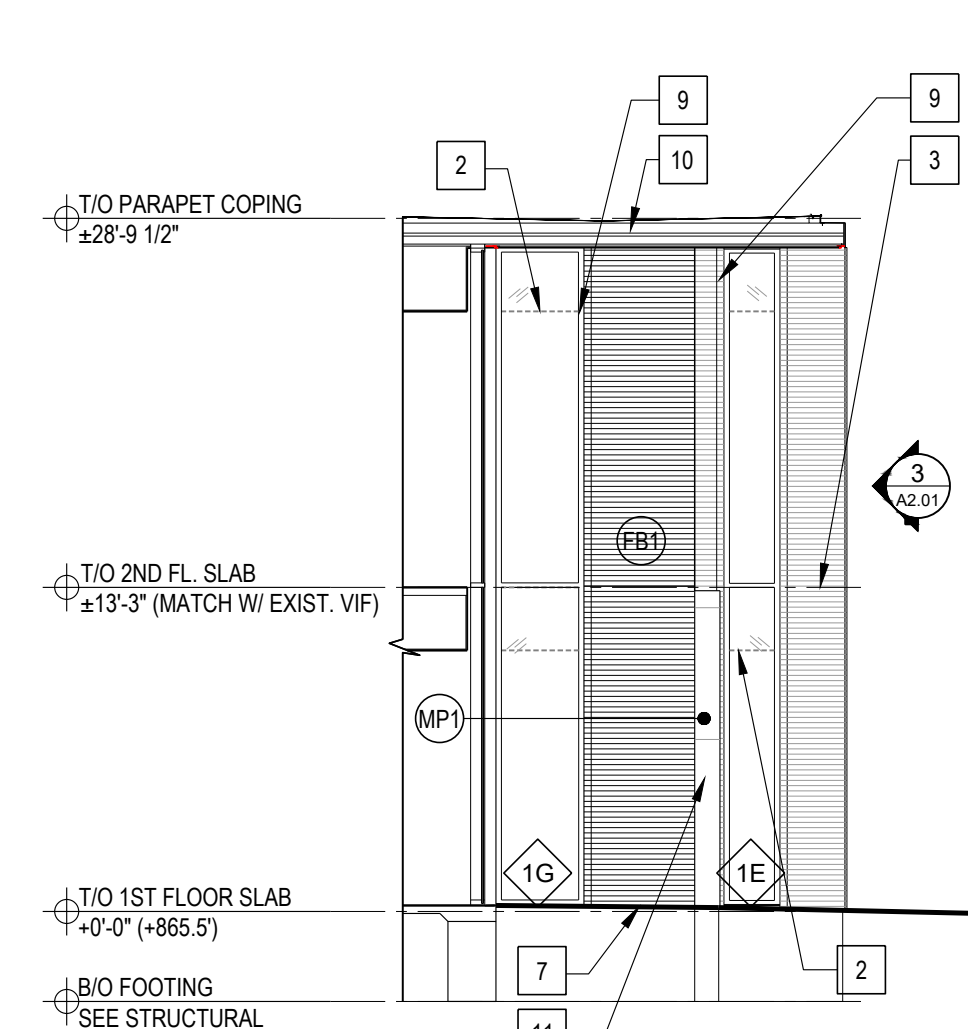
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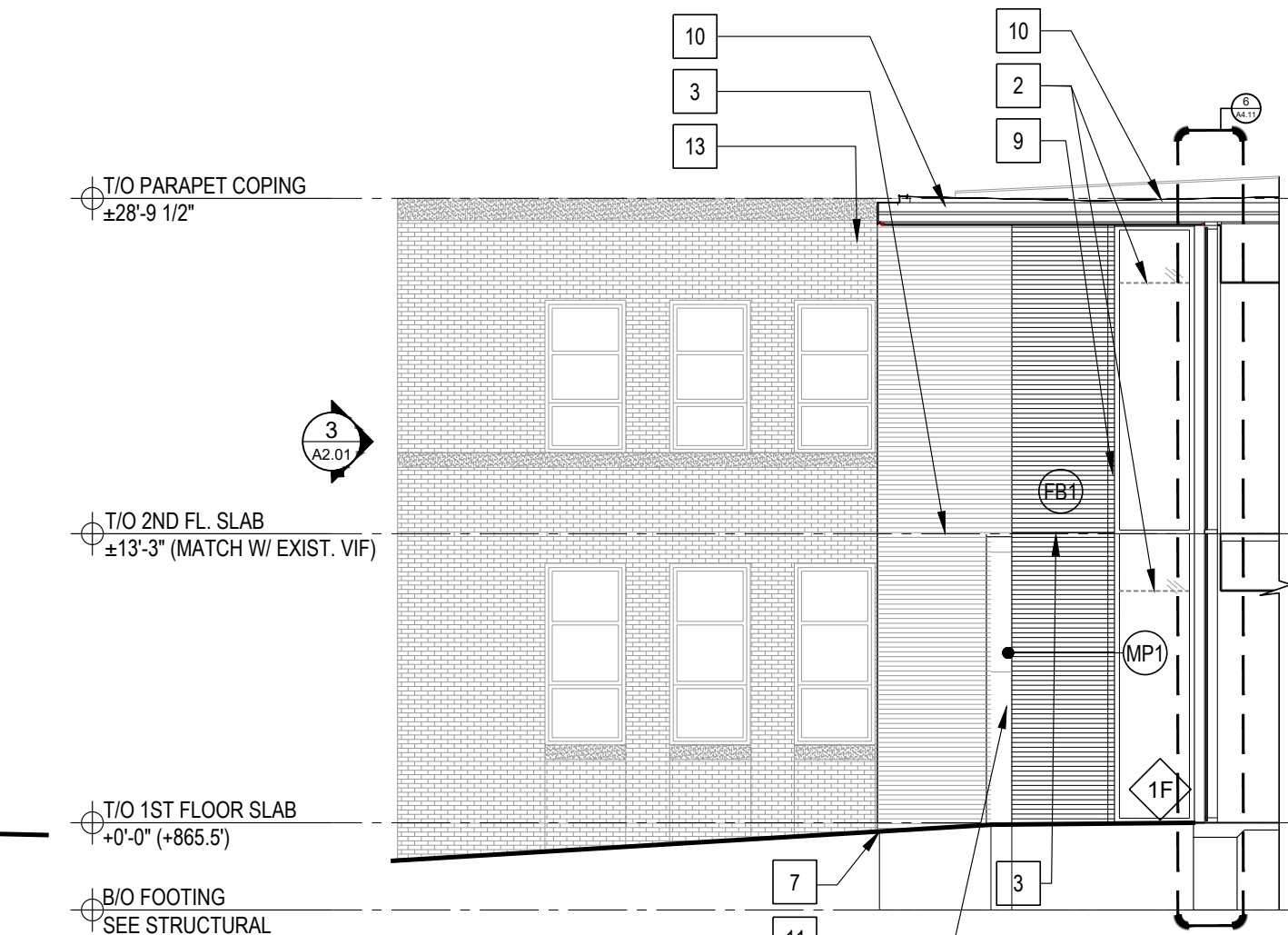
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SCALE: 1/8" = 1'



3 - Partial Elevation
SCALE: 1/8" = 1'



2 - Partial Elevation
SCALE: 1/8" = 1'



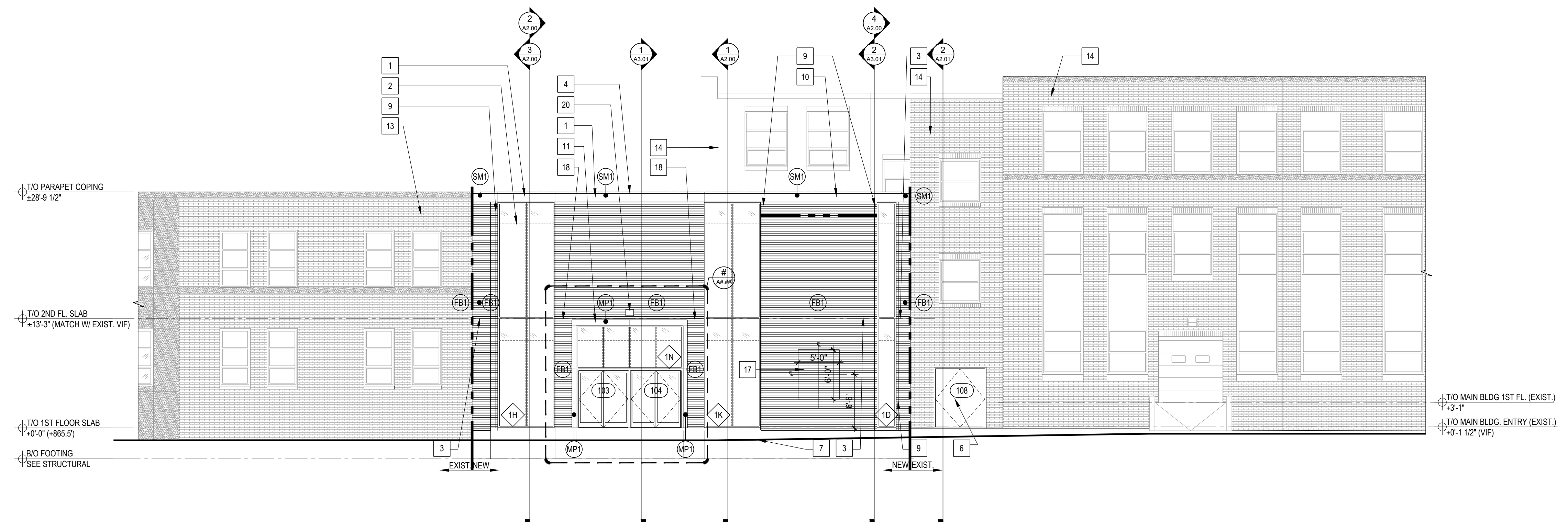
1 - Partial Elevation
SCALE: 1/8" = 1'

ELEVATIONS GENERAL NOTES

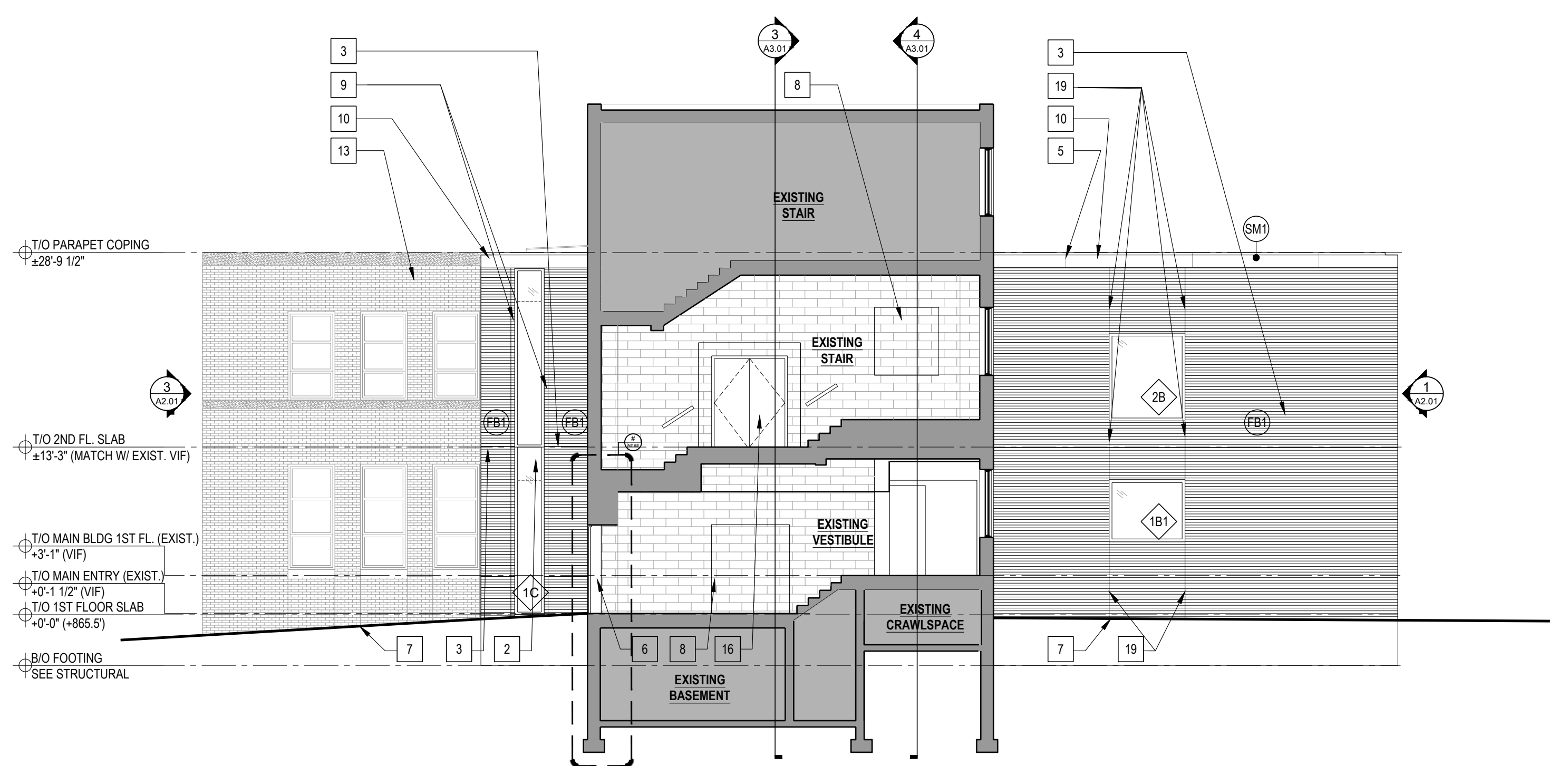
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ELEVATIONS KEYED NOTES

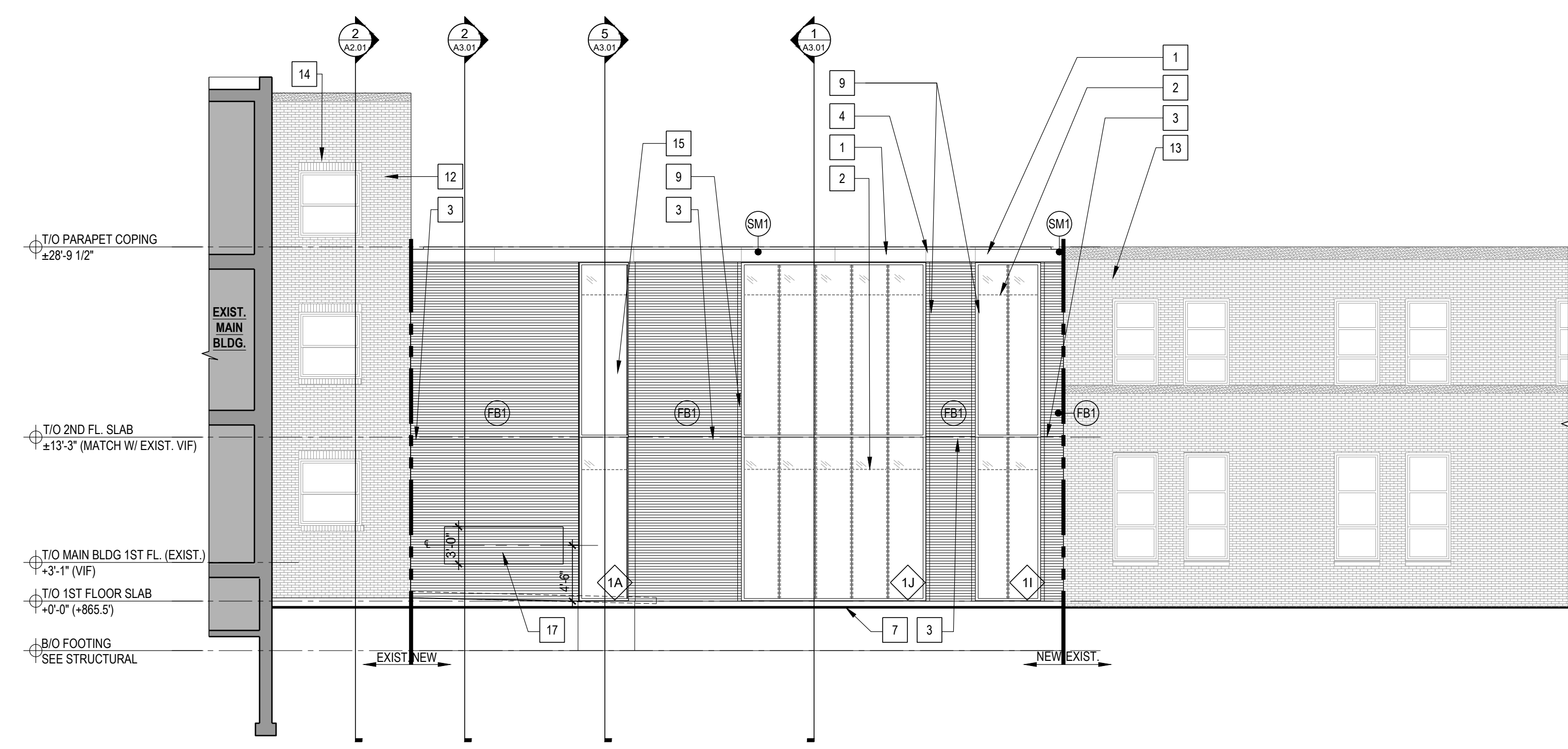
- ROOF CANOPY OVERHANG, SEE PLANS
- LINE OF FASCIA BEYOND (INTERIOR) (TYP)
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3 - South Elevation
 SCALE: 1/8" = 1'



2 - East Elevation
 SCALE: 1/8" = 1'



1 - North Elevation
 SCALE: 1/8" = 1'

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ELEVATIONS

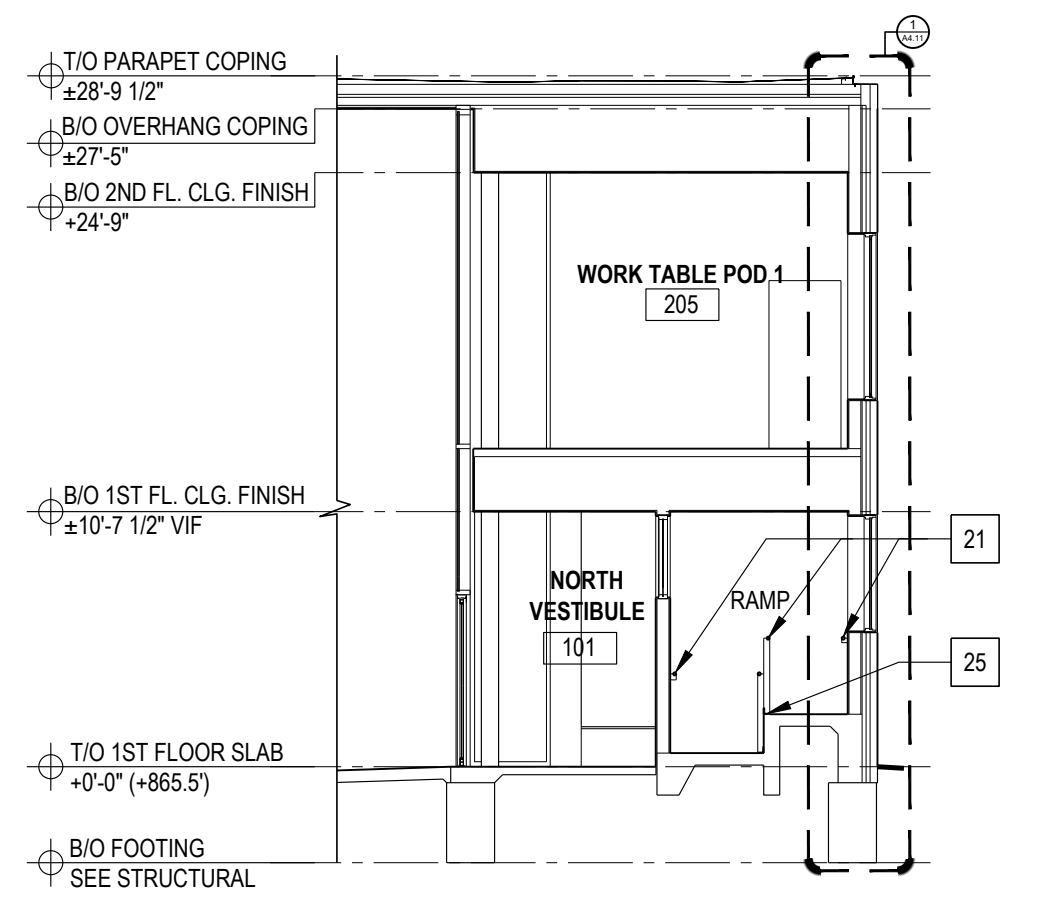
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A2.01

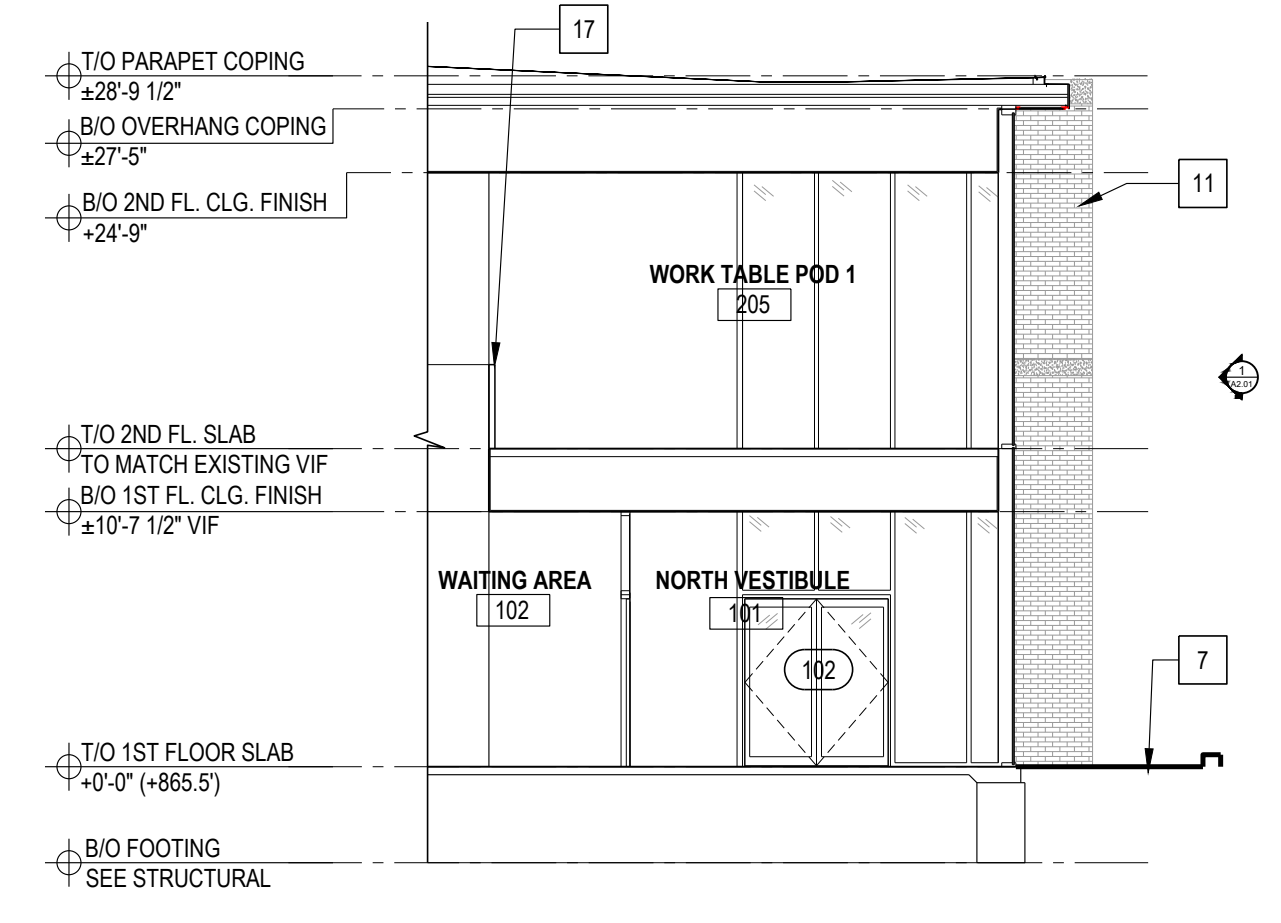
SECTIONS KEYED NOTES

- 1 ROOF CANOPY OVERHANG, SEE PLANS
- 2 LINE OF FASCIA BEYOND (INTERIOR) (TYP)
- 3 MASONRY CONTROL JOINT/MASONRY COURSING HORIZONTAL REFERENCE STARTING POINT DATUM LINE, SEE WALL SECTIONS (TYP)
- 4 VERTICAL SEAM OF XXX MATERIAL ROOF CANOPY OVERHANG FASCIA/COPING/DRIP EDGE, LOCATE/ALIGN AS INDICATED (TYP)
- 5 NOT USED
- 6 LINE OF NEW GRADE, SEE CIVIL AND ARCHITECTURAL LANDSCAPE PLANS
- 7 FILL IN OPENING IN EXISTING EXTERIOR WALL TO MATCH EXISTING SURROUNDING WALL MATERIALS AND ASSEMBLY, SEE PLANS, WALL ASSEMBLY TYPES ON A1.10
- 8 VERTICAL WYTHE OF XXX MATERIAL STACKED HEADERS @ MASONRY OPENING, SEE PLANS, PLAN DETAILS
- 9 FASCIA/COPING/DRIP EDGE
- 10 EXISTING MAIN BUILDING
- 11 EXISTING SCIENCE WING BUILDING
- 12 EXISTING DOOR: CONTRACTOR TO VERIFY MIN. 90 MINUTE DOOR AND DOOR FRAME RATING. CONTRACTOR TO VERIFY EXISTING FUNCTIONAL XXXX HARDWARE. IF EXISTING DOOR DOES NOT COMPLY W/ CODE MIN. FIRE RESISTANCE REQS., CONTRACTOR TO PROVIDE. CONTRACTOR TO COORD. W/ ARCHITECT FOR NEW DOOR AND/OR DOOR HARDWARE SPECIFICATION/SELECTION
- 13 SCREEN PARTITION SEE AX.XX
- 14 BUILT IN MILLWORK/CABINETRY SEE AX.XX
- 15 COUNTERTOP SEE AX.XX

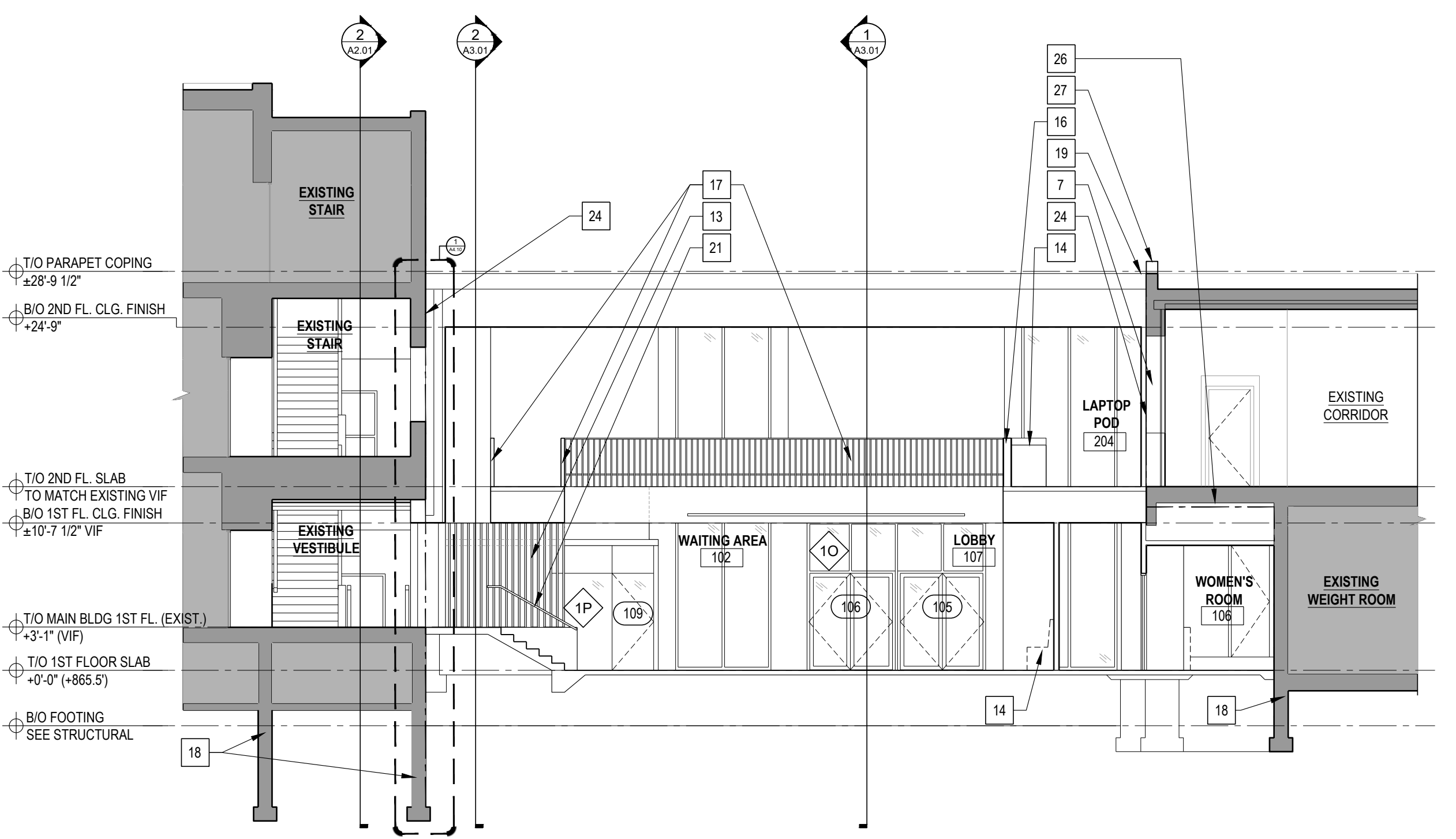
- 16 LOW WALL
- 17 ORNAMENTAL METAL GUARDRAIL, SEE INTERIOR DRAWINGS
- 18 EXISTING FOUNDATION WALL (TYP)
- 19 PARAPET WALL TO MATCH HT. OF EXISTING, SEE SECTIONS
- 20 RAISED CURB, SEE CIVIL AND ARCHITECTURAL LANDSCAPE DRAWINGS
- 21 HANDRAIL, SEE AX.XX
- 22 CORNER GLAZING, SEE AX.XX
- 23 SOUTH ENTRY WING WALL
- 24 LINE @ OUTSIDE FACE OF EXISTING 2 HR FIRE RESISTIVE BARRIER WALL ASSEMBLY (TYP)
- 25 STEEL ANGLE @ EDGE OF RAMP FOR WHEELCHAIR BUMPER, SEE AX.XX
- 26 LINE @ EXTERIOR FACE OF EXISTING 2 HR FIRE RESISTIVE BARRIER WALL
- 27 NEW SLOPED PARAPET, SEE ROOF PLAN



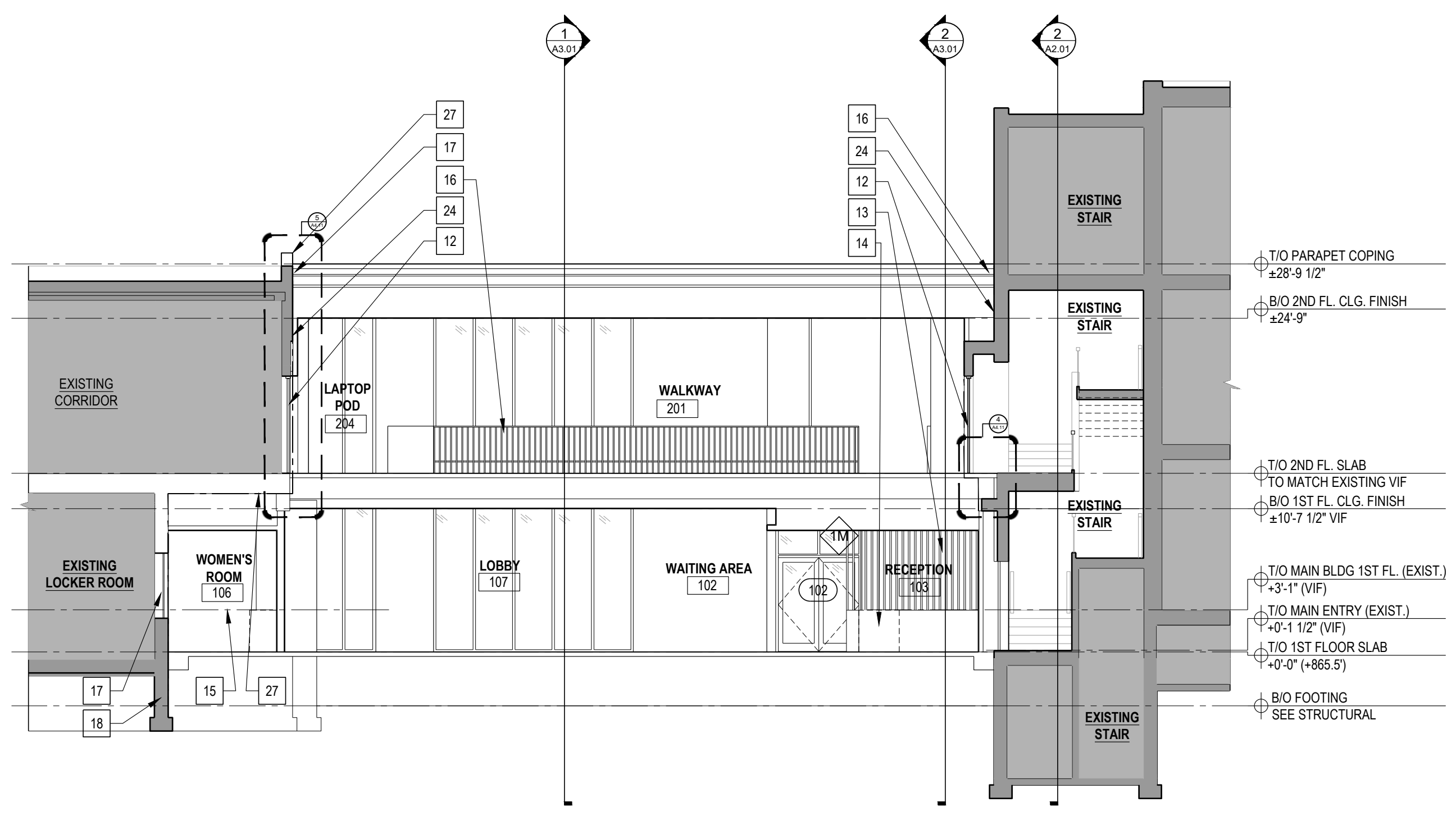
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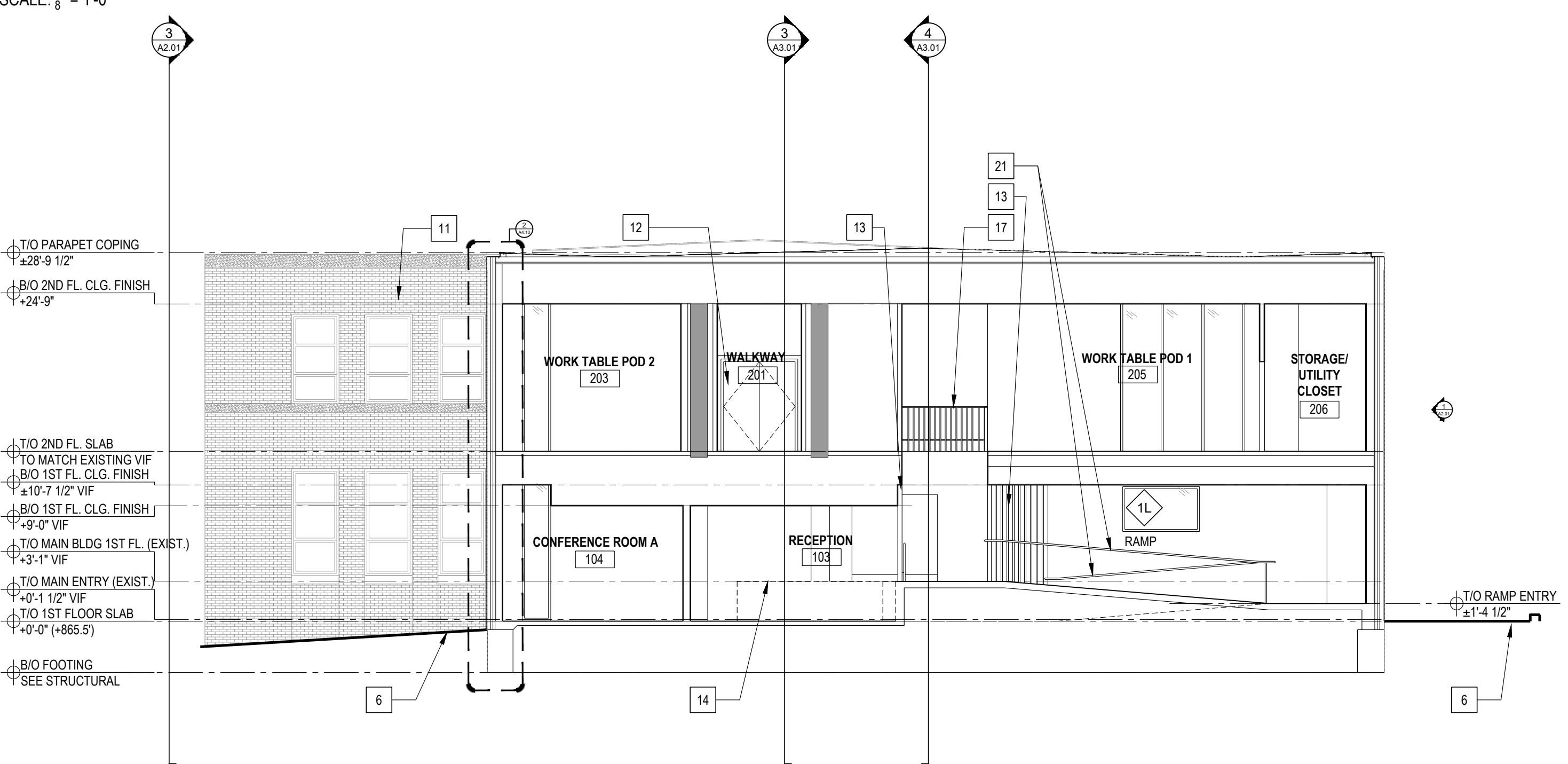
5 - Section
 SCALE: 1/8" = 1'-0"



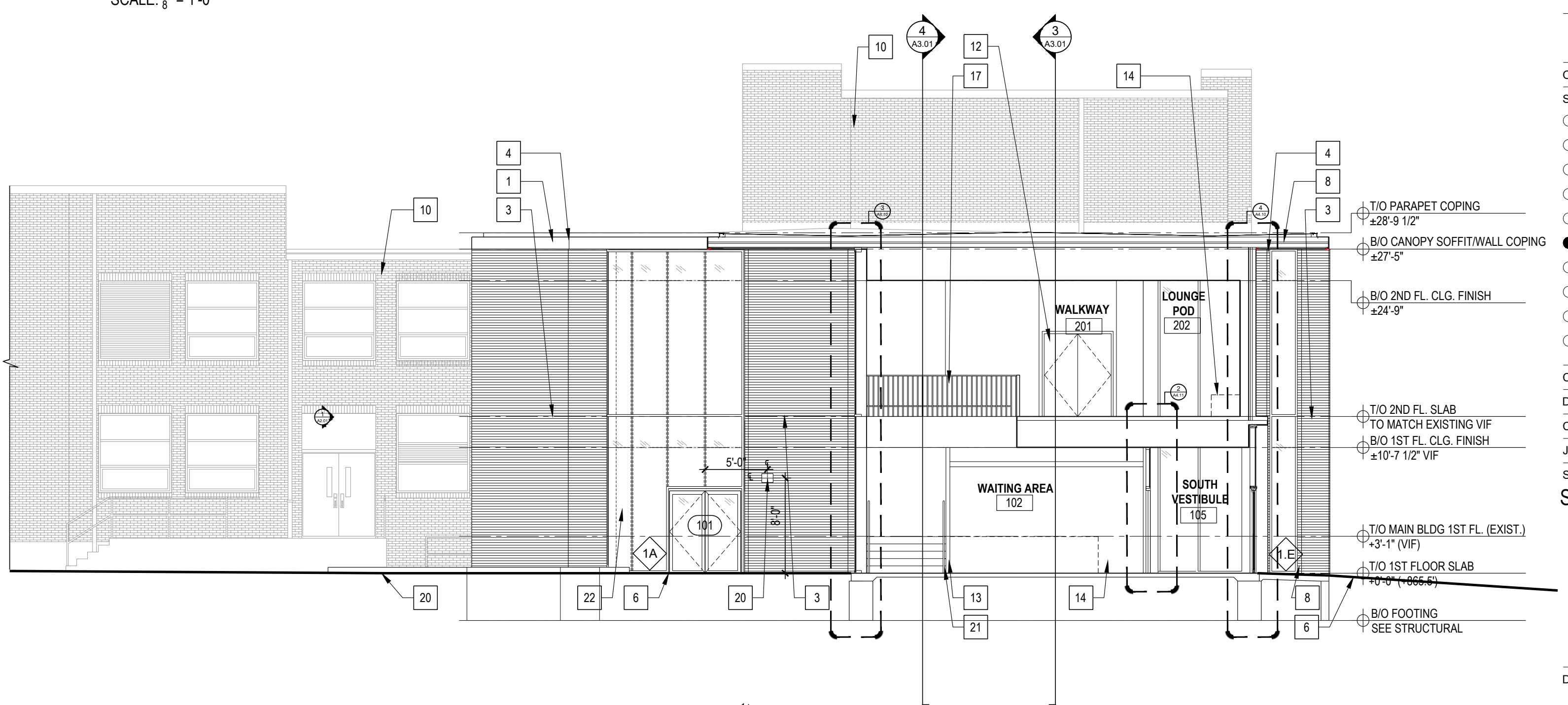
4 - Section
 SCALE: 1/8" = 1'-0"



3 - Section
 SCALE: 1/8" = 1'-0"



2 - Section
 SCALE: 1/8" = 1'-0"



1 - Section
 SCALE: 1/8" = 1'-0"

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Drawn By KVS

Checked By WH

Job Number 20008

Sheet

SECTIONS

Discipline & Number

A3.01

Near West Design Review Case

March 5, 2021



NW2021-003 – St. Luke’s Master Plan: Seeking Conceptual Feedback

Project Address: 4216 Pearl Road

Project Representative: Lucas Reeve, Old Brooklyn CDC



**OLD
BROOKLYN**
CLEVELAND

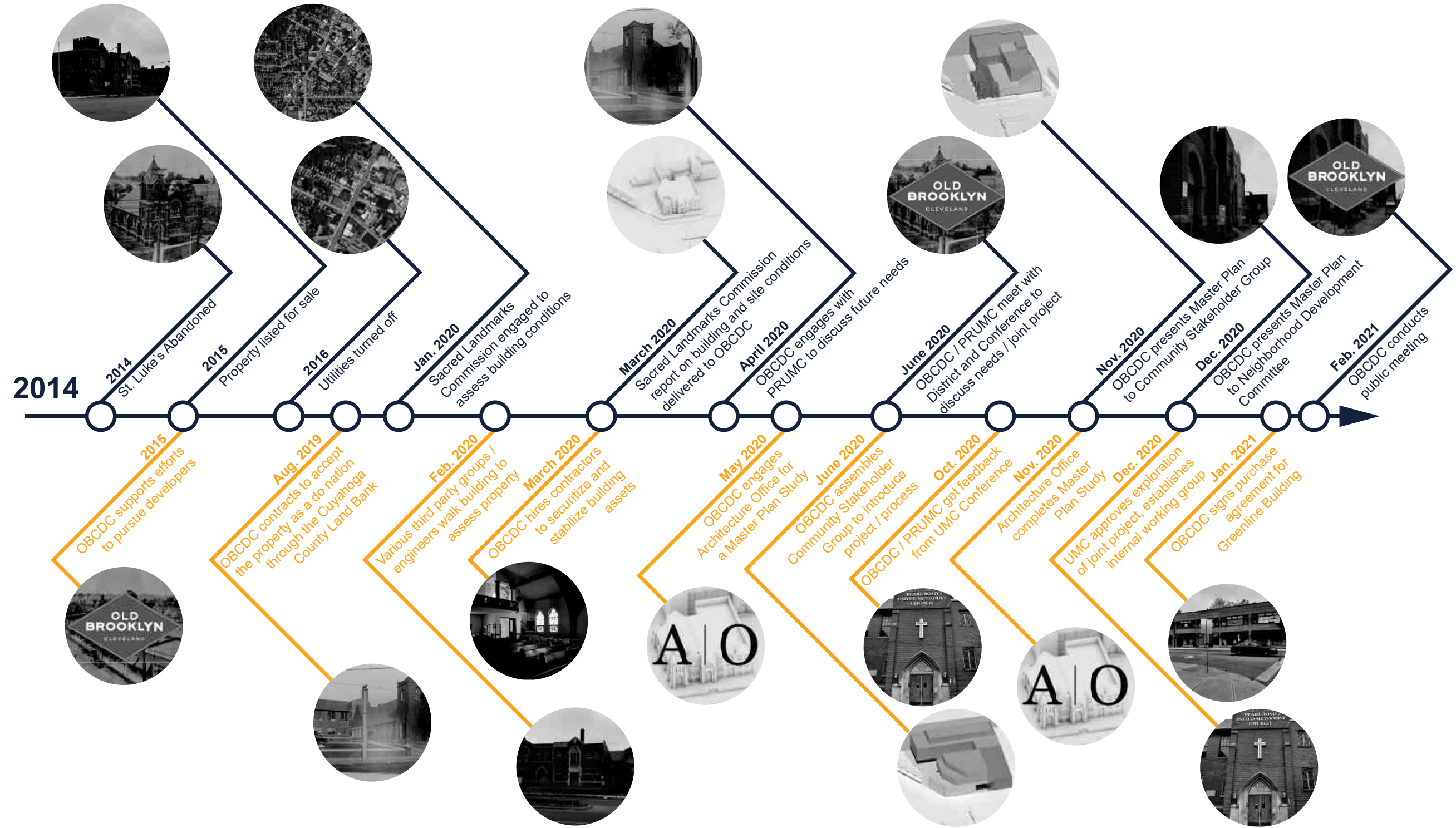
Memphis - Pearl Masterplan

02/18/2021

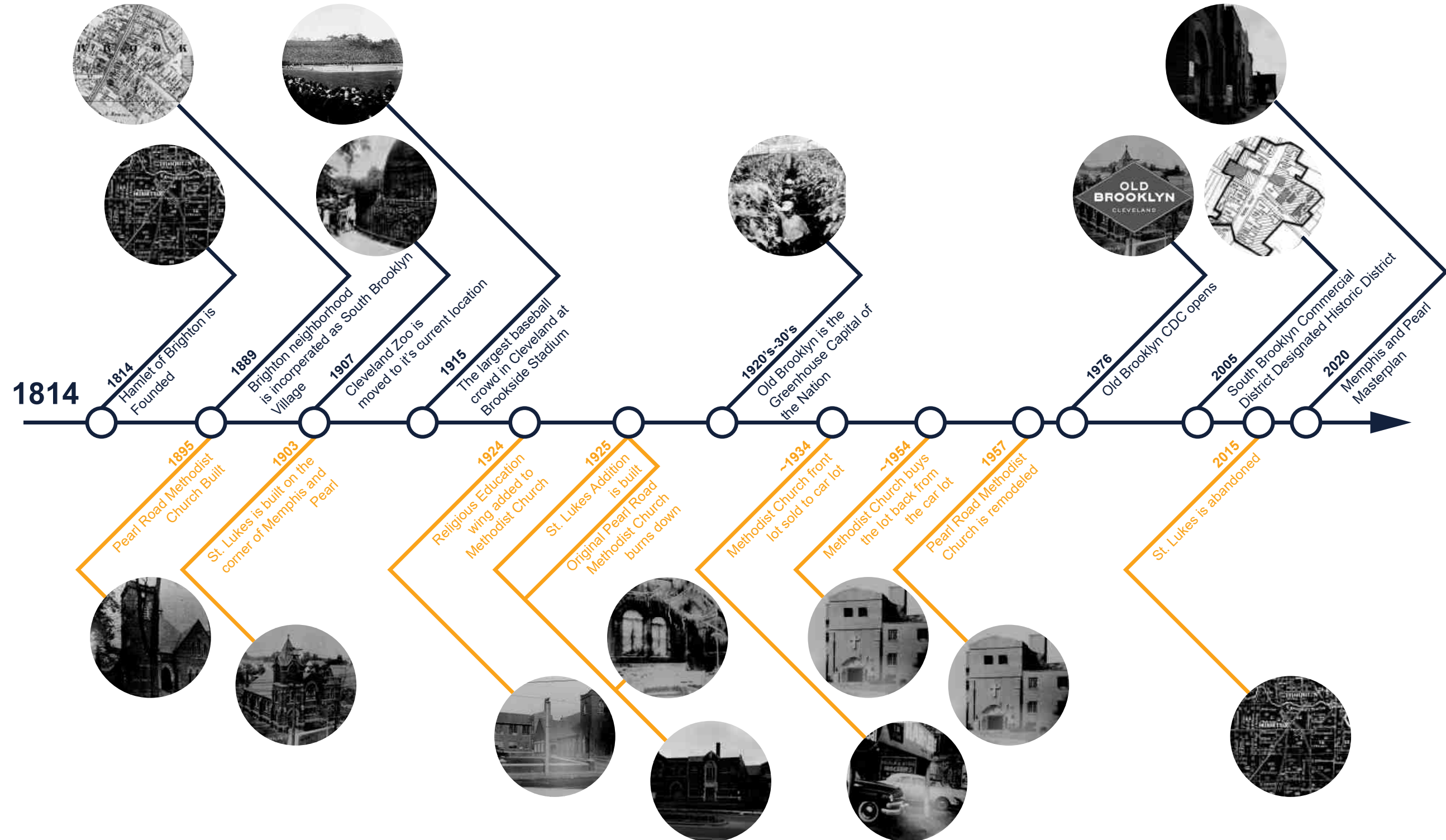
A|O

THE HEART OF
SOUTH BROOKLYN

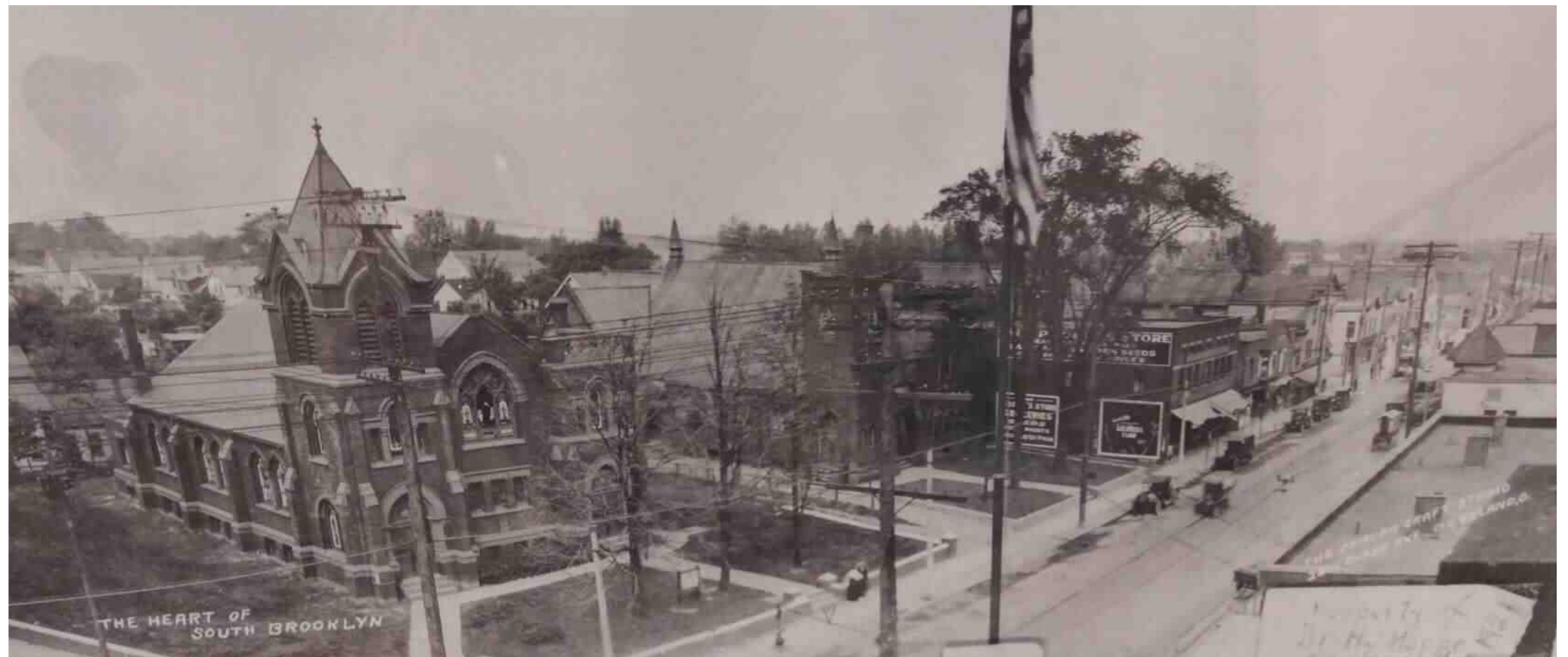
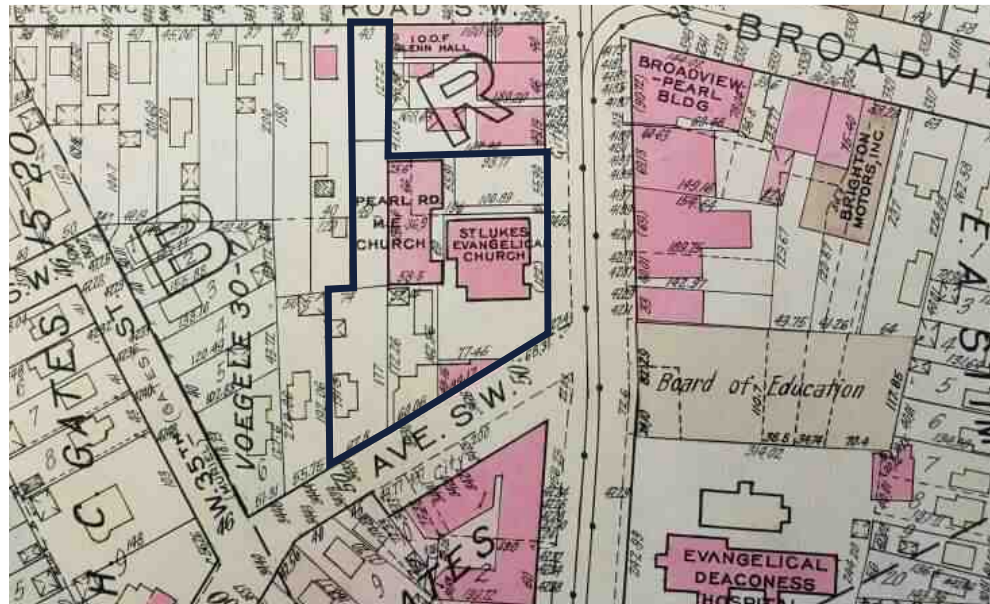
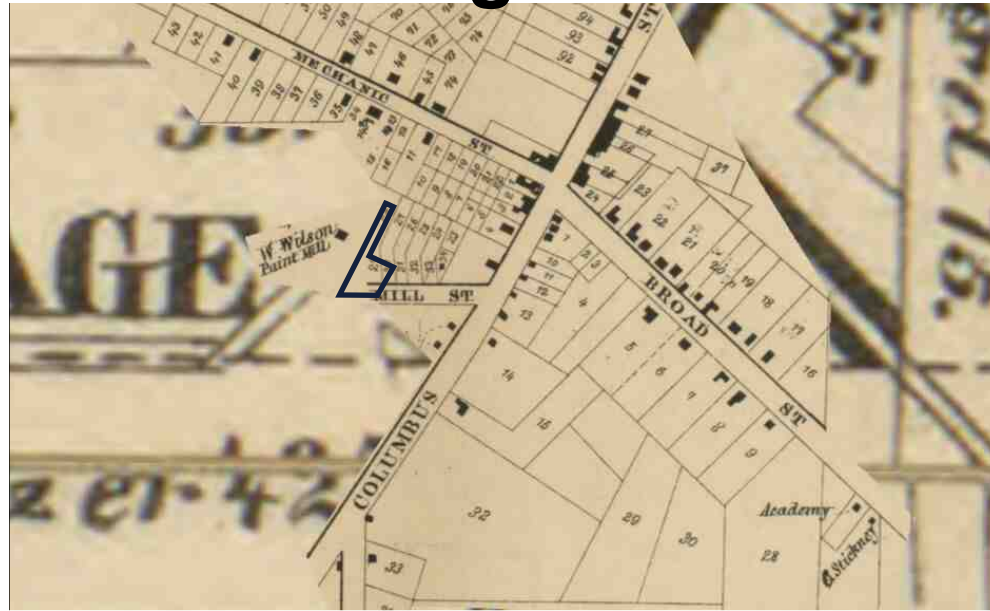
OBCDC + St. Luke's Timeline



Old Brooklyn Timeline

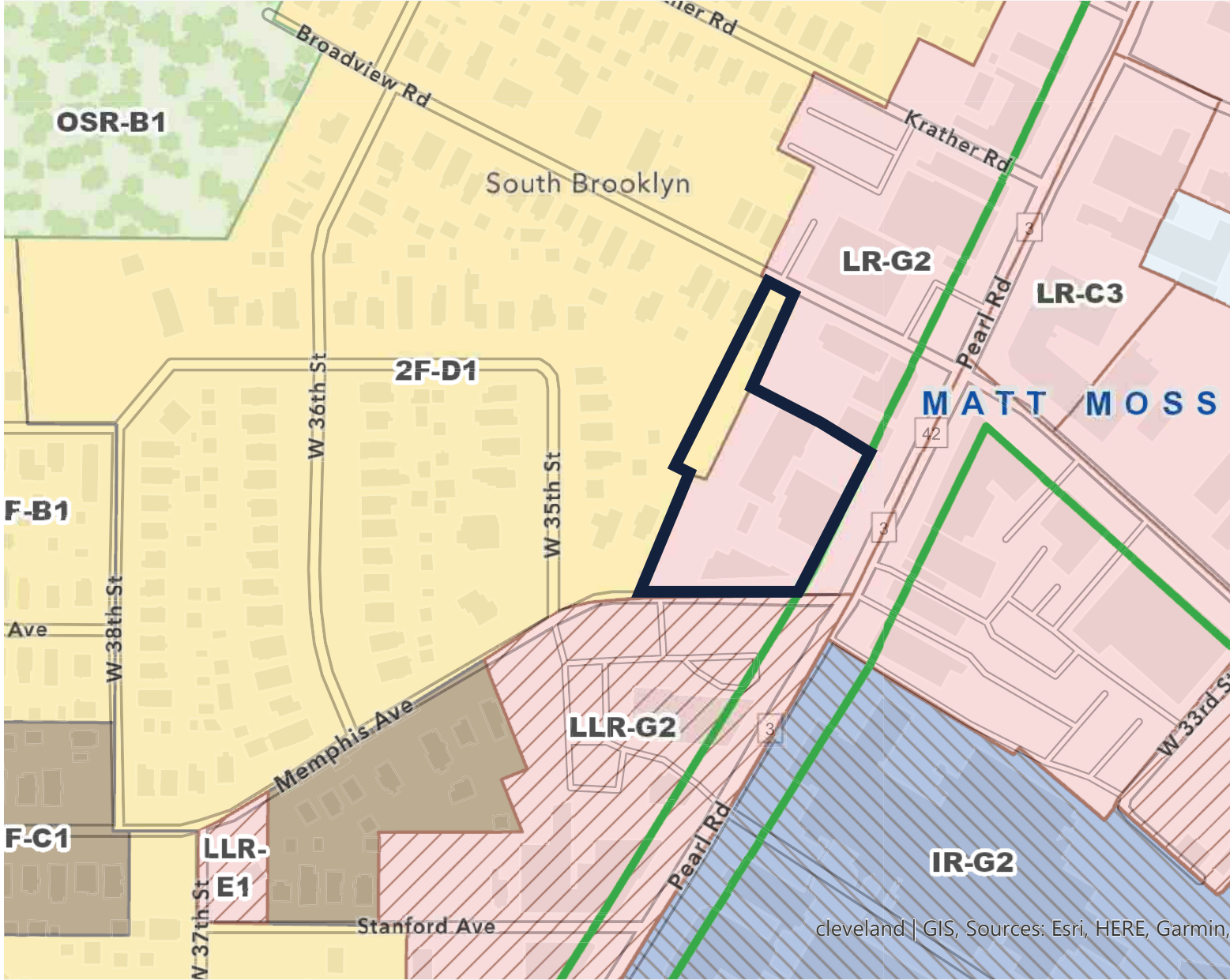


Historic Images



Pearl + Memphis Masterplan

Zoning Information



Use - Local Retail Business
 Height - 60'
 Max Gross Floor Area - 3 x Lot Area

- Two Family
- Local Retail
- Institutional Research
- Semi-Industrial
- Open Space Recreational
- Urban Frontage Line

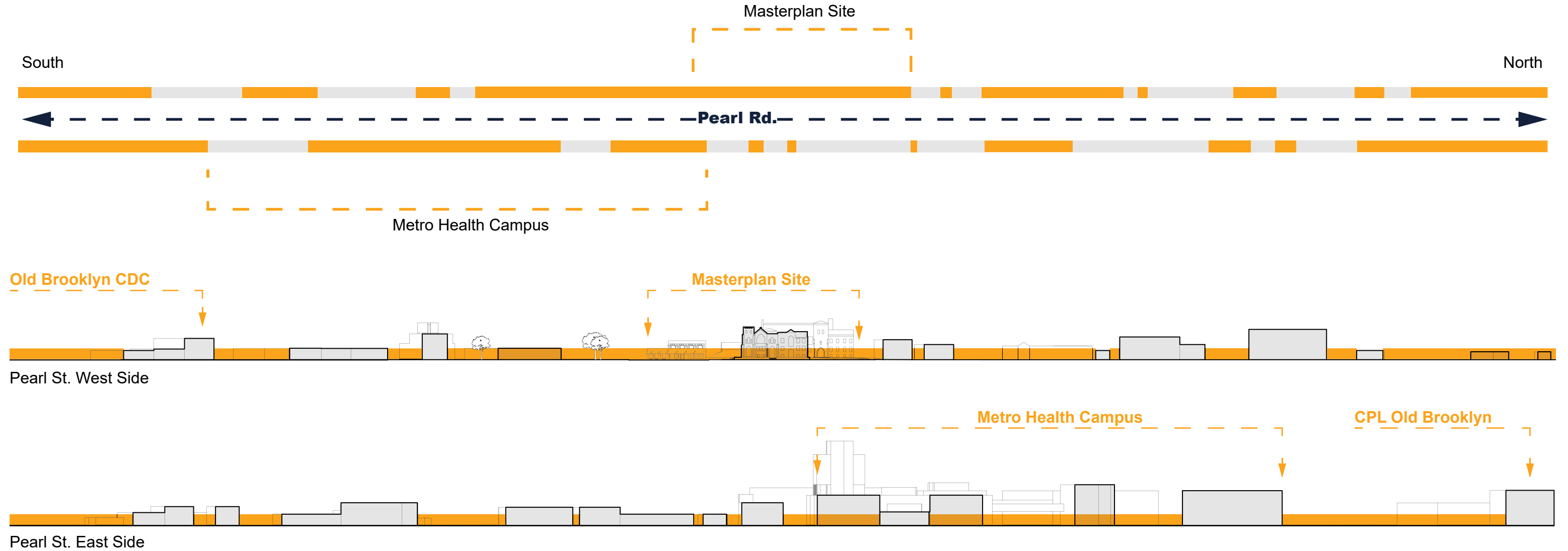
- Features required on principal frontage:**
 Porch, terrace or lightwell, forecourt, stoop, shopfront, gallery, arcade
- Front Yard Depth (Principal street frontage):**
 0 ft. min, 8 ft. max
- Front Yard Depth (Secondary street frontage):**
 0 ft. min, 6 ft. max
- Interior Side Yard Depth:**
 0 ft. min
- Rear Yard Depth:**
 3 ft. min

- First-story glazing, non-residential;** principal and secondary street:
 75% min. of the frontage buildout between 3' and 8' above grade (excluding streetscreens) shall be transparent windows and doors
- Frontage build-out;** principal street frontage: 80% min. of principal street frontage; 20% of this requirement may be met with a streetscreen
 Streetscreens shall be masonry and min. 3.5' in height
- Floor area ratio:**
 No max

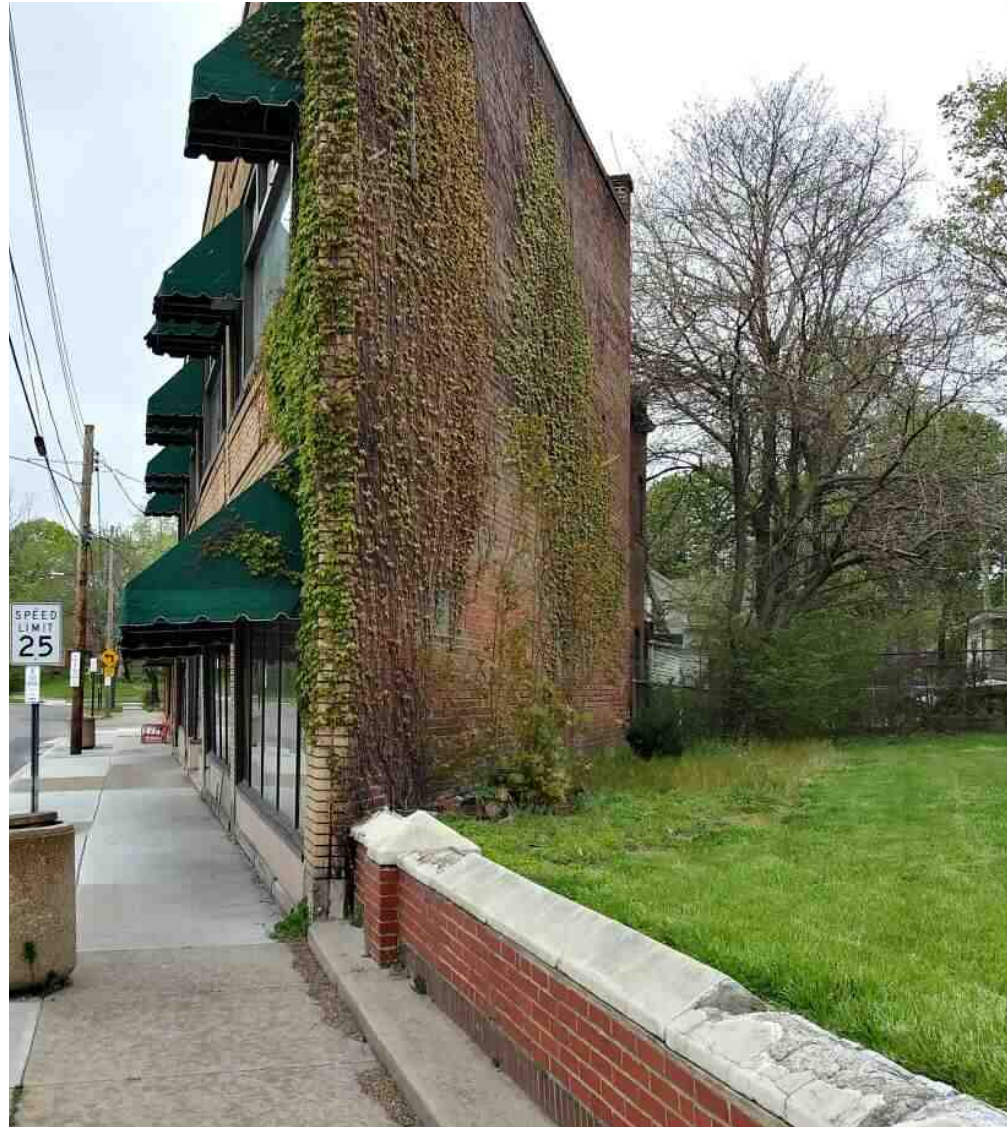
First-story glazing, residential: principal and secondary street: 45% min. of the frontage buildout between 3' and 8' above grade shall be transparent windows and doors.

Urban Fabric

Diagrams represent the walkability of each side of the street. The orange color represents urban gaps, while the gray color represents buildings along the street.



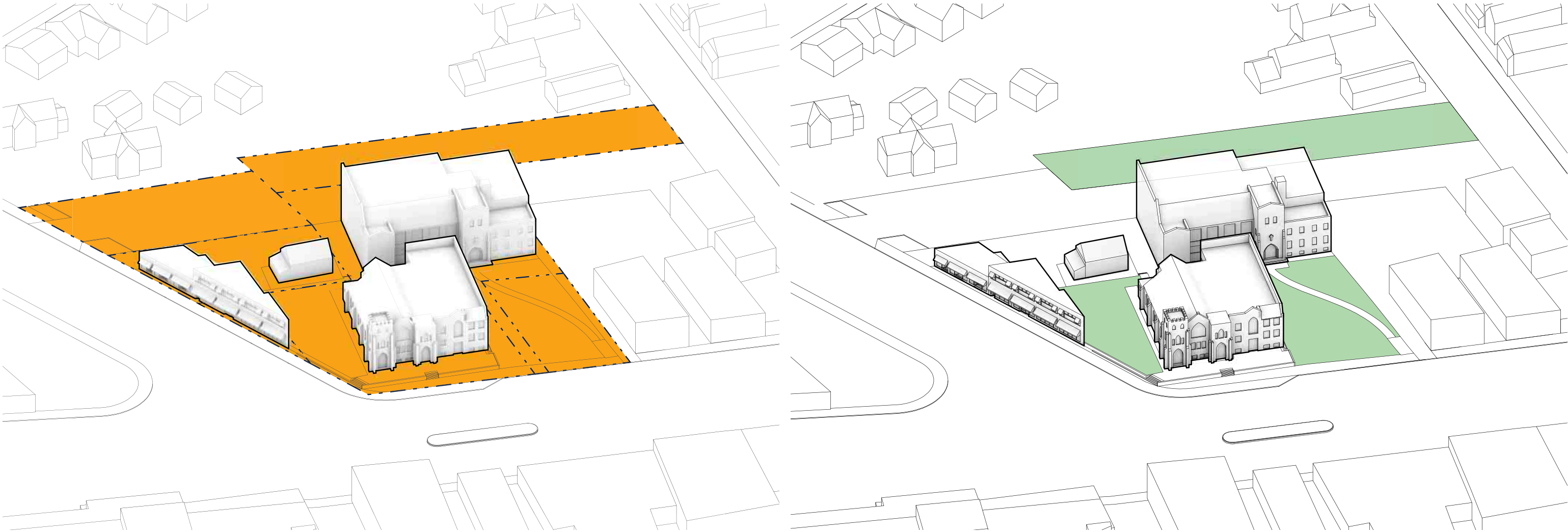
Context Photos



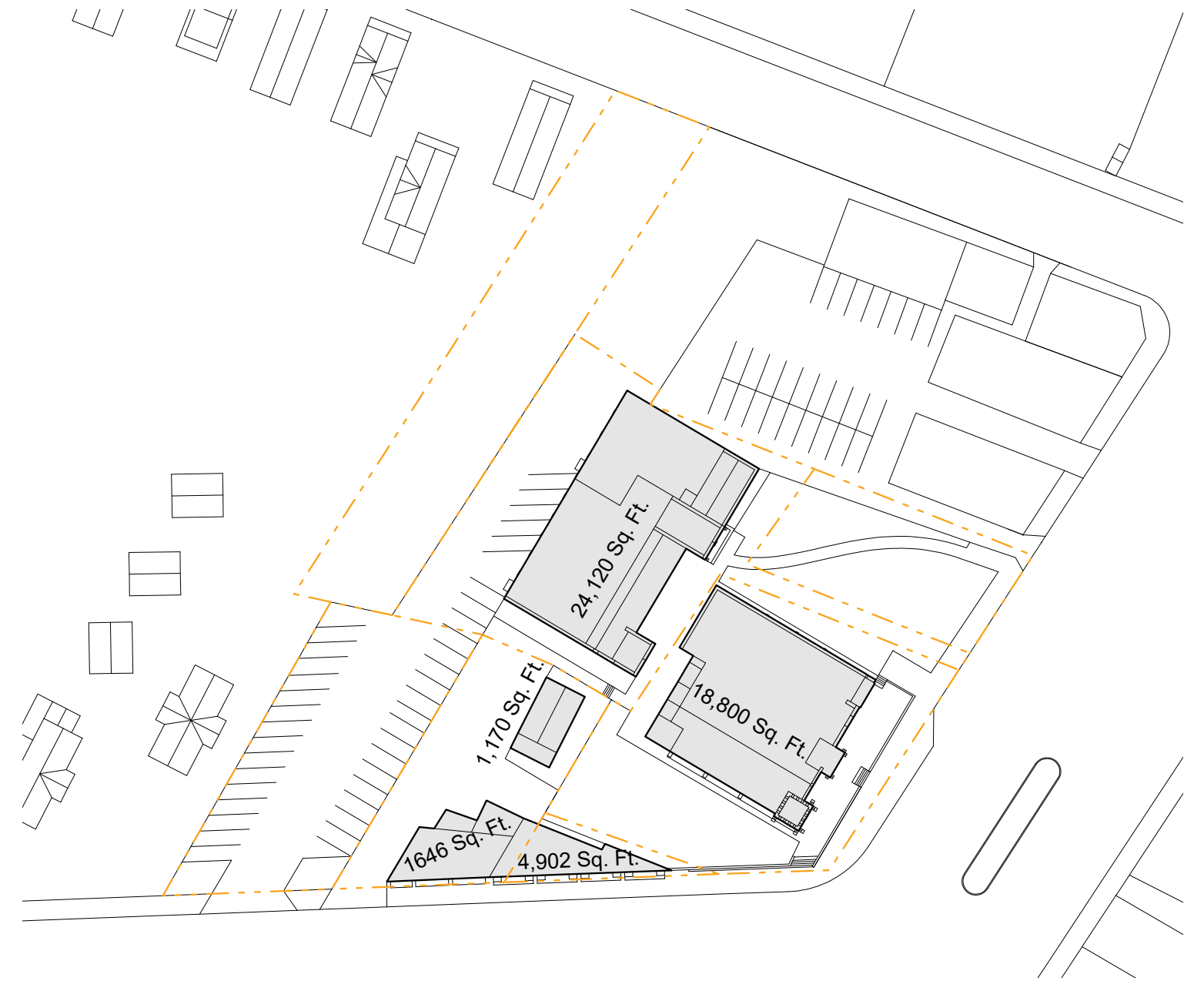
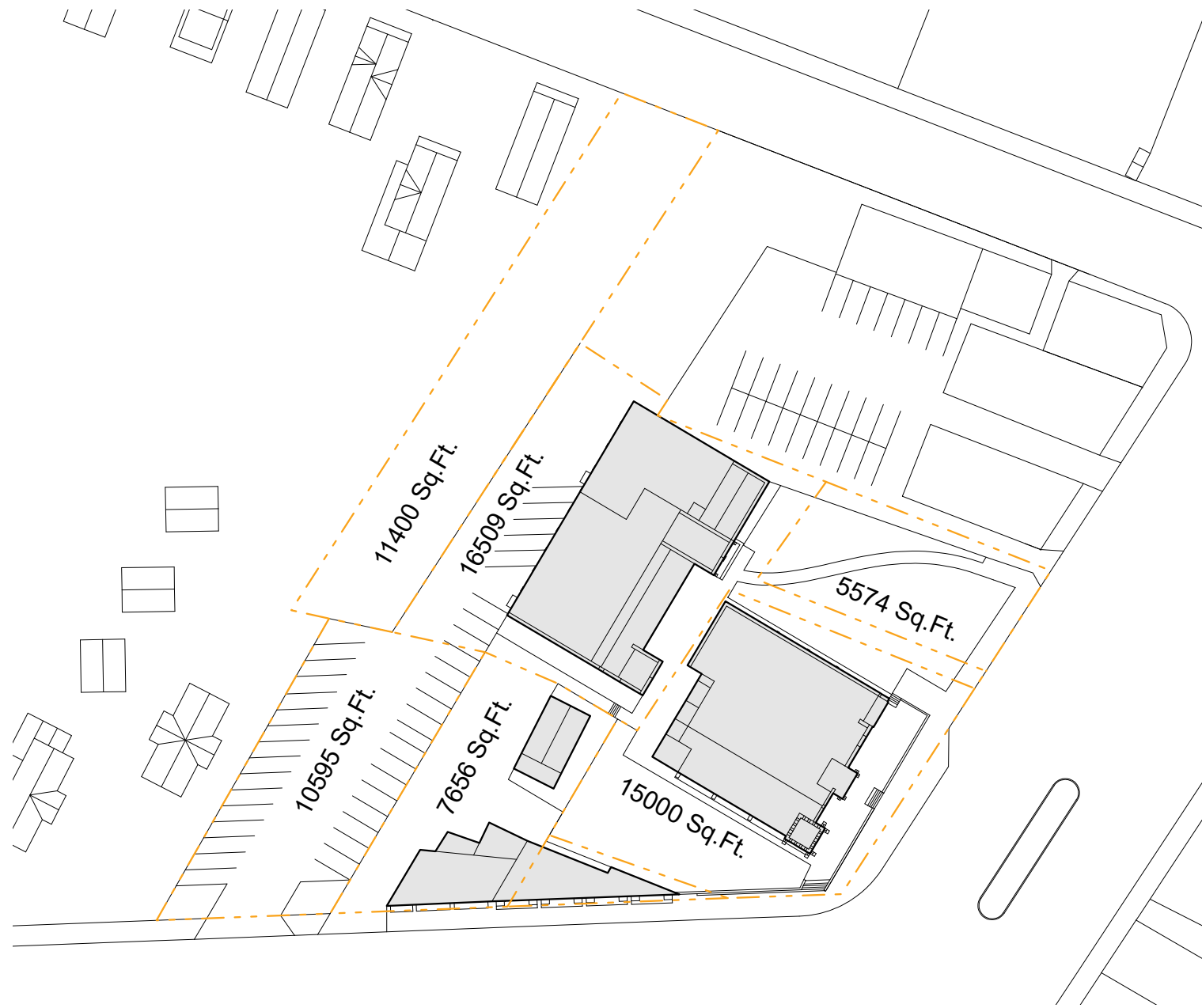
St. Luke's Conditions



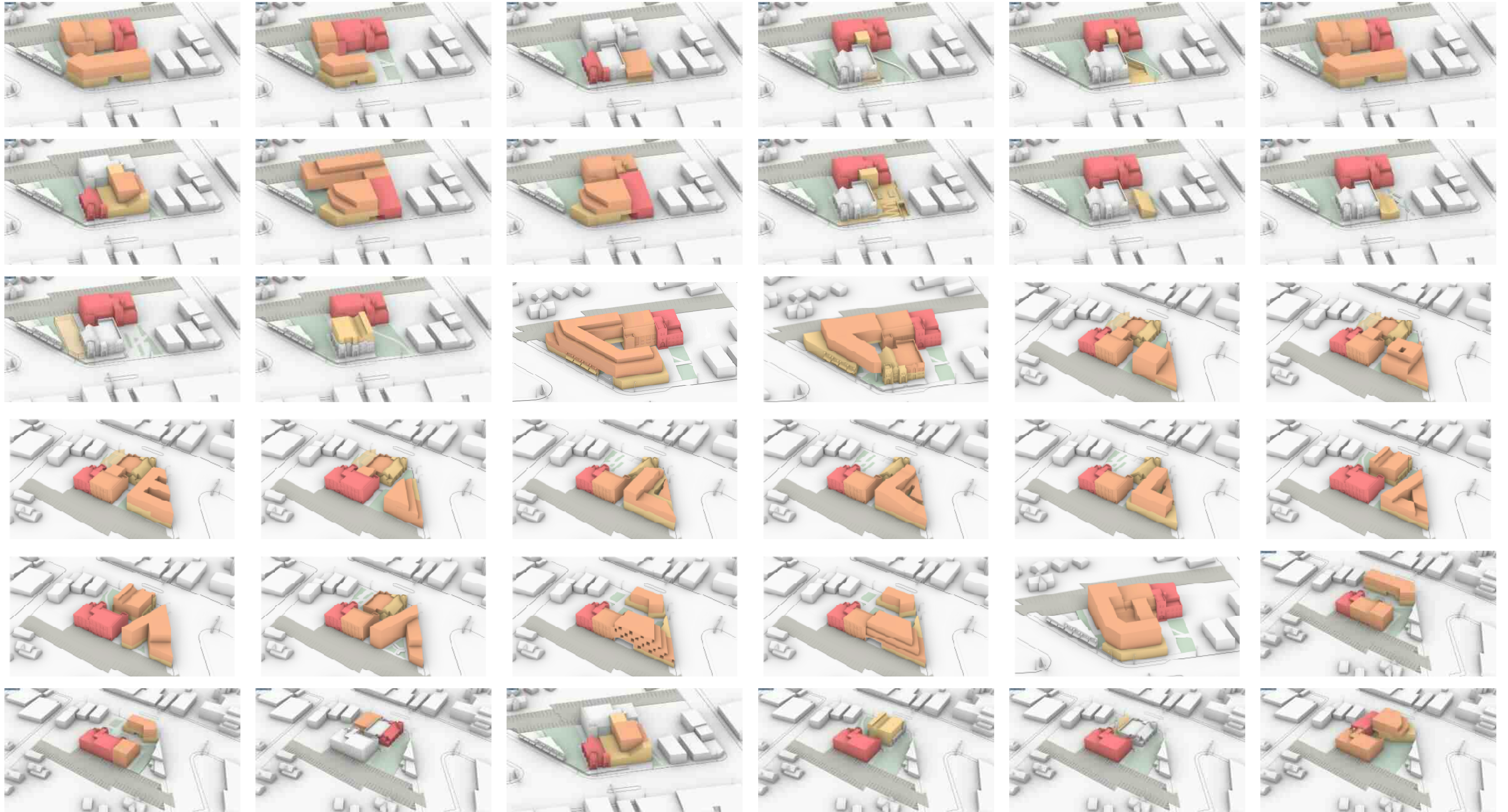
Parcels + Greenspace



Parcel + Building Areas



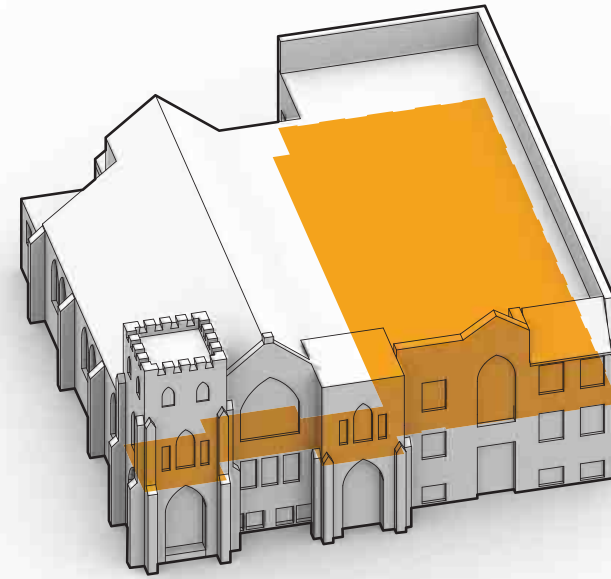
Envisioning a Future



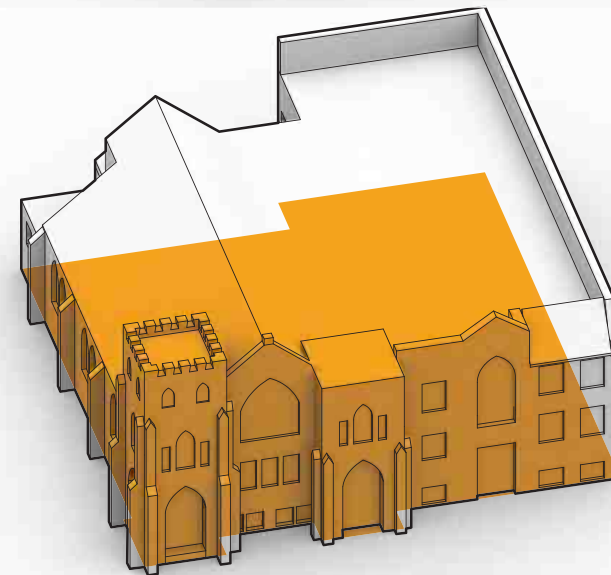
Scenario: Preservation

St. Luke's Floor Areas

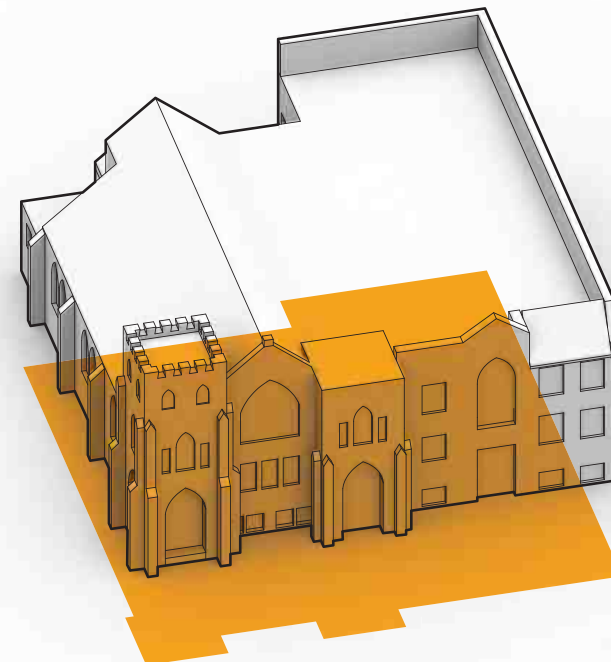
- Second floor size and configuration difficult for re-use.
- First floor is challenged by both a drastic slope in the sanctuary and significant elevation changes on the 1925 addition side.
- Basement spaces are subdivided, present accessibility and use issues.



Second Floor
& Mezzanine:
4000 sq.ft.

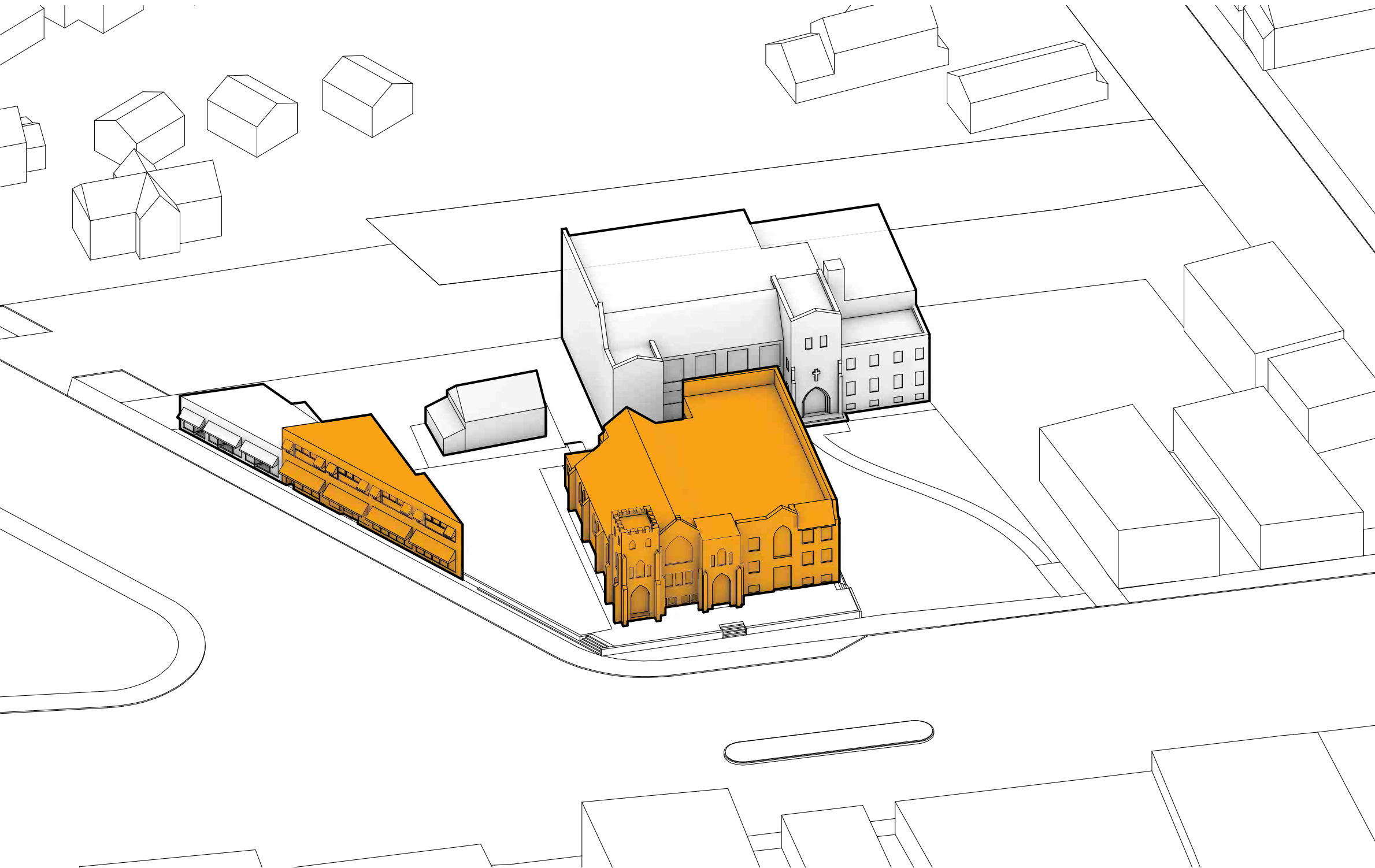


First Floor:
7400 sq.ft.



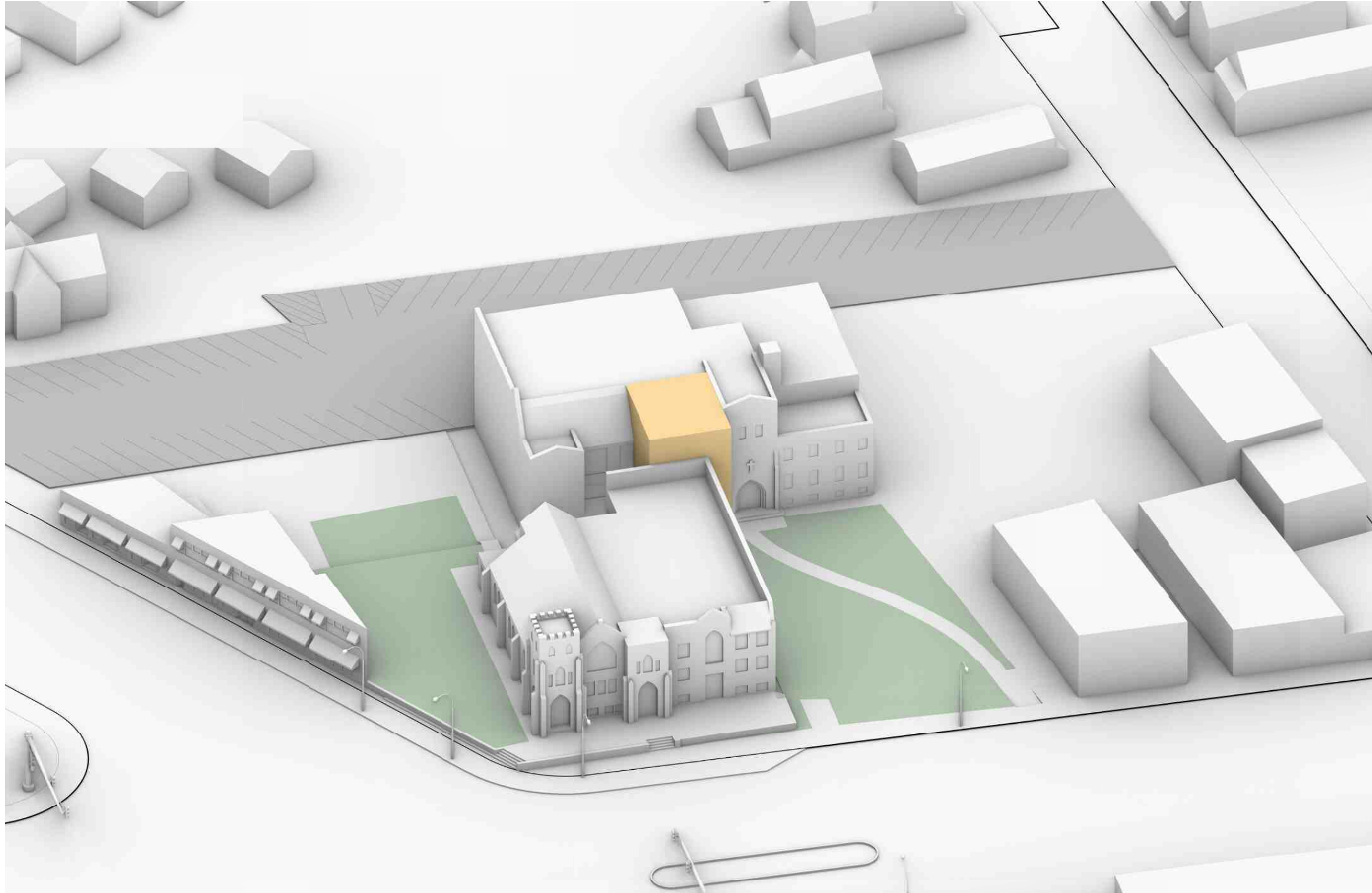
Basement:
7400 sq.ft.

Scenario: Preservation



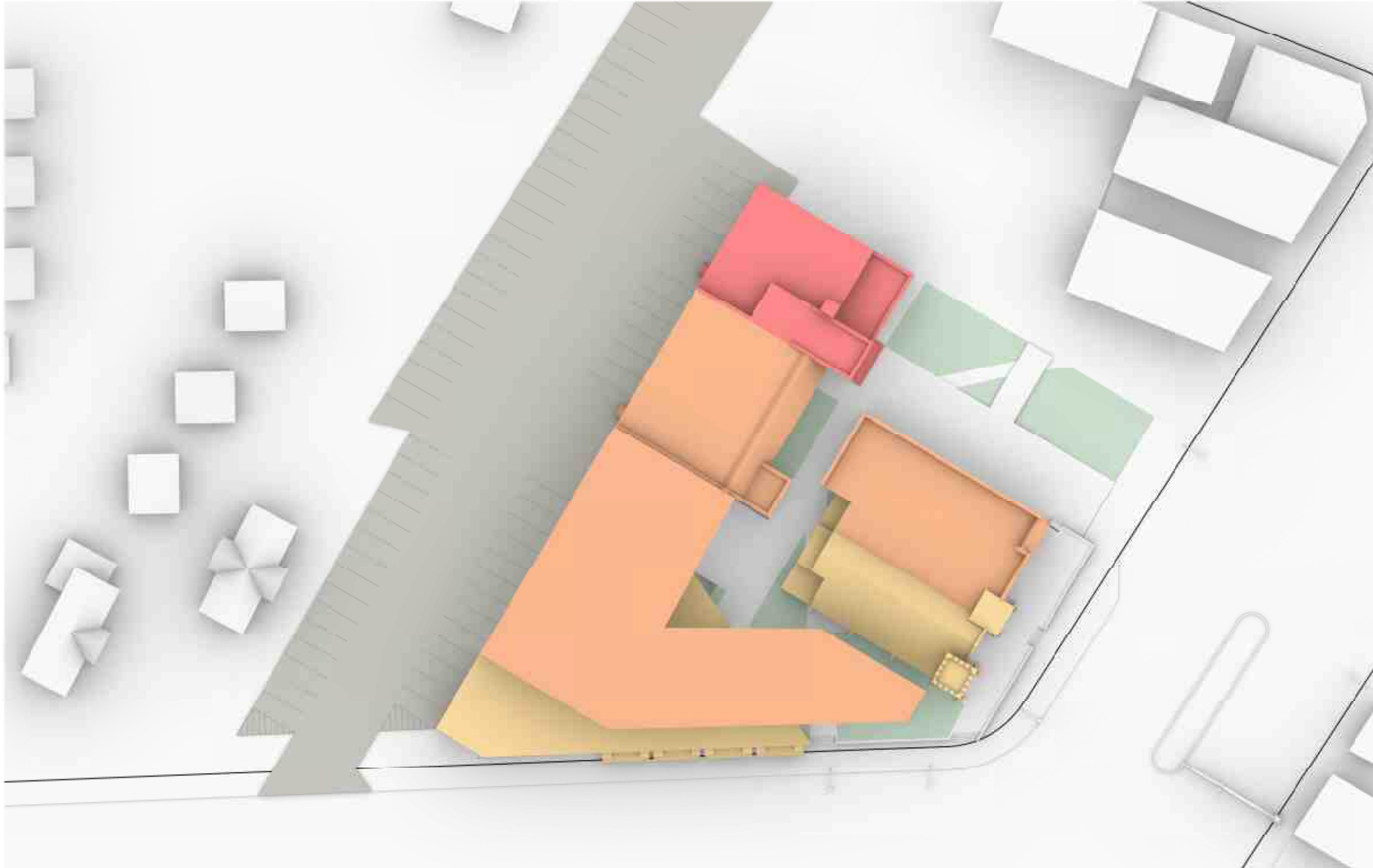
- Maintains all primary structures
- Does not help PRUMC, threatening viability
- Significant ramping requirements to meet ADA would change Pearl Rd. facade
- Limited economic impact; maximum 2-3 new businesses
- OBCDC gap subsidy required approximately 3 million USD for ~ 6 million USD project

Scenario: Preservation + PRUMC Linkage



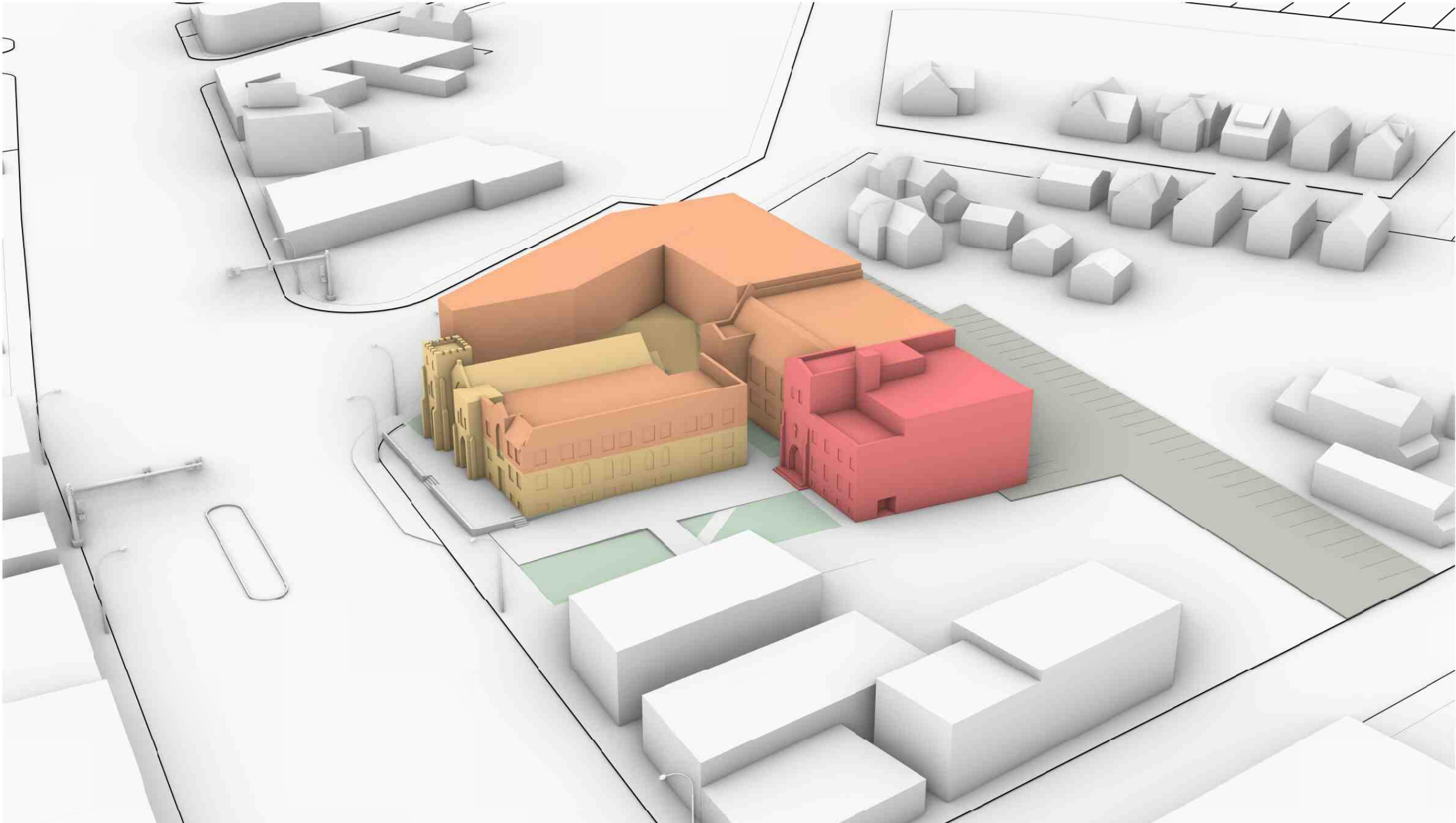
- Maintains all primary structures
- Establishes a pathway forward for PRUMC existing; financial burden remains
- Significant ramping requirements to meet ADA would change Pearl Rd. facade
- Limited economic impact; maximum 2-3 new businesses.
- OBCDC subsidy required between 2 & 3 million USD for ~ 5 Million USD project.

Scenario: Preservation + New Construction



- Maintains all primary structures.
- Best scenario for PRUMC operations, visibility & long-term viability.
- Significant ramping requirements to meet ADA would change Pearl Rd. facade.
- Significant economic impact; 2-3 new businesses & 35-50 apartments.
- OBCDC subsidy required estimated at 3 million USD for a ~ 25 million USD project.

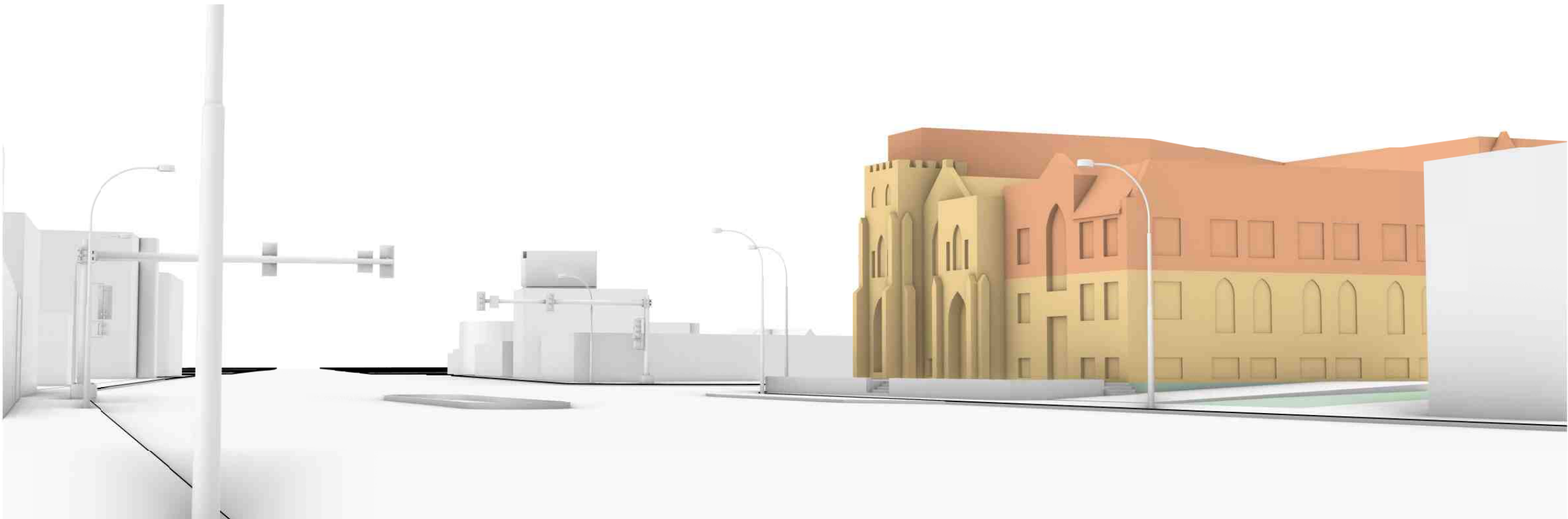
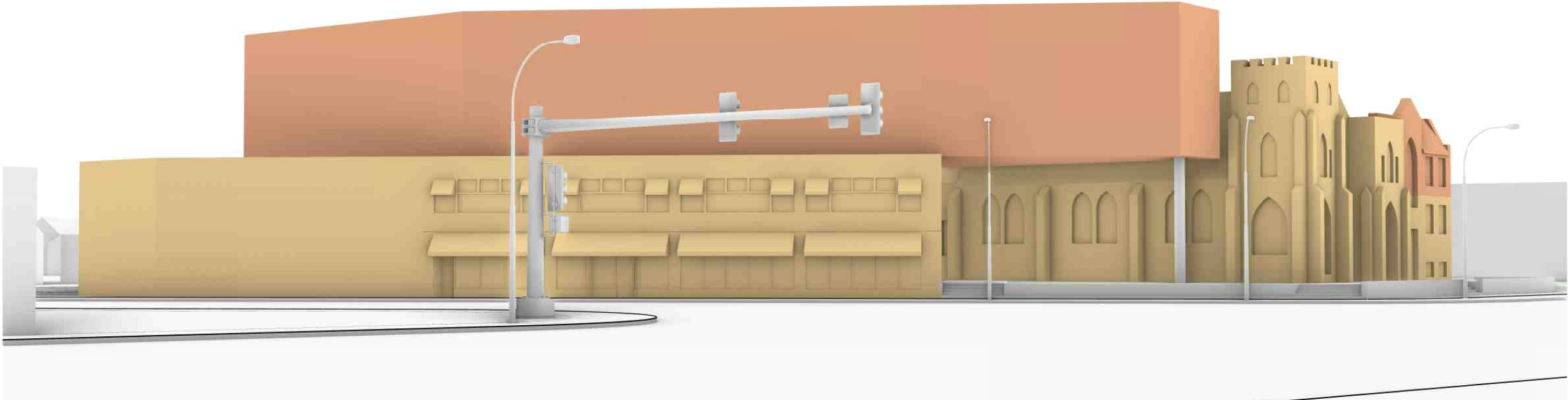
Scenario: Preservation + New Construction



- Retail
- Residential
- PRUMC

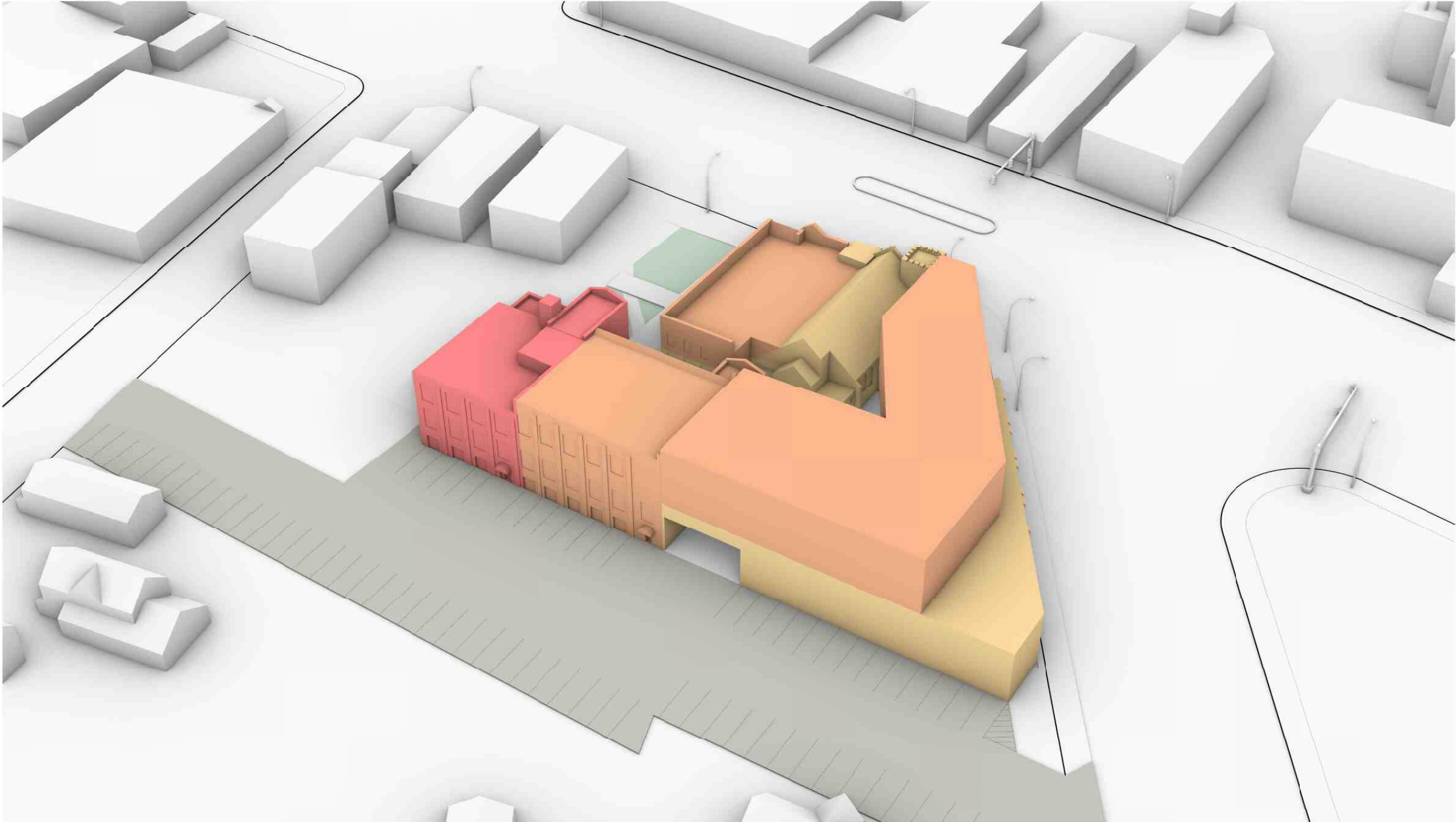
Scenario: Preservation + New Construction

- Retail
- Residential
- PRUMC

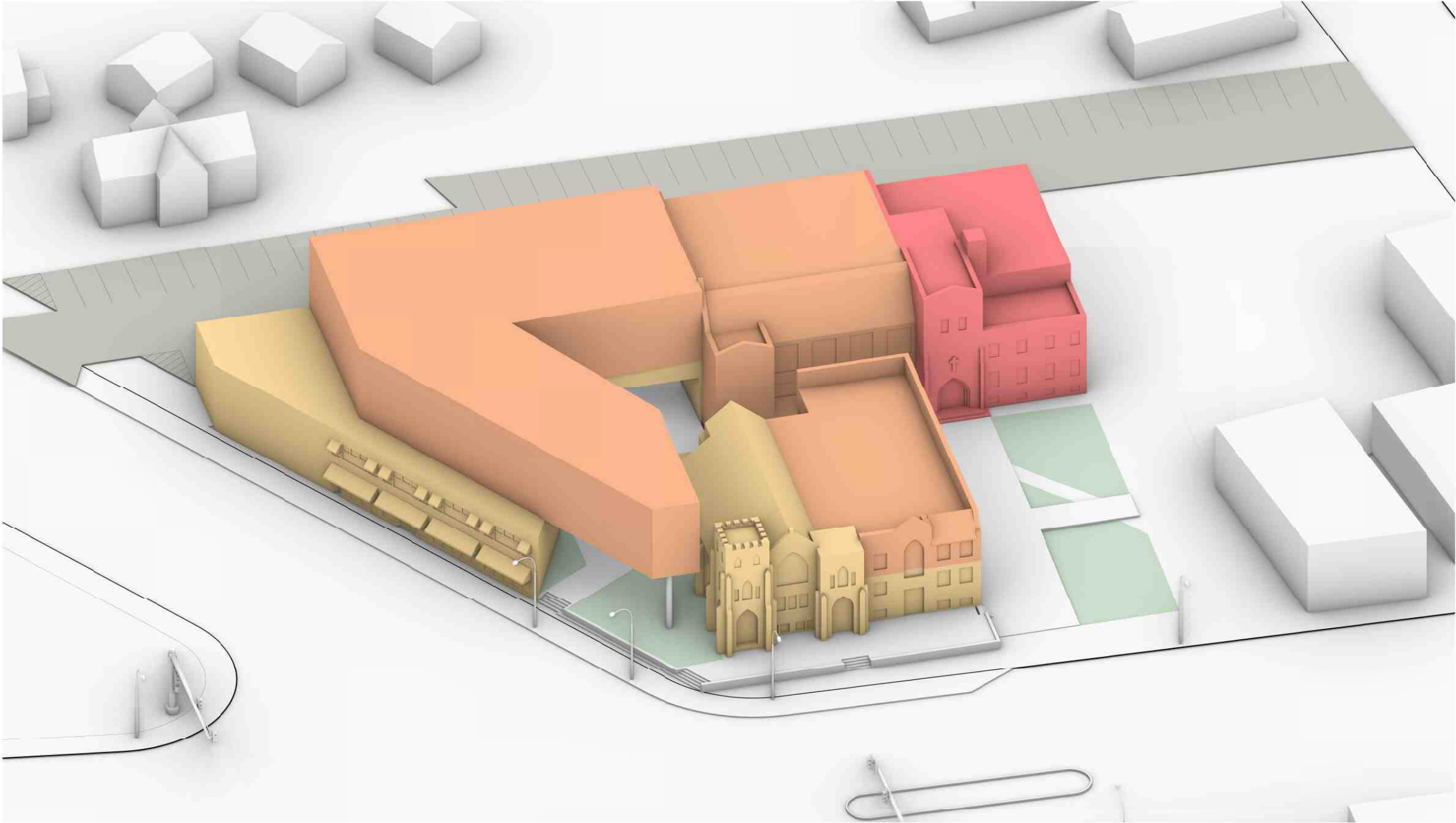


Scenario: Preservation + New Construction

- Retail
- Residential
- PRUMC



Scenario: Preservation + New Construction



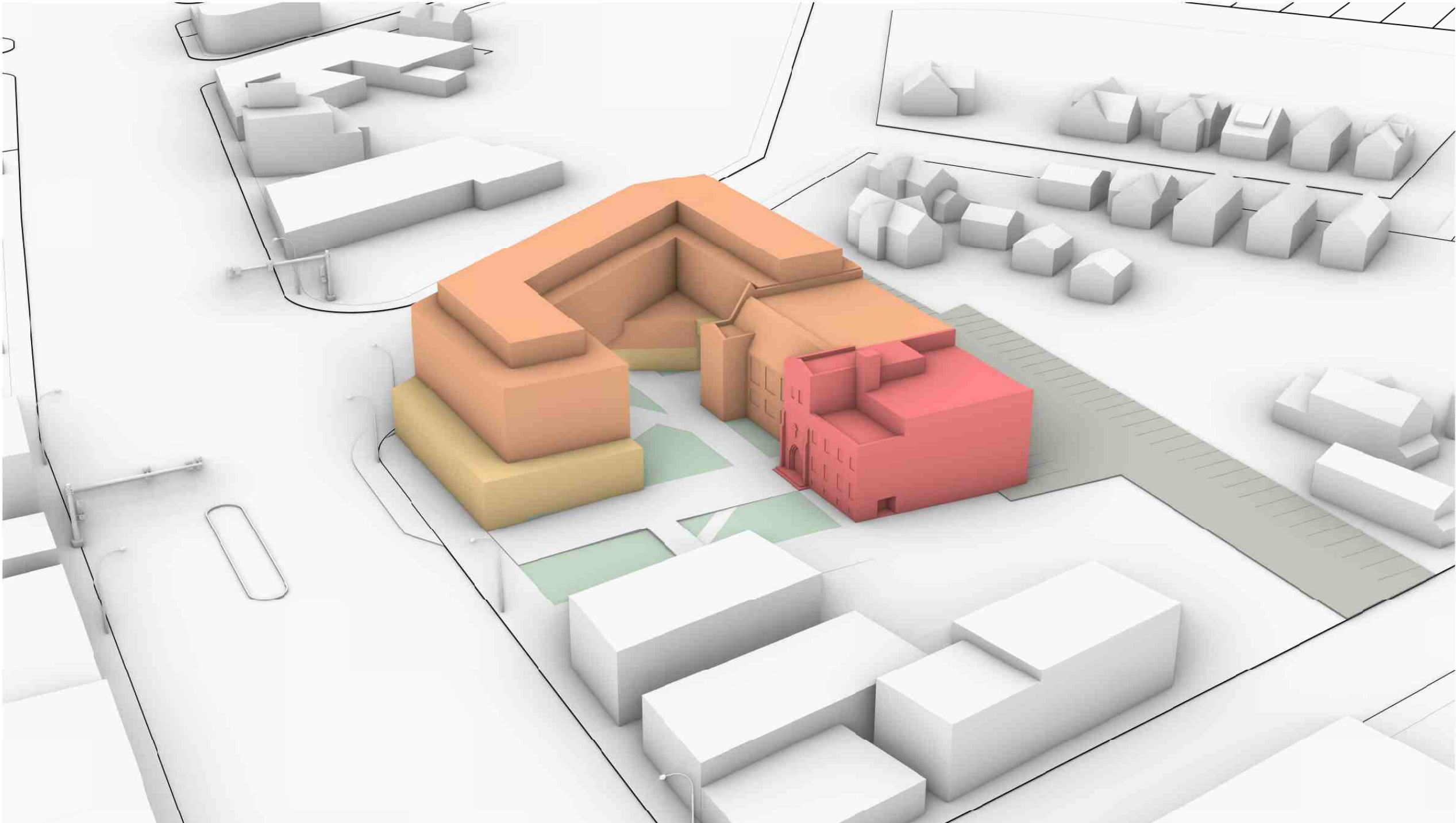
- Retail
- Residential
- PRUMC

Scenario: Redevelopment + PRUMC Linkage



- Lose St. Luke's structure
- Best scenario for PRUMC operations, visibility & long-term viability.
- Transformation of the community gathering space.
- Significant economic impact; 4-6 new businesses & 55-70 apartments.
- Limited or no OBCDC subsidy needed for a ~ 25 million USD project.

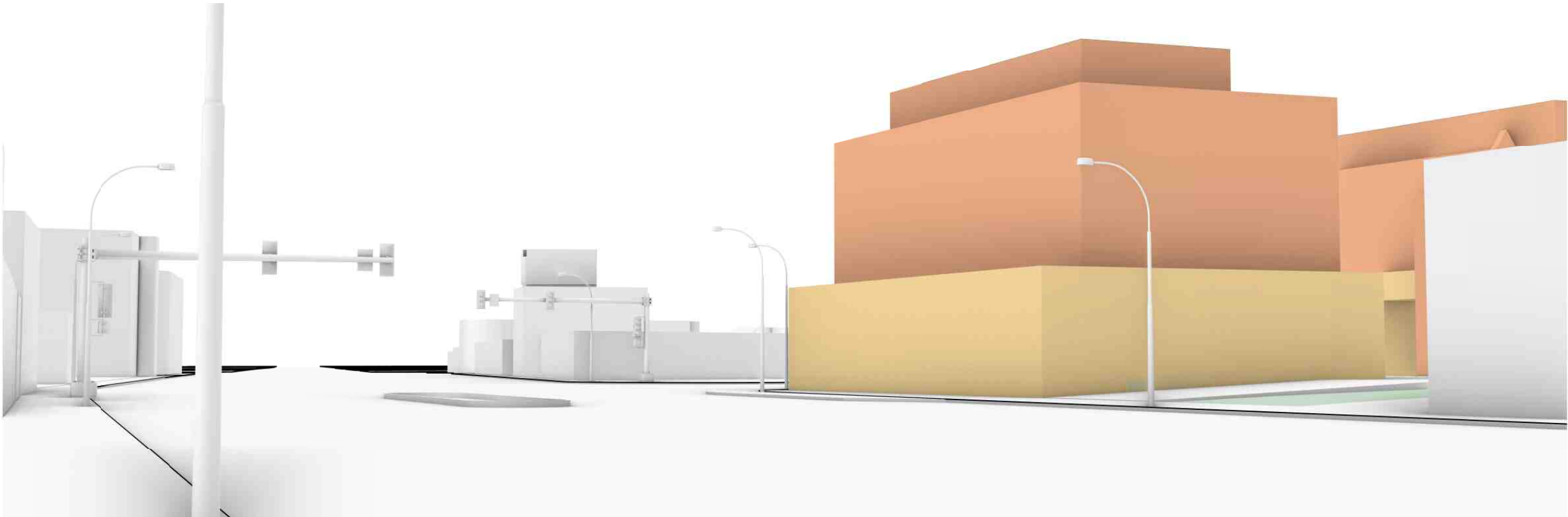
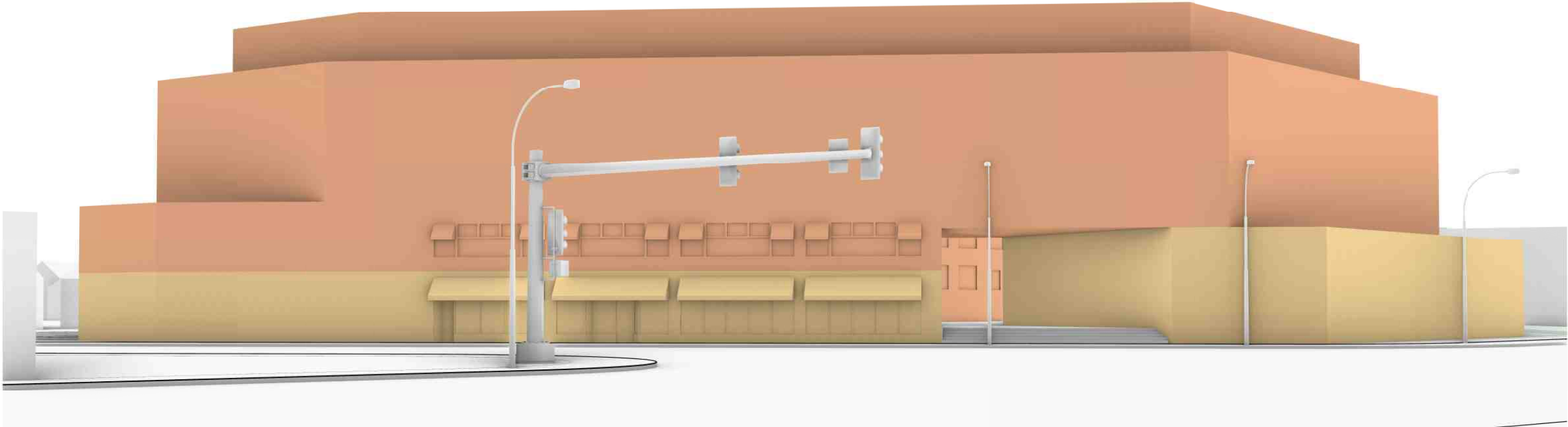
Scenario: Redevelopment + PRUMC Linkage



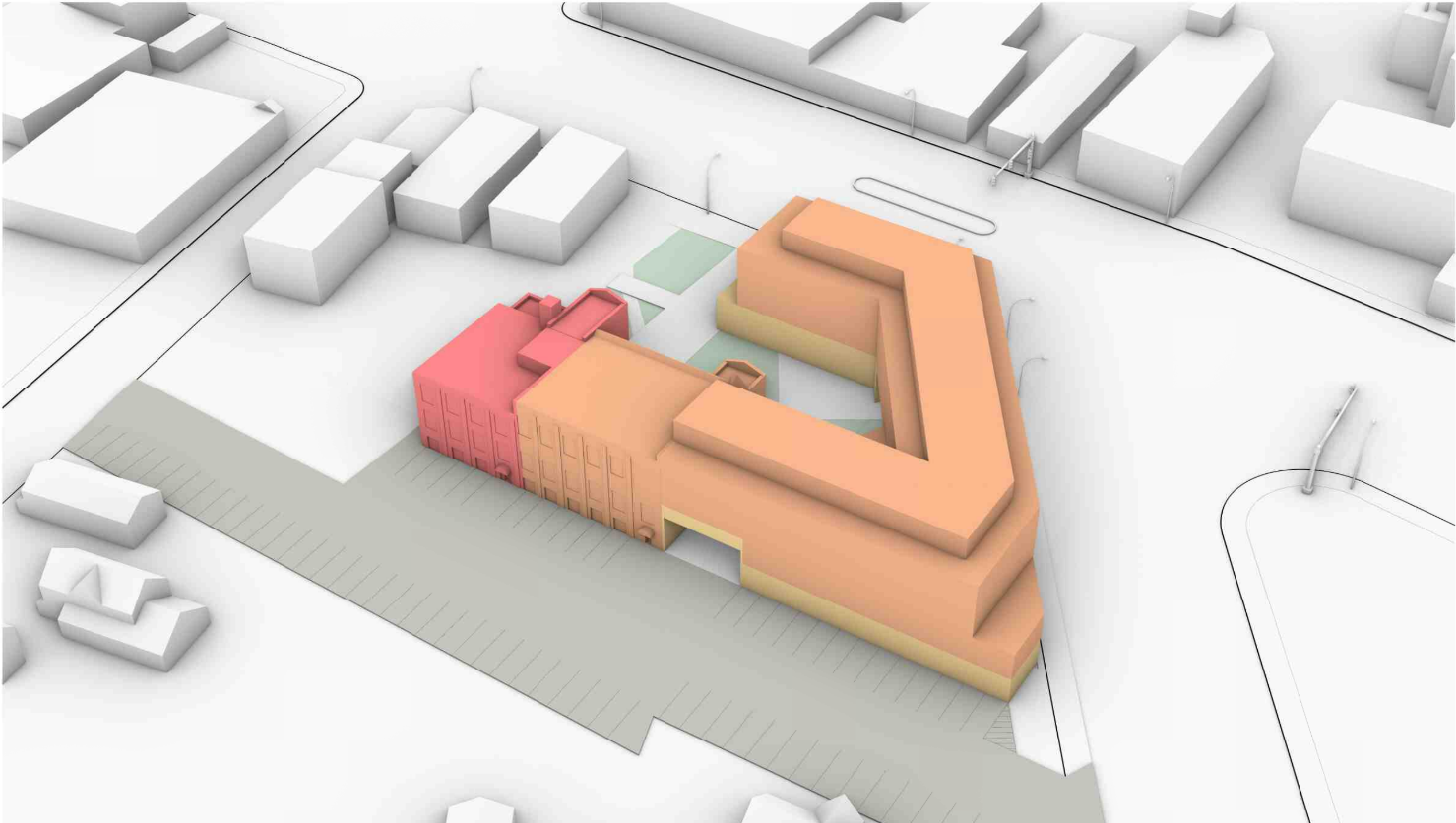
- Retail
- Residential
- PRUMC

Scenario: Redevelopment + PRUMC Linkage

- Retail
- Residential
- PRUMC



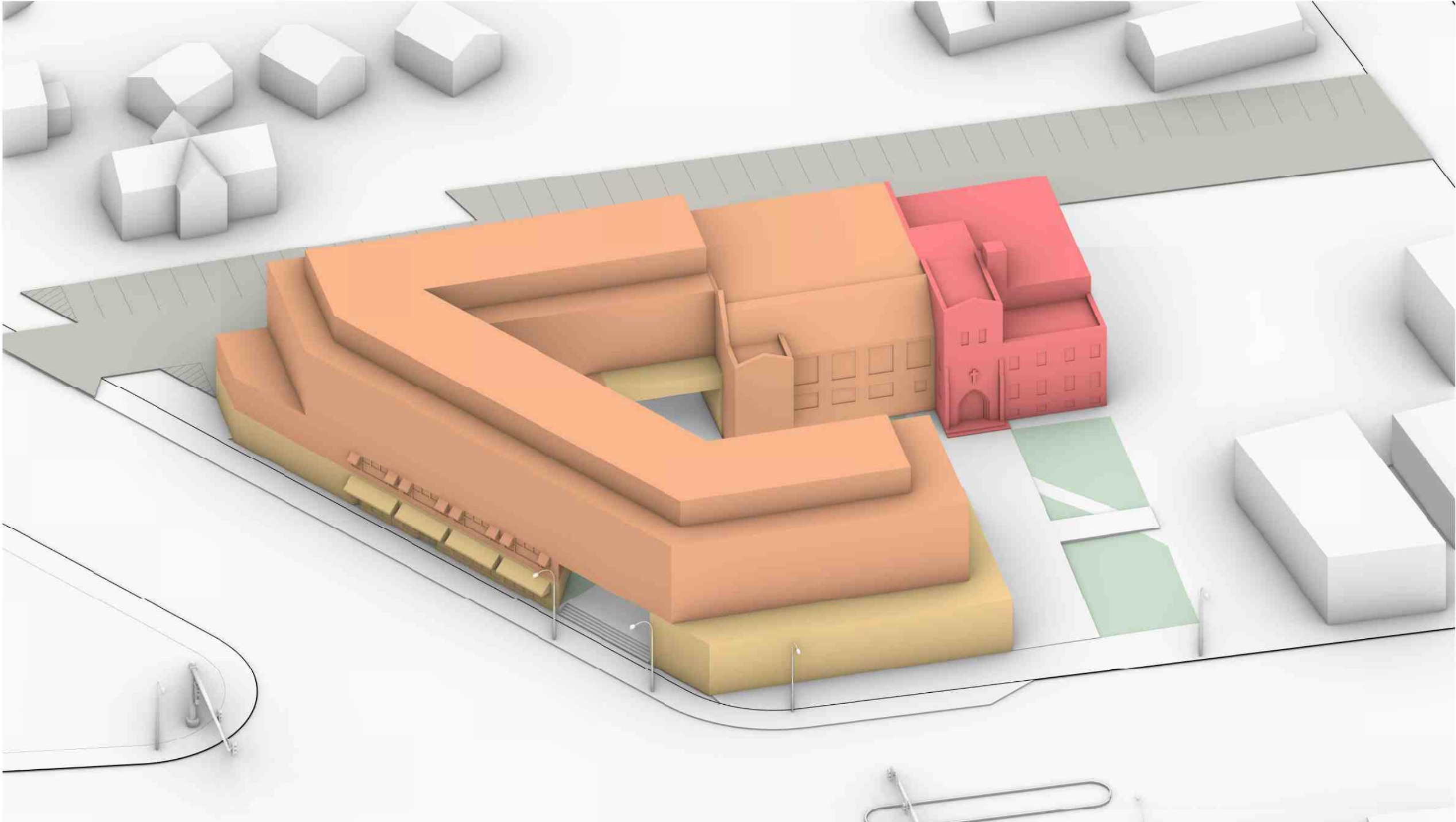
Scenario: Redevelopment + PRUMC Linkage



- Retail
- Residential
- PRUMC

Scenario: Redevelopment + PRUMC Linkage

- Retail
- Residential
- PRUMC



Thank You!

Questions:

Comments:

Next Steps:



Near West Design Review Case

March 5, 2021



NW2021-004 – Emerson Townhomes New Construction: Seeking Final Approval

Project Address: 1500 Starkweather Avenue

Project Representative: Westleigh Harper, Horton Harper Architects

EMERSON TOWNHOMES

STARKWEATHER AVENUE & WEST 15TH STREET
TREMONT

Yakira Development Corp

HH HORTON HARPER
ARCHITECTS



DOWNTOWN

CUYAHOGA RIVER

SR-2 SHOREWAY

WEST 25TH STREET

DUCK ISLAND

I-90 / I-71

OHIO CITY

W14TH STREET

TREMONT

EMERSON TOWNHOMES

STARKWEATHER AVENUE

Vicinity Map
NTS N^



View of Site from Southeast



View East towards W15th Street & Pilgrim Church



Context on North side of Starkweather, East of Site



View North on W15th Street

Context

STARKWEATHER AVENUE

100.00'

33.00'

33.00'

City of Cleveland
Parcel: 004-11-029

16.00'

Larry Zukerman
Parcel: 004-11-030

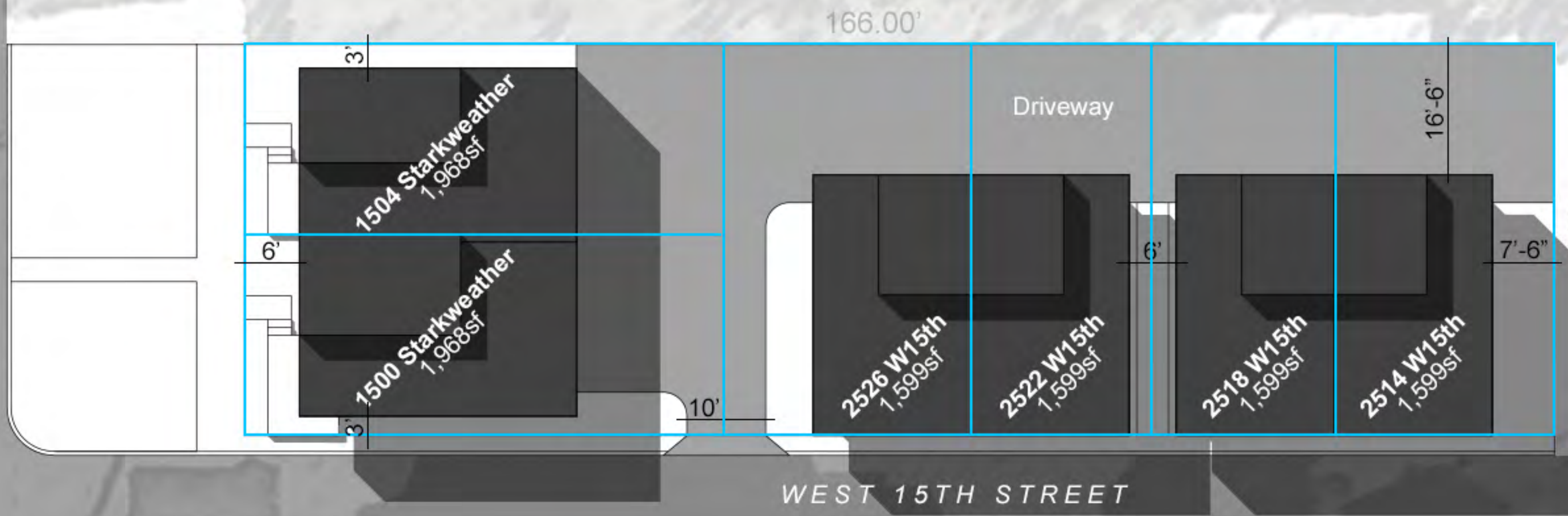
Larry Zukerman
Parcel: 004-11-090

49.00'

WEST 15TH STREET

Existing Parcel Plan
Scale: 1" - 25'-0" N>

STARKWEATHER AVENUE



Site Plan

Scale: 1" - 25'-0" N>



S - Sedum "John Creech"



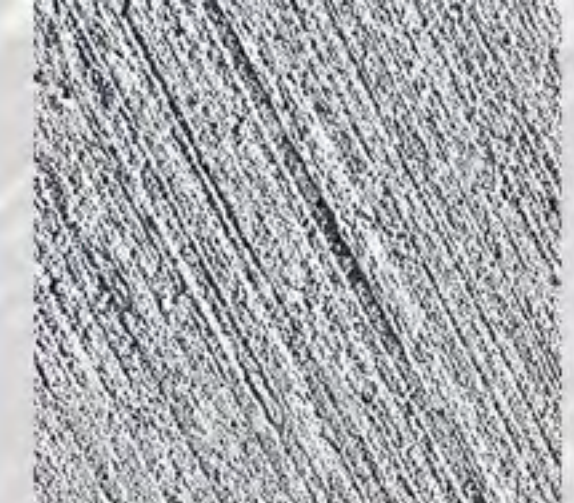
CG - Crushed Gravel



FD - Flowering Dogwood



LP - London Plane Tree

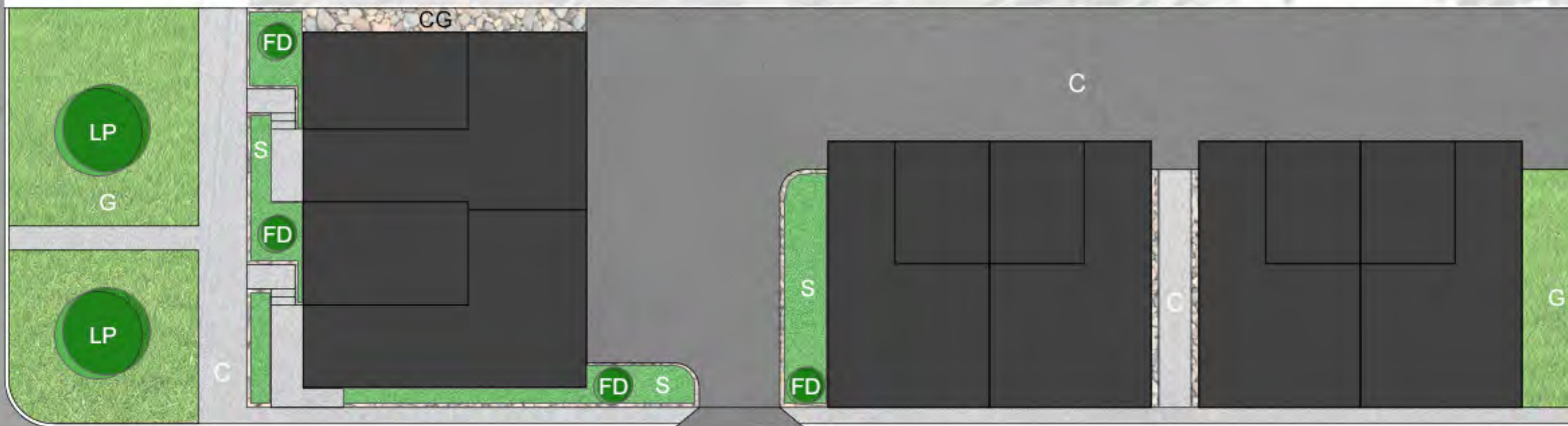


C - Broom Fin. Conc.



G - Grass

STARKWEATHER AVENUE



WEST 15TH STREET

Note: See exterior elevations for exterior light locations

Landscape Plan
Scale: 1" - 25'-0" N>



Sunrise View from Starkweather



View from W15th & Starkweather



W15th Street Units



W15th Street View



Aerial



Starkweather Units



Starkweather Unit Living Room



Starkweather Unit Kitchen



Starkweather Unit Master Bedroom



Starkweather Unit Master Bathroom



Starkweather Unit Roof Deck



West 15th Street Unit Living Room



West 15th Street Unit Master Bedroom



5" Exposure Lapped Cement Board



Smooth Finished Concrete



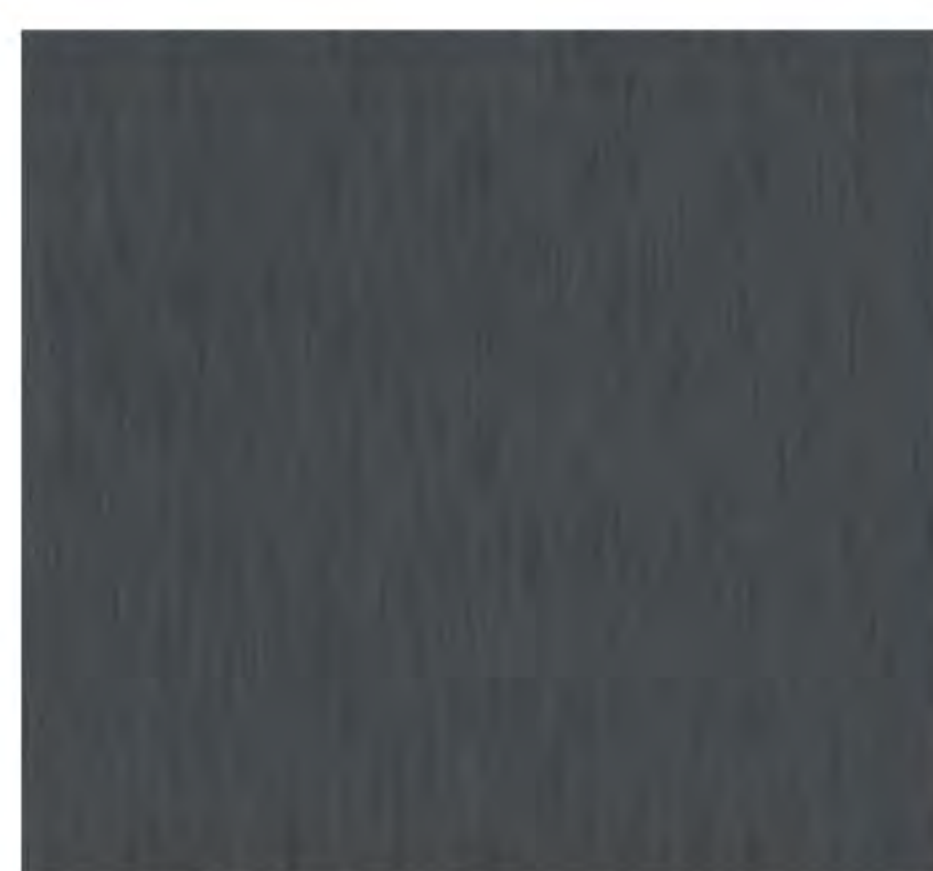
Vertical Wood Cladding



Facade Uplighting



Fiberglass Windows



Prefinished Aluminum

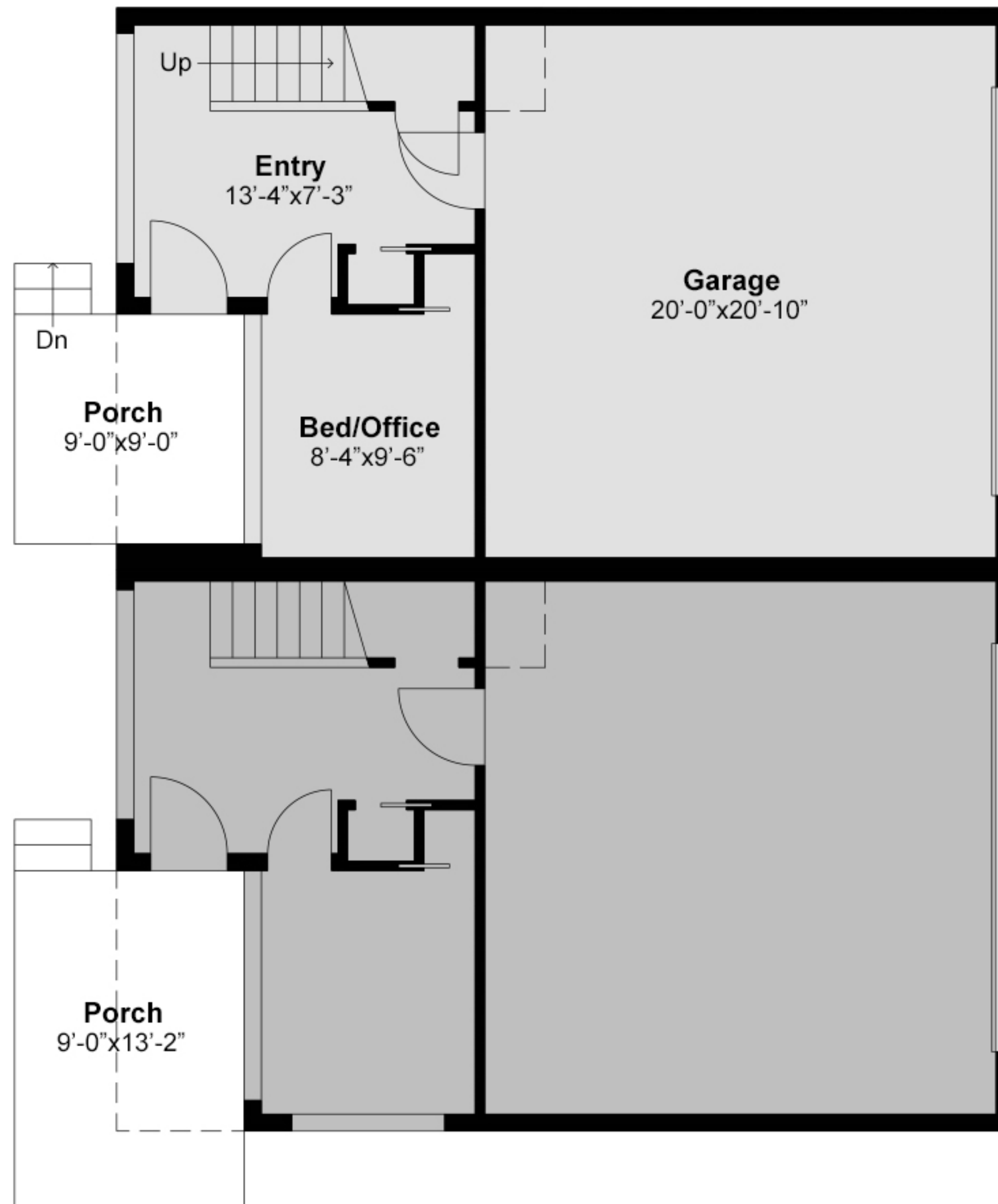


Wall Mounted Up/Down Light



Address Numerals

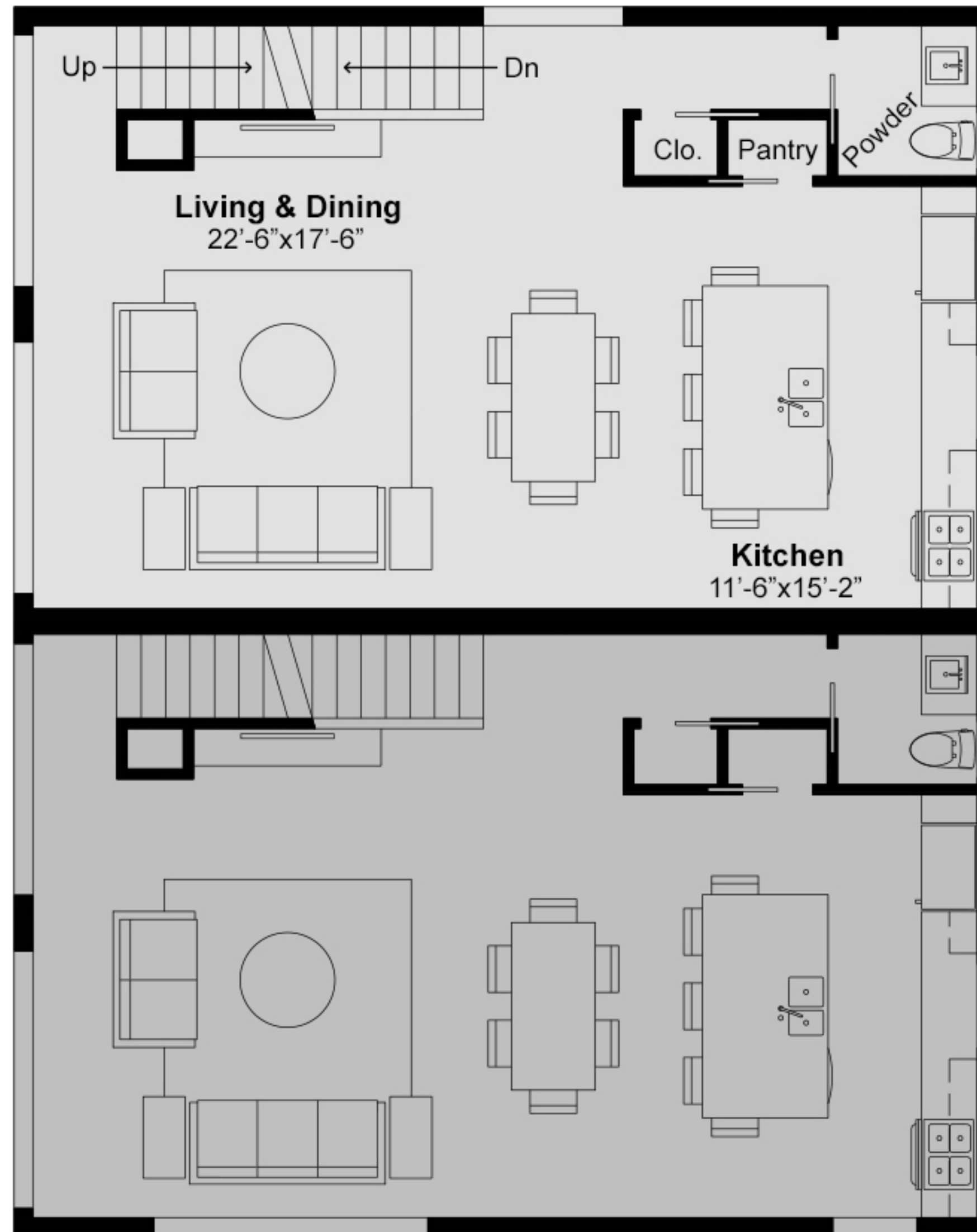
Material Palette



Starkweather Units

1st Floor Plan

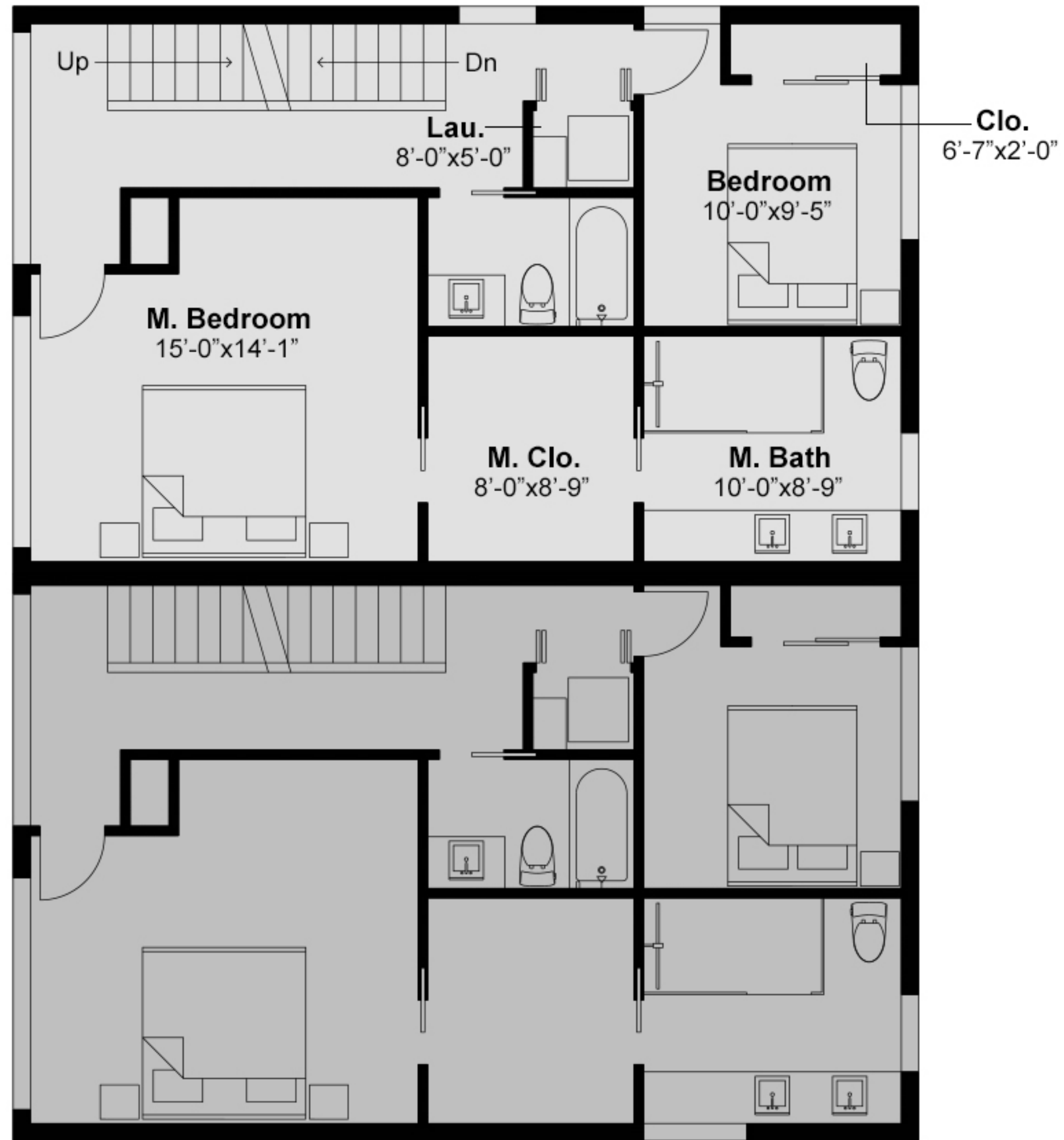
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Starkweather Units

2nd Floor Plan

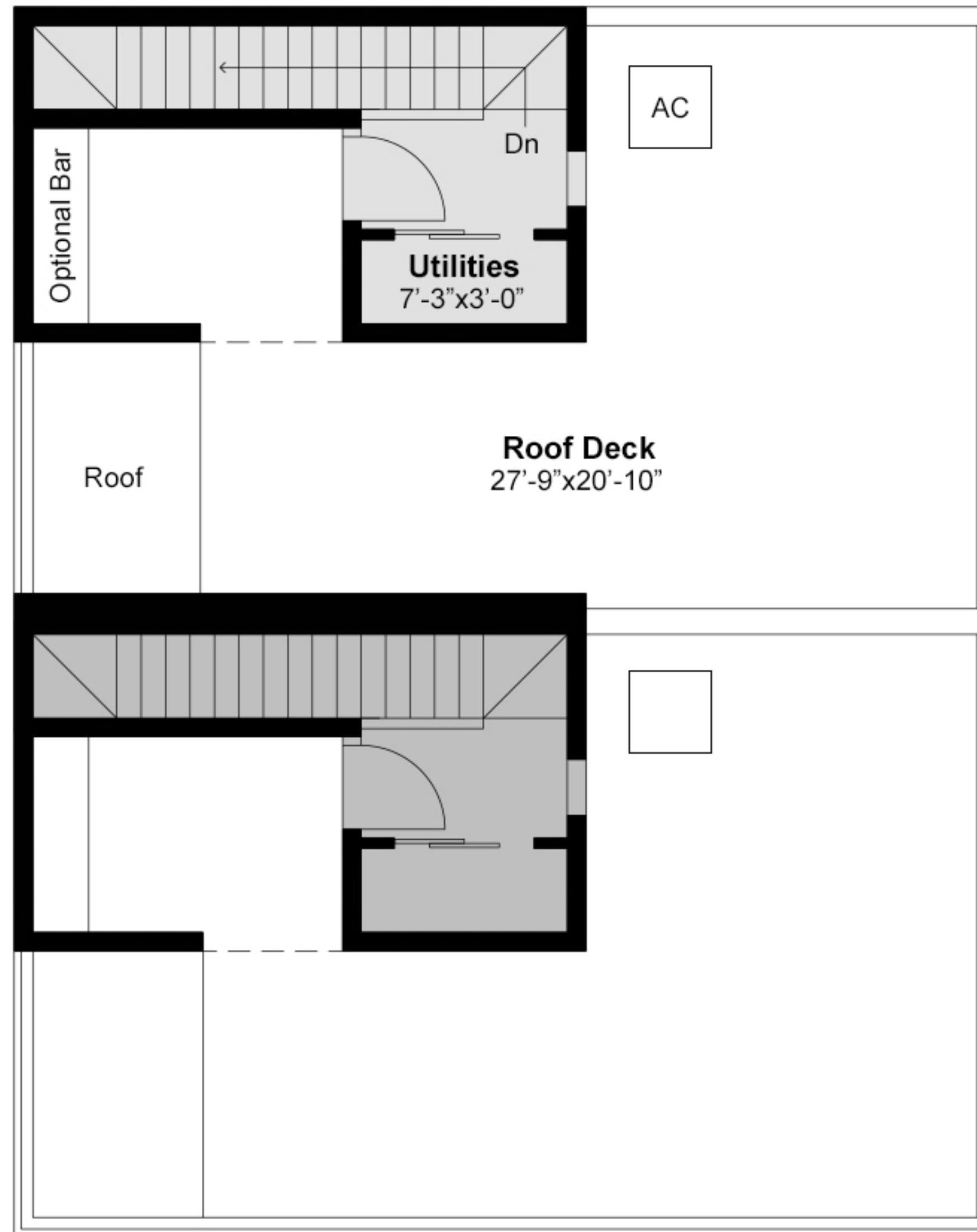
Scale: 1/8" = 1'-0" N>



Starkweather Units

3rd Floor Plan

Scale: 1/8" = 1'-0" N>



Starkweather Units

4th Floor Plan

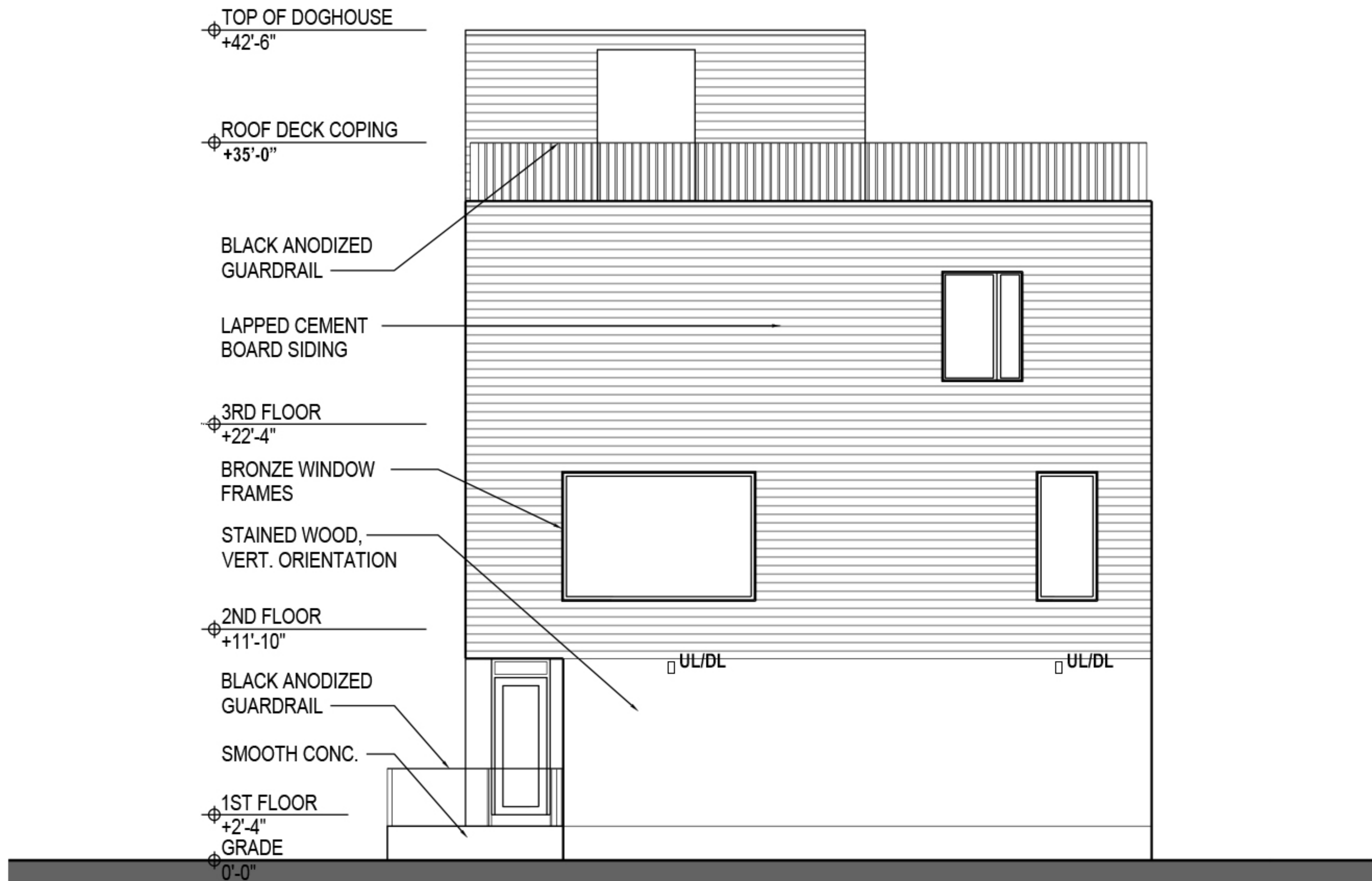
Scale: 1/8" = 1'-0" N>



Starkweather Units

South Elevation

Scale: 1/8" - 1'-0"



Starkweather Units

East Elevation

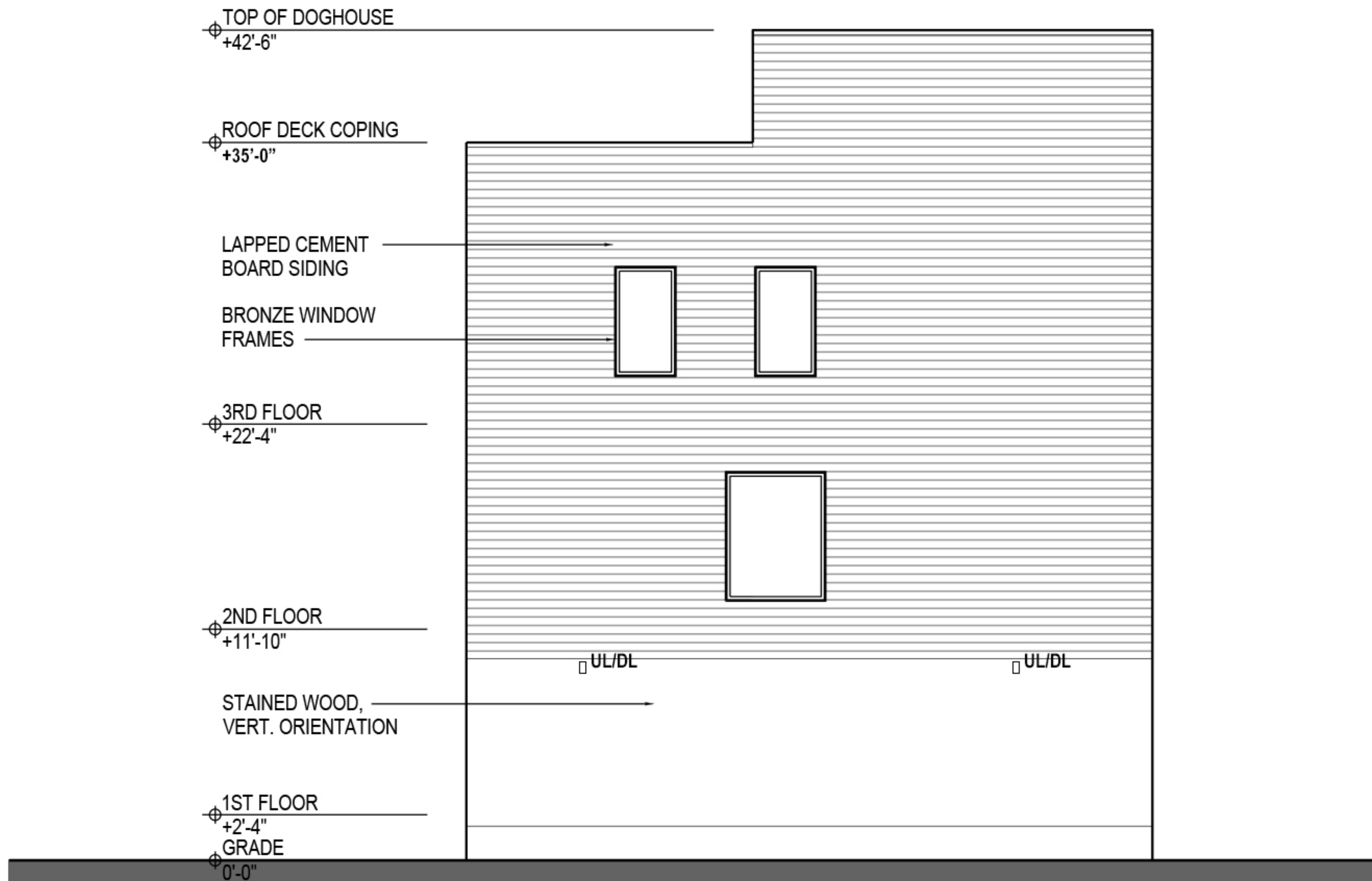
Scale: 1/8" = 1'-0"



Starkweather Units

North Elevation

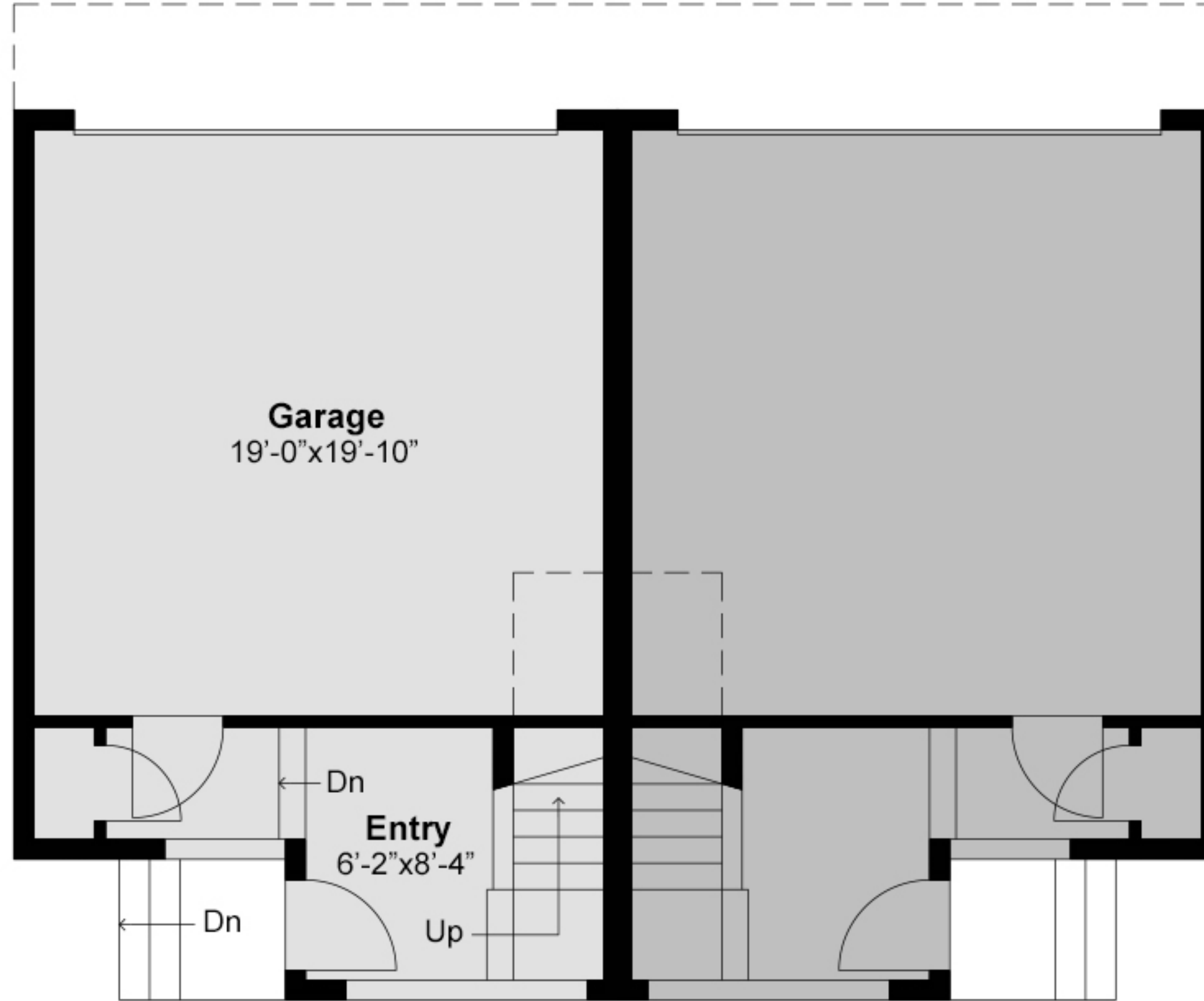
Scale: 1/8" - 1'-0"



Starkweather Units

West Elevation

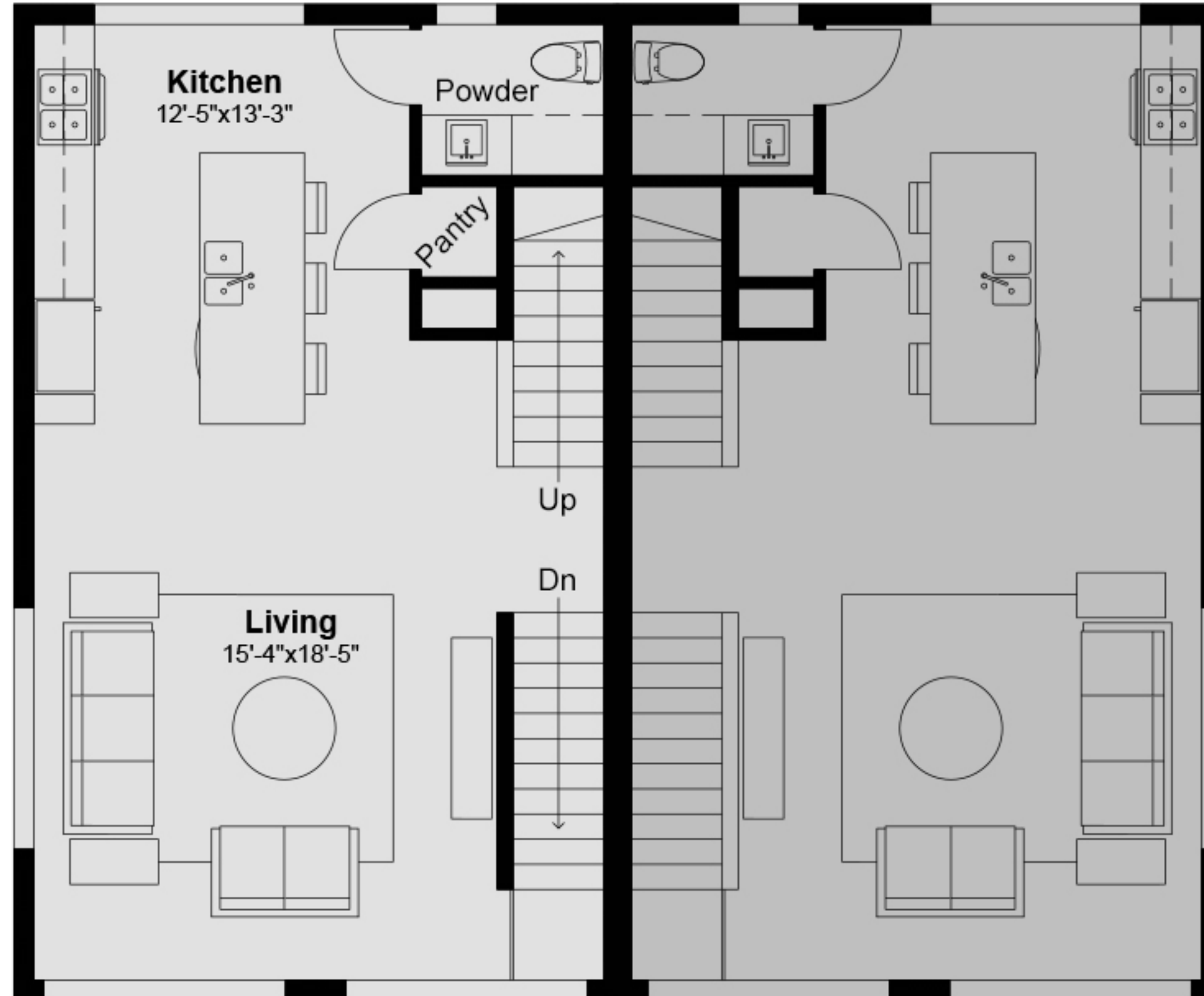
Scale: 1/8" = 1'-0"



W15th Street Units

1st Floor Plan

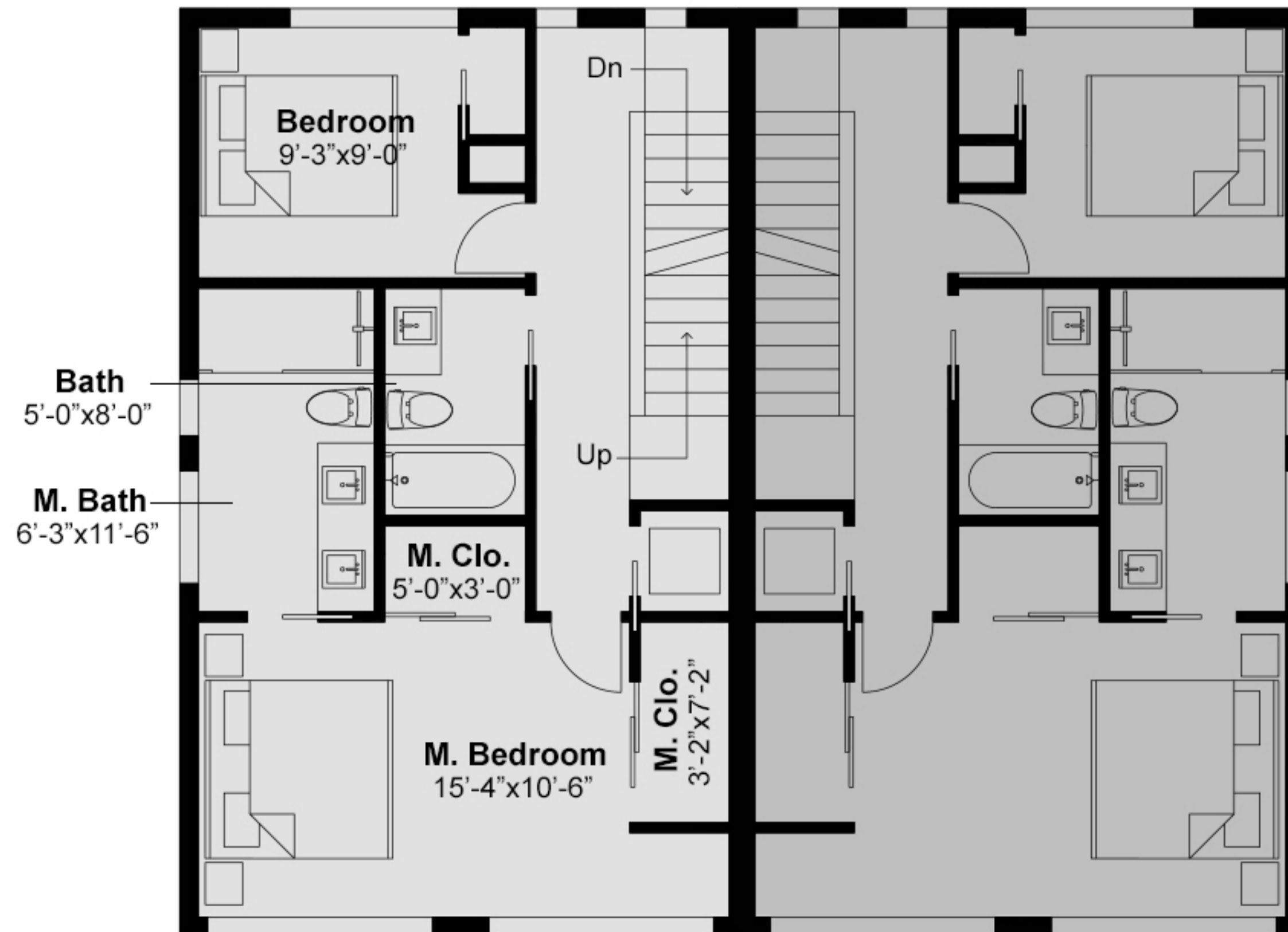
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W15th Street Units

2nd Floor Plan

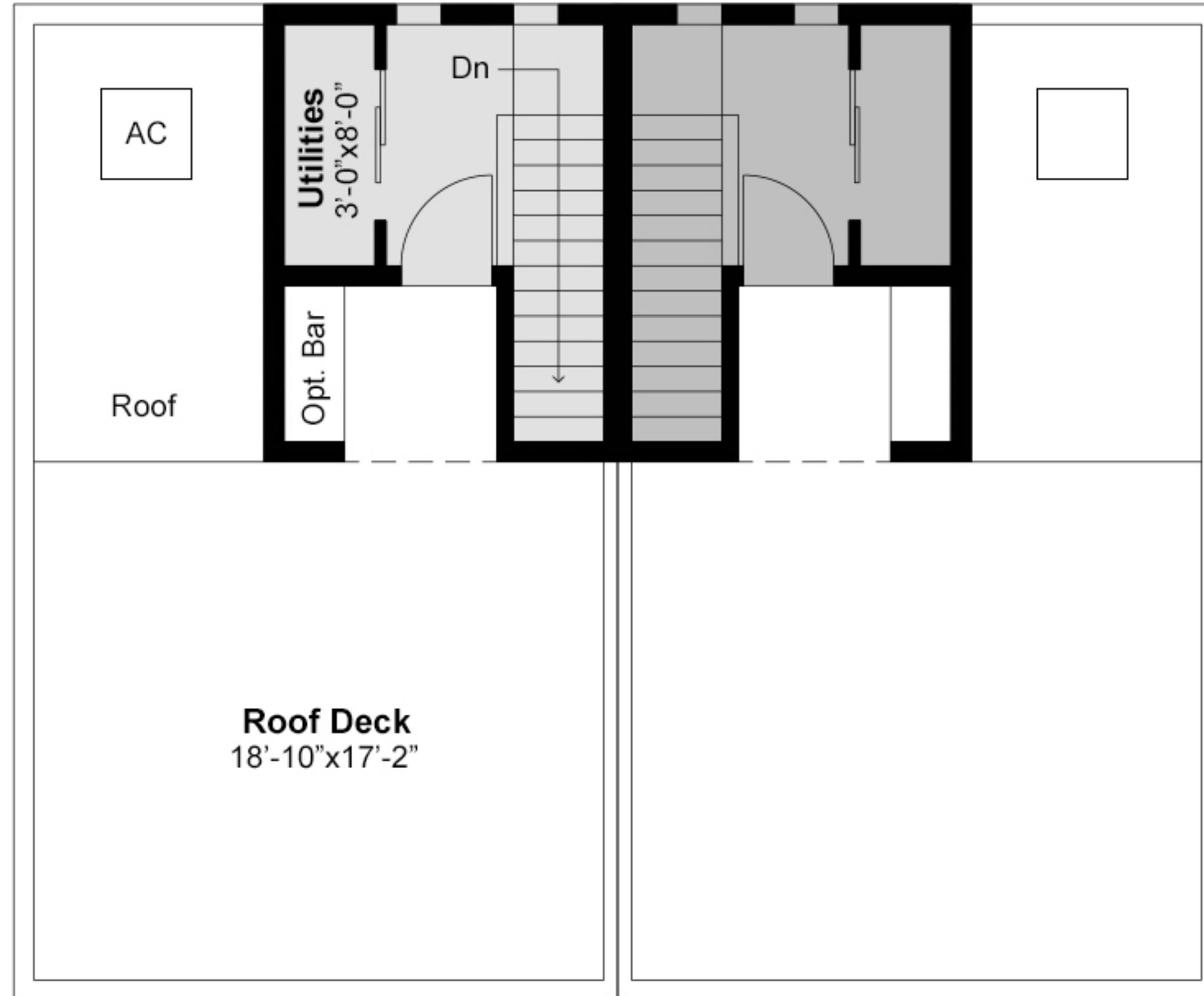
Scale: 1/8" = 1'-0" N>



W15th Street Units

3rd Floor Plan

Scale: 1/8" = 1'-0" N>



W15th Street Units

4th Floor Plan

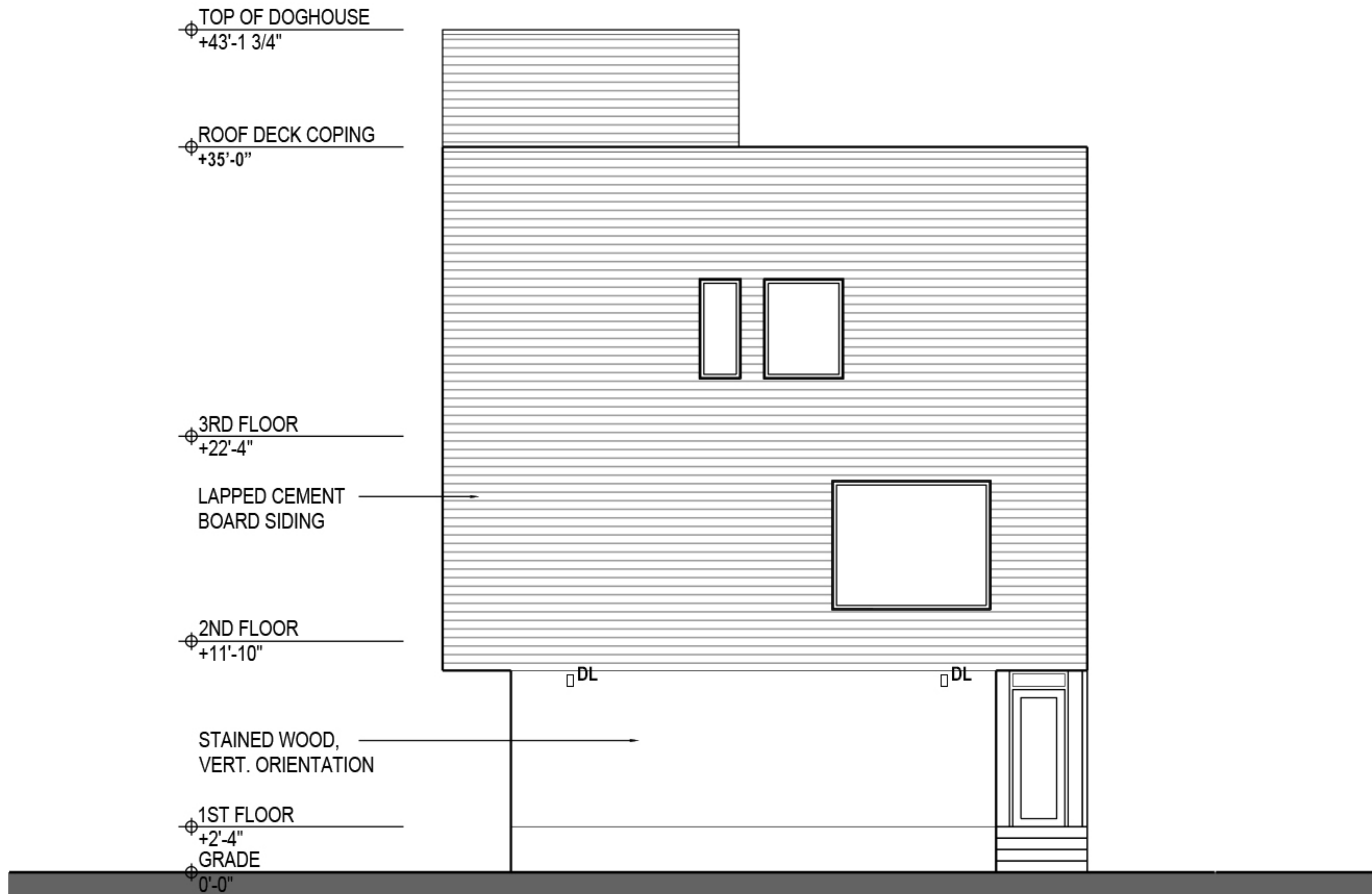
Scale: 1/8" = 1'-0" N>



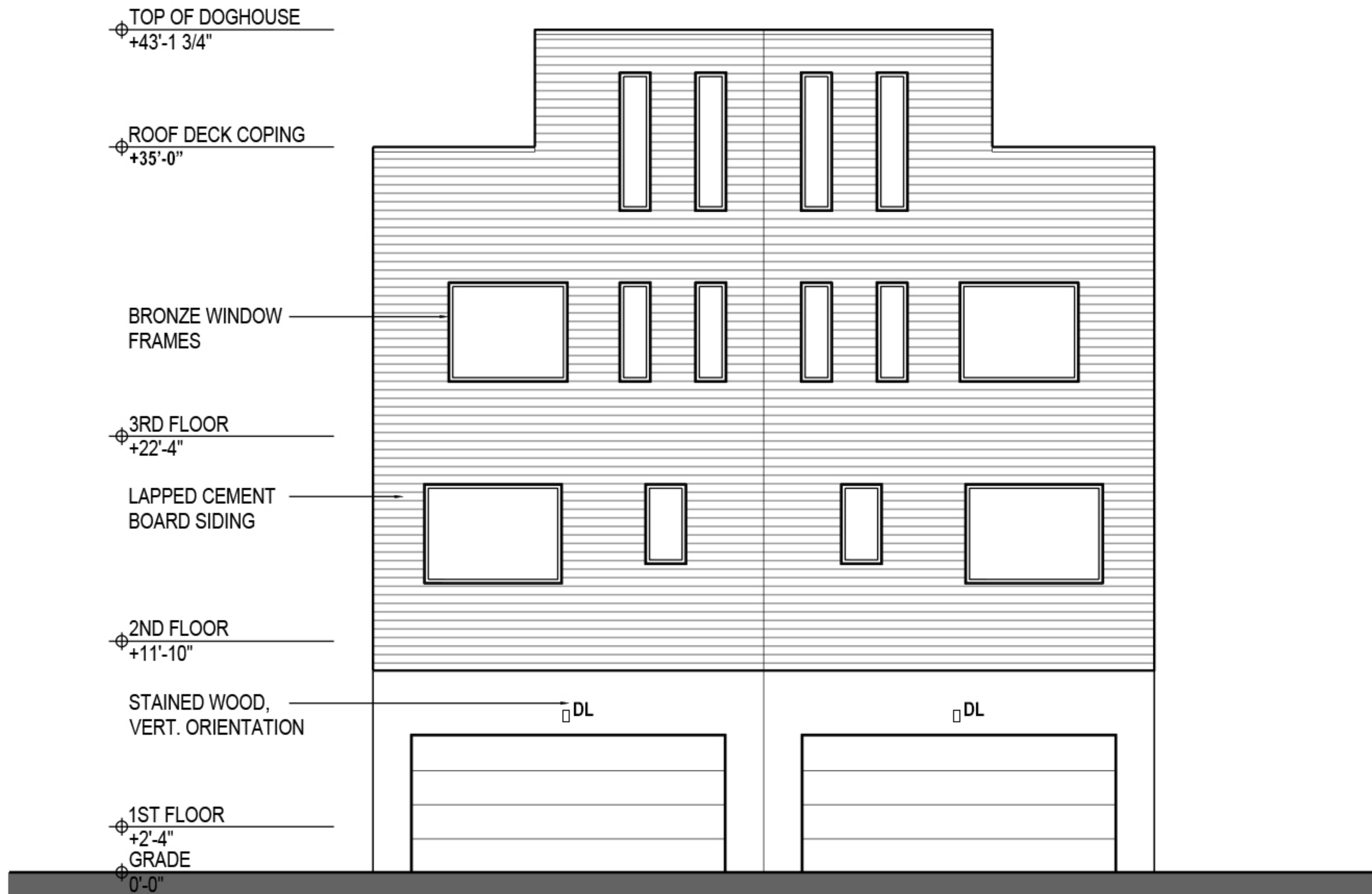
W15th Street Units

East Elevation

Scale: 1/8" - 1'-0"



W15th Street Units
South & North (Opp) Elevation
 Scale: 1/8" - 1'-0"



W15th Street Units

West Elevation

Scale: 1/8" - 1'-0"

Northeast Design Review Case

March 5, 2021



NE2021-008 - Greater Cleveland Food Bank Facility New Construction:
Seeking Schematic Design Approval

Project Address: 13815 Coit Road

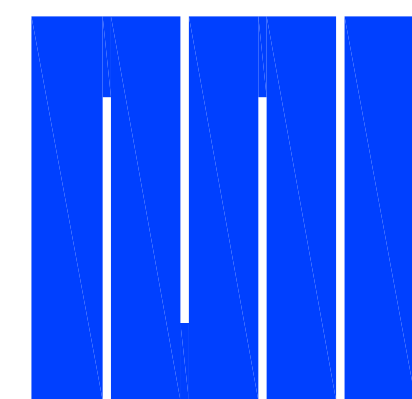
Project Representative: Robert Klann, RPM International



GREATER CLEVELAND FOOD BANK NEW DISTRIBUTION CENTER

13815 COIT ROAD CLEVELAND, OHIO 44110

ARCHITECT



ROBERT P. MADISON INT., INC.
1215 SUPERIOR AVENUE, SUITE 110 CLEVELAND, OHIO 44114

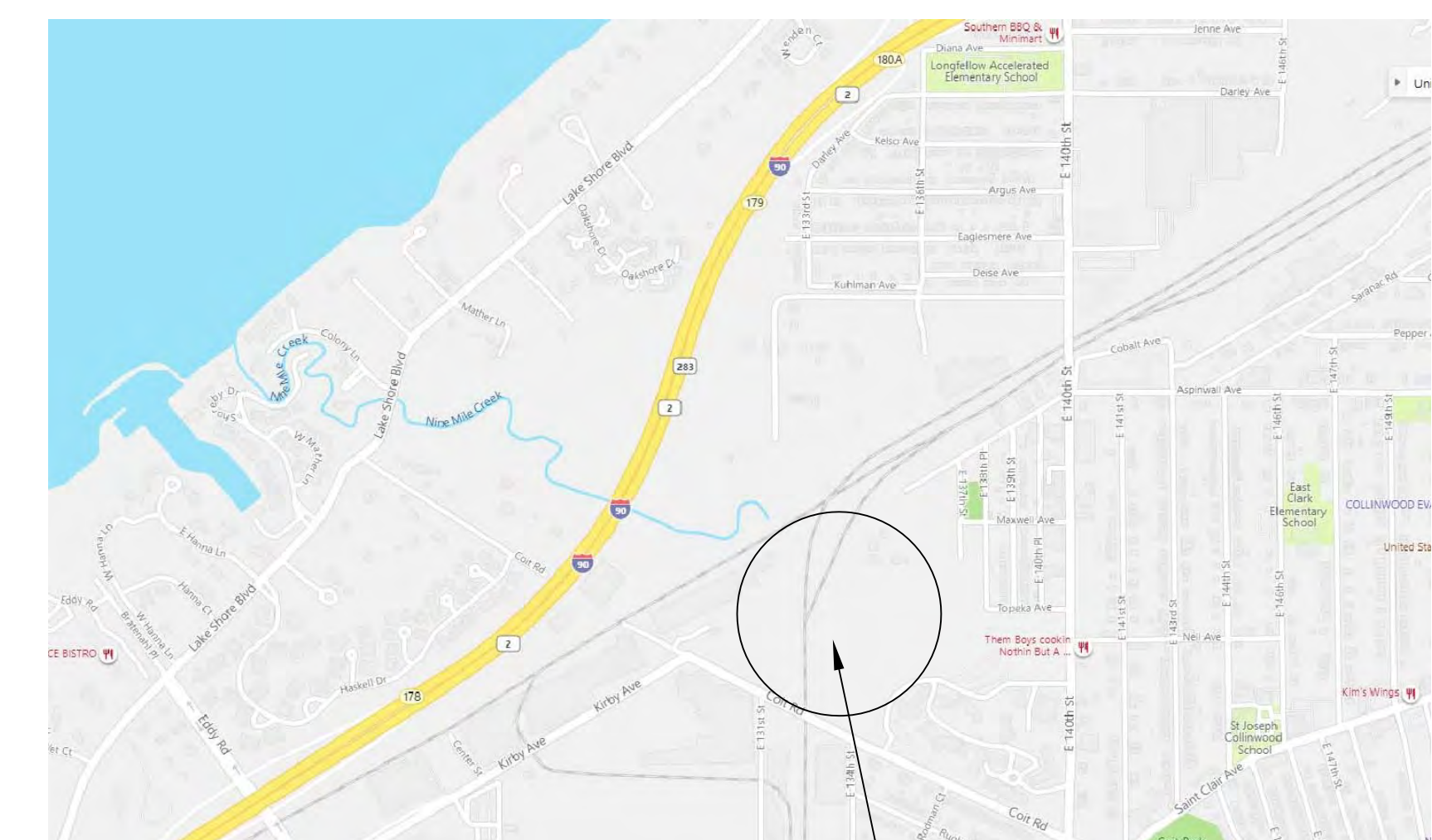
CONSULTANTS

KNIGHT & STOLAR
3029 PROSPECT AVE. E STE 3, CLEVELAND OHIO, 44115

FOOD TECH AN EMCOR COMPANY
106 CULVER BLVD, LOS ANGELES CA 90293

OSBORN ENGINEERING
1100 SUPERIOR AVENUE, SUITE 300 CLEVELAND, OHIO 44114

AGM ENERGY SERVICES
2305 E. AURORA RD, SUITE A-7, TWINSBURG OH 44087



PROJECT LOCATION



**Greater Cleveland
Food Bank**



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: February 23, 2021

PROJECT NAME: New Greater Cleveland Food Bank Facility

PROJECT ADDRESS: 13815 Coit Road
Cleveland, Ohio 44110

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review): Robert Klann, AIA
Partner

COMPANY: Robert P Madison International, Inc
1215 Superior Avenue E. Suite 110
Cleveland, Ohio 4414

PHONE: 216.861.8195 **EMAIL:** rklann@rpmadison.com

OWNER:

ARCHITECT/ CONTRACTOR:

PROJECT TYPE: New Building Rehabilitation Addition Sign Fence Parking Storefront

USE TYPE: Residential Commercial Industrial Institutional Mixed-Use

Review Level: Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

February 23, 2021

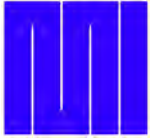
Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Robert P. Madison International, Inc.

New Greater Cleveland Food Bank Facility
13815 Coit Road
Cleveland, Ohio 44110

February 23, 2021
Page 1

The Greater Cleveland Food Bank (GCFB) works with many community partners to fulfill their mission: to ensure that everyone in our communities has the nutritious food they need every day. GCFB is the largest distributor of emergency food in Northeast Ohio, providing the resources for more than 50 million meals in the last fiscal year. With over 155 staff members and over 21,000 annual volunteers, GCFB distributes to over 1,000 programmatic partners throughout a six county service area.

To meet growing demand, GCFB shall build a 198,000 square foot facility to serve as the main hub for food distribution to all programmatic partners. The new facility shall include a production kitchen, freezers and coolers as well as ambient storage all served from loading docks. Additionally, a volunteer repack area, a dedicated agency pick up area, a dedicated food donation drop off area, plus additional office space and meeting rooms to accommodate staff and volunteers will be included in the project. Of the 198,000 square feet – the majority 151,000 square feet is devoted to warehouse needs while 47,000 is devoted to office and volunteer needs. The building shall be 40'-8" tall offering 34 foot clear storage heights and a two story front office. It was the GCFB strong desire that this new facility be in a similar color family as the existing food bank facility which shall remain in operation by GCFB. It was important that their brand of exterior color be maintained.

The Greater Cleveland Food bank acquired the 18 acre property (donated by the Di Geronimo family) at 13815 Coit Road, former home of the Fisher Body Plant

The Greater Cleveland Food Bank is making a major expenditure of 23.5 million on construction with additional soft costs.

The former site of the Fisher Body Plant has a long history of contamination and clean-up efforts. Although a No Further Action letter is in hand, the site still was discovered to have less than adequate soils for new foundations and the Greater Cleveland Food Bank is incurring extra costs to make this site ready for a new facility.

Working closely with Independence Construction (Construction Manager for the project) to meet new market tax credit opportunities, the team determined precast exterior panels would offer the most economical and quickest delivery method.

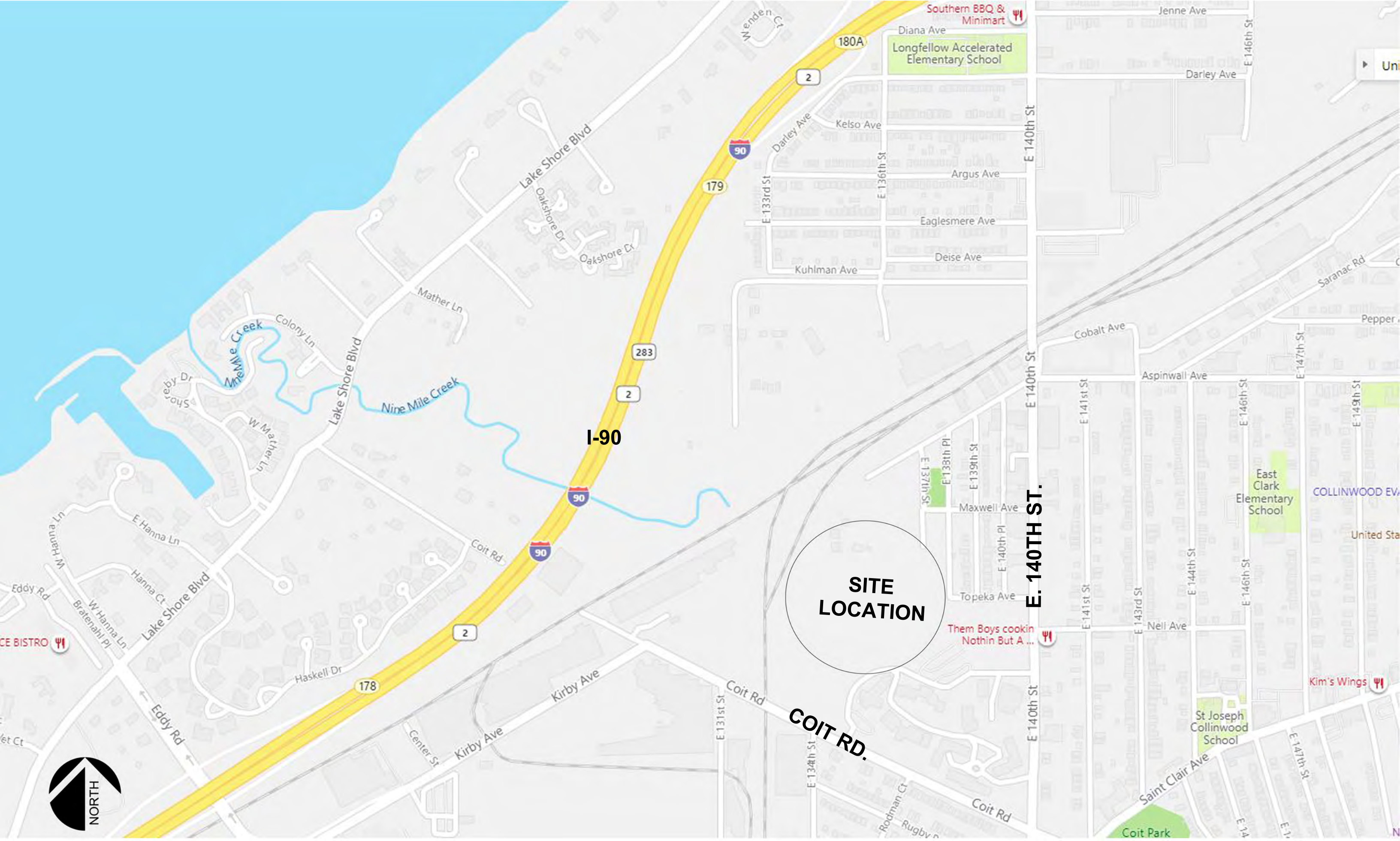


New Greater Cleveland Food Bank Facility
13815 Coit Road
Cleveland, Ohio 44110

February 23, 2021
Page 2

The site development shall include over 300 parking spaces to accommodate the 140 employees plus the numerous volunteers that are on site everyday dedicated to the GCFB Mission.

The GCFB has set a goal of achieving USGBC LEED Silver and have conducted an eco-charrette.



I-90

SITE
LOCATION

E. 140TH ST.

COIT RD.



Longfellow Accelerated
Elementary School

East Clark
Elementary School

St Joseph
Collinwood
School

Coit Park

Them Boys cookin
Nothin But A ...

Kim's Wings

COLLINWOOD EV...

United Sta...

Un...



TOPEKA PARK

MAXWELL AVE

E-139TH PL

TOPEKA AVE

COLLINWOOD BIO ENERGY

CLEVELAND JOB CORPS CENTER

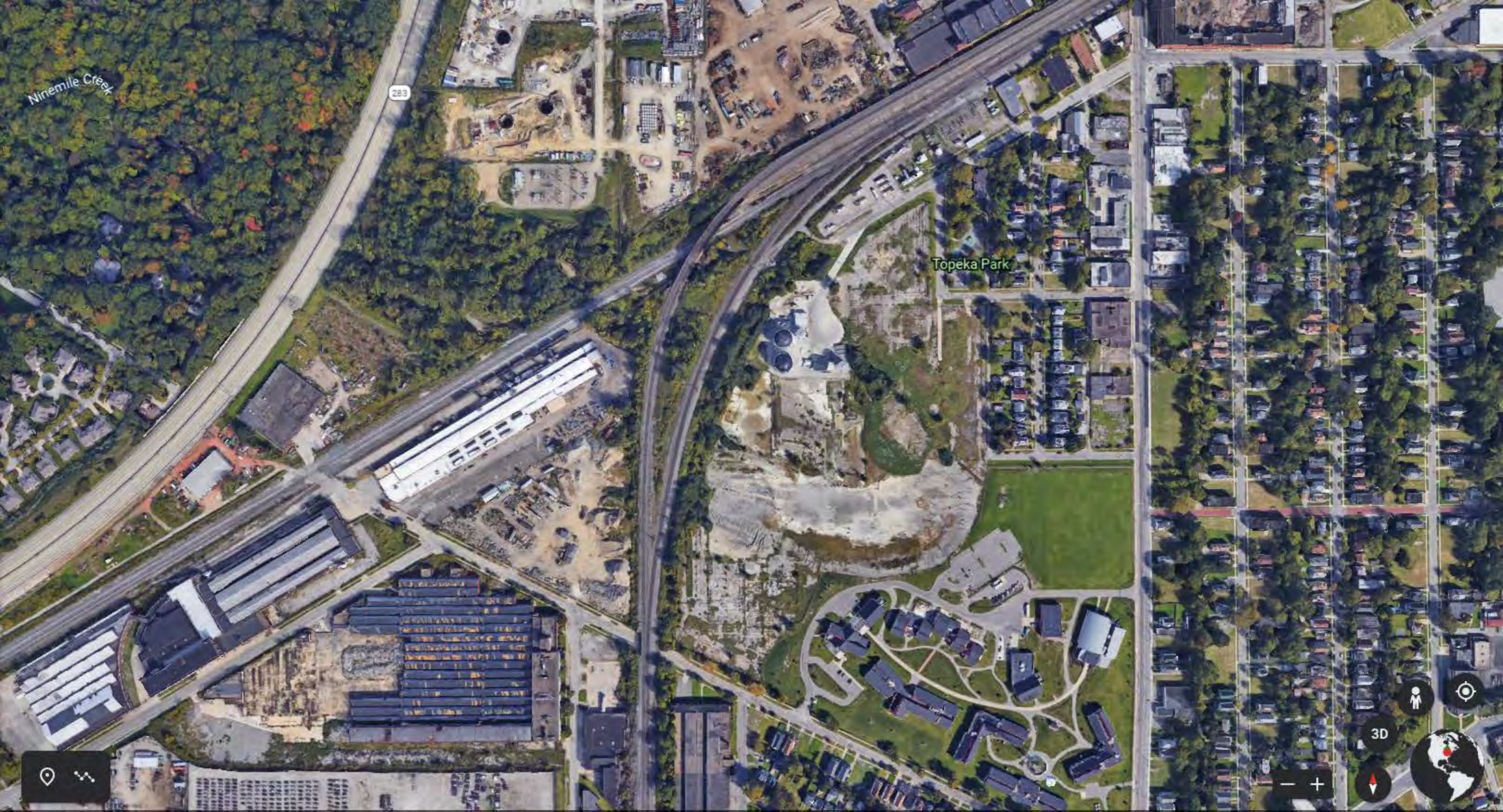
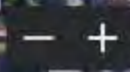
E 141ST ST

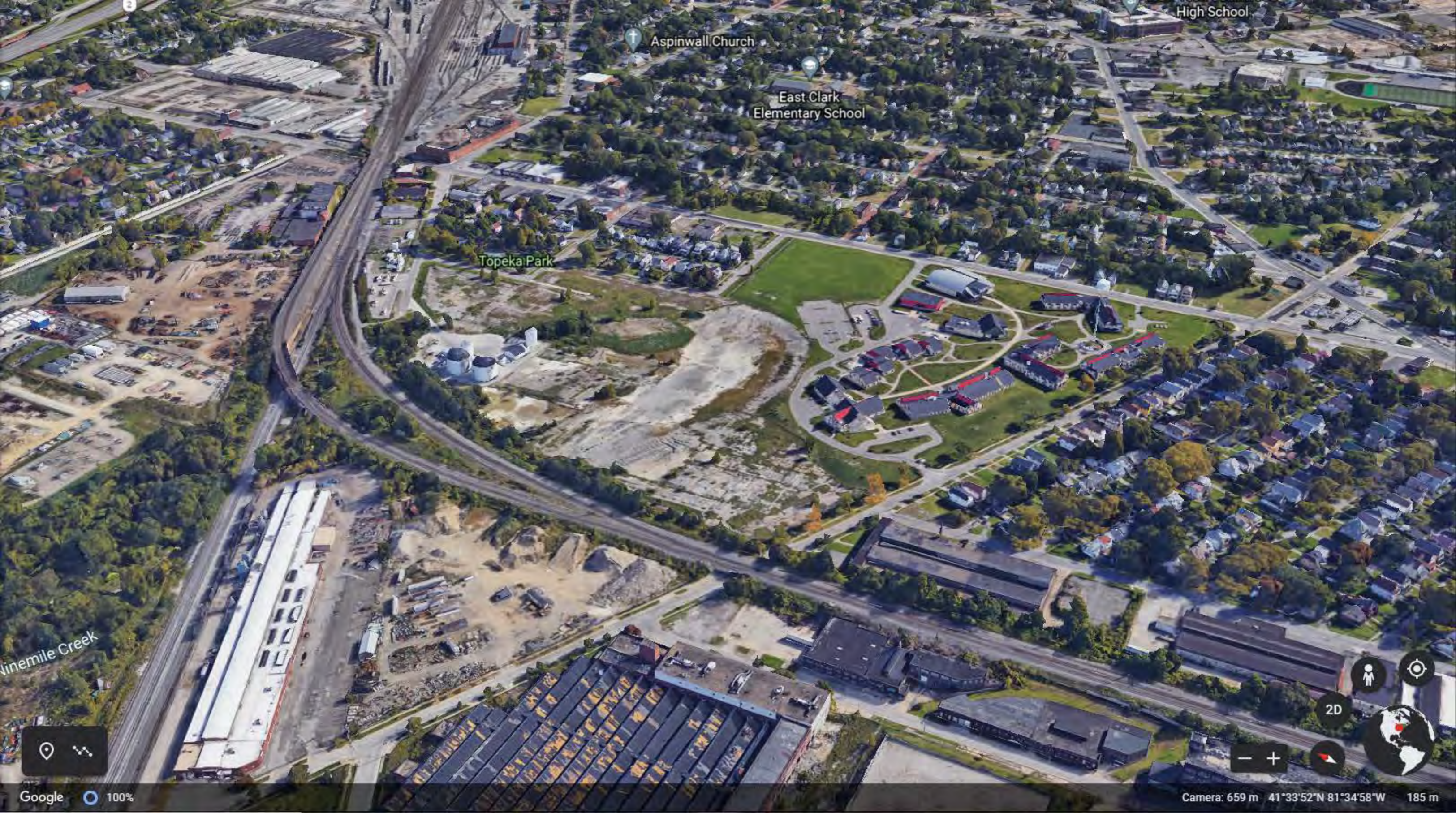


Ninemile Creek

283

Topeka Park





Aspinwall Church

East Clark
Elementary School

Topeka Park

High School

Winemile Creek



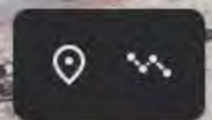
Topeka Park

Willowick

90

Ginn Academy

East Clark
Elementary School





Google

2D

+

-

📍

🌐





Aspinwall Ave

Google

2D

Navigation controls including a person icon, a compass, a globe, and zoom in (+) and zoom out (-) buttons.



Robert P. Madison International, Inc.
1215 Superior Ave. Cleveland, OH 44114
PH: (216) 861-8190
www.rpmax.com

Loretta Snider, P.E.
No. 66125
State of Ohio

CONSULTANT:



GREATER CLEVELAND FOOD BANK
13815 COIT ROAD
CLEVELAND, OHIO 44110

Revision Schedule

OVERALL SITE PLAN

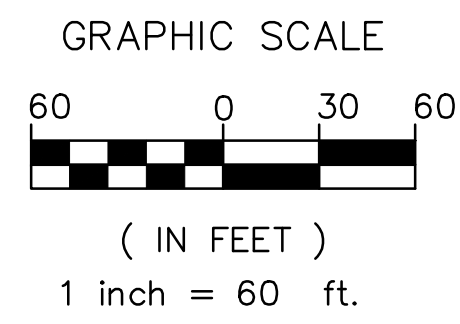
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Checked By: LS
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Date: 01.29.2021
Project Number: J2020924.000
Sheet No.:

C-200

SITE PLAN LEGEND

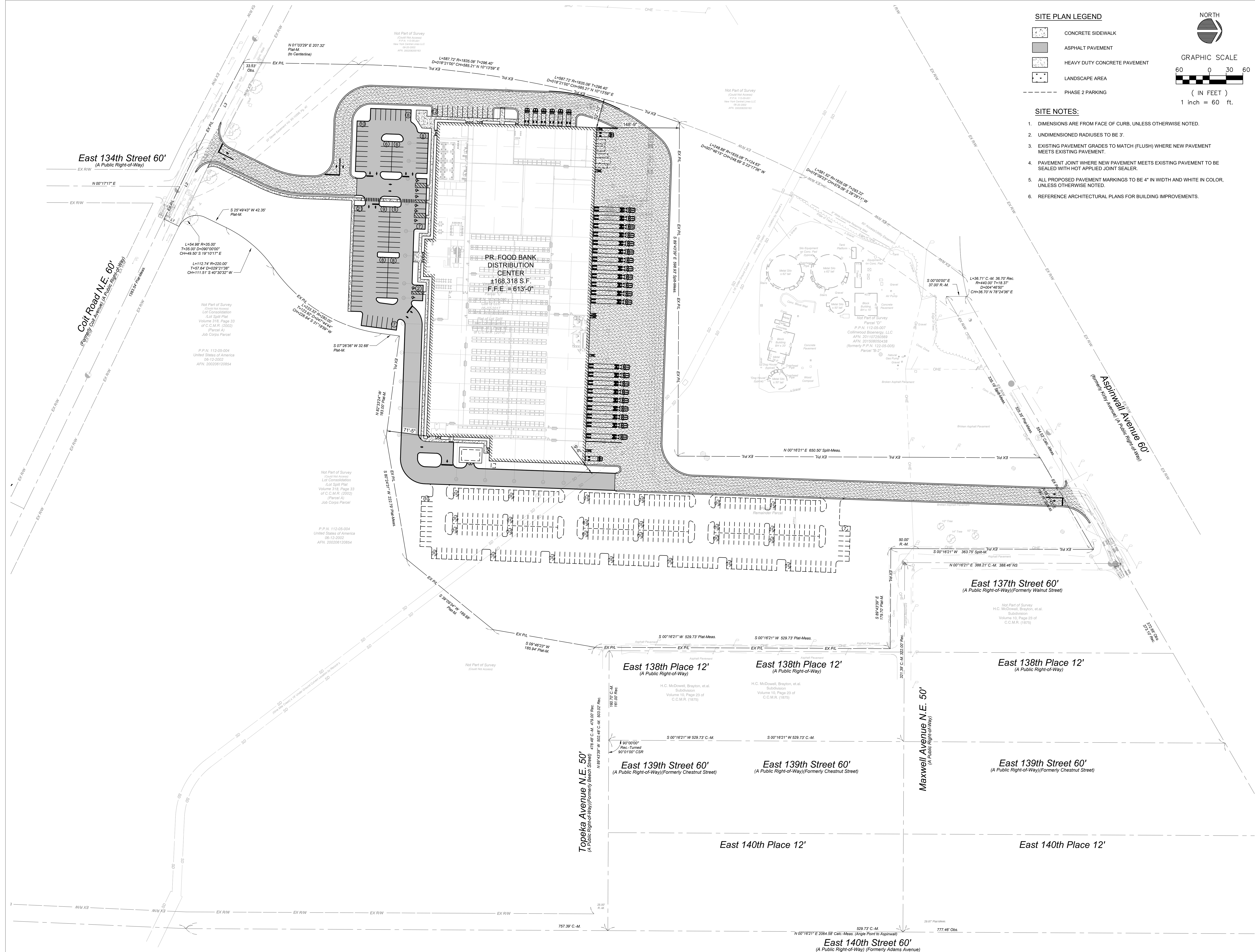
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPE AREA
- PHASE 2 PARKING

NORTH



SITE NOTES:

1. DIMENSIONS ARE FROM FACE OF CURB, UNLESS OTHERWISE NOTED.
2. UNDIMENSIONED RADIIUSES TO BE 3'.
3. EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
4. PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO BE SEALED WITH HOT APPLIED JOINT SEALER.
5. ALL PROPOSED PAVEMENT MARKINGS TO BE 4" IN WIDTH AND WHITE IN COLOR, UNLESS OTHERWISE NOTED.
6. REFERENCE ARCHITECTURAL PLANS FOR BUILDING IMPROVEMENTS.



NOT FOR CONSTRUCTION - PRELIMINARY SITE PLAN

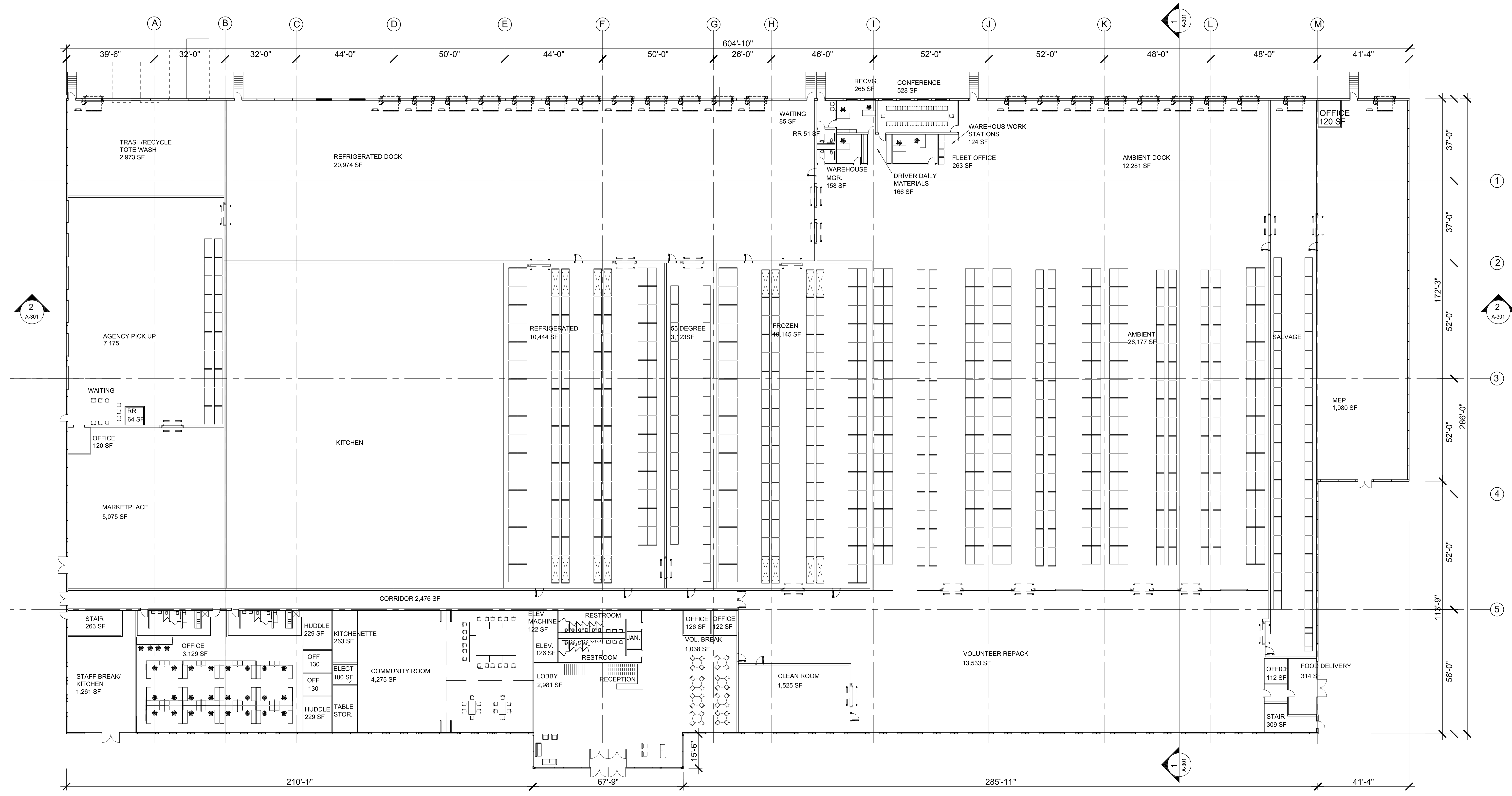


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 Cleveland, OH 44114
 www.rpmadison.com

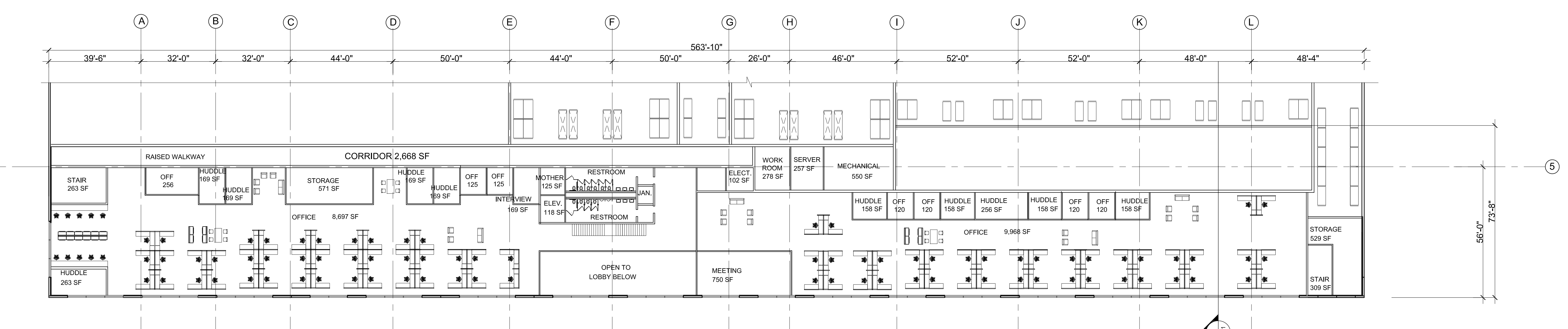
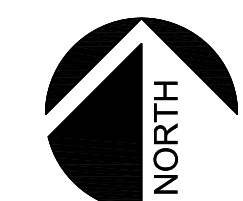
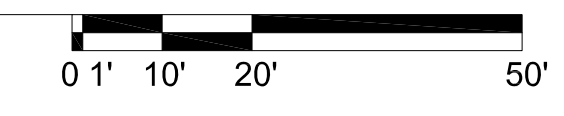
GREATER CLEVELAND FOOD BANK
 13815 COIT ROAD
 CLEVELAND, OHIO 44110

No.	Description	Date

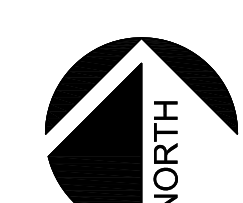
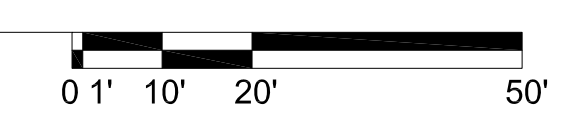
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Project Number	2042
Date	02.02.2021
Drawn By	SK
Checked By	SAK
Sheet No.:	A-101
Scale	3/64"=1'-0"



1 FIRST FLOOR PLAN
 A-101 3/64" = 1' - 0"

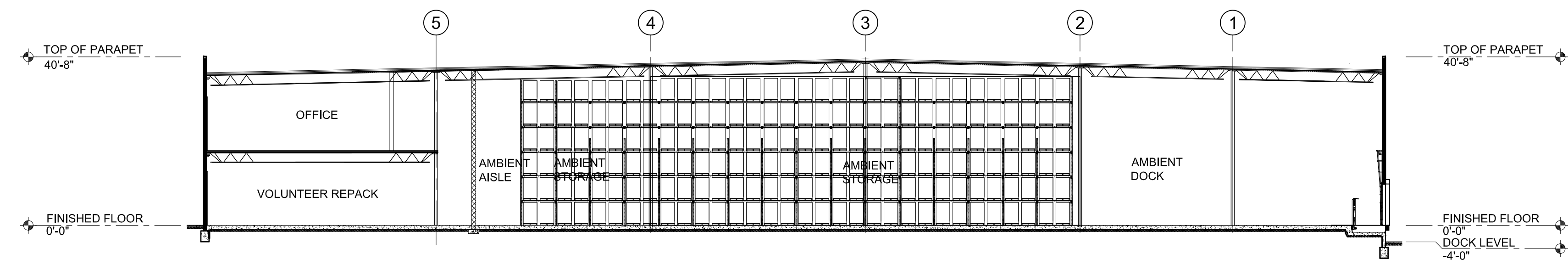


2 SECOND FLOOR PLAN
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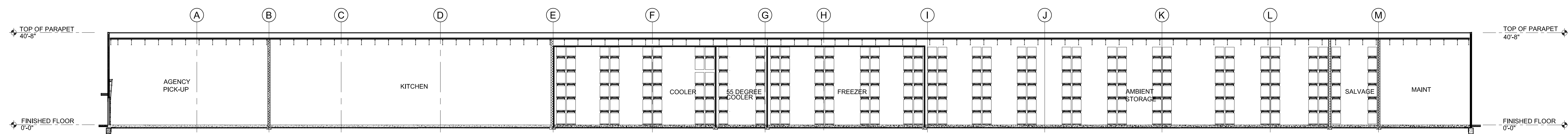
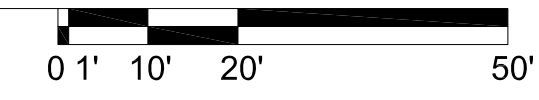




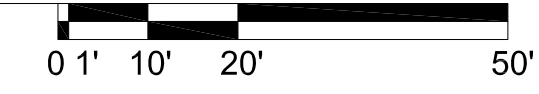
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1 BUILDING SECTION
A-301 3/64" = 1' - 0"



2 BUILDING SECTION
A-301 3/64" = 1' - 0"

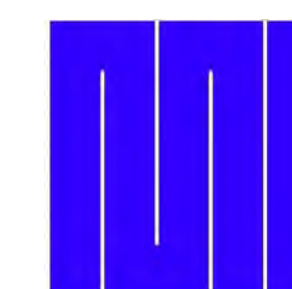


GREATER CLEVELAND FOOD BANK
13815 COIT ROAD
CLEVELAND, OHIO 44110

No.	Description	Date

BUILDING SECTIONS

Project Number	2042
Date	02.24.2021
Drawn By	MJF
Checked By	SAK
Sheet No.:	A-301
Scale	3/64" = 1'-0"

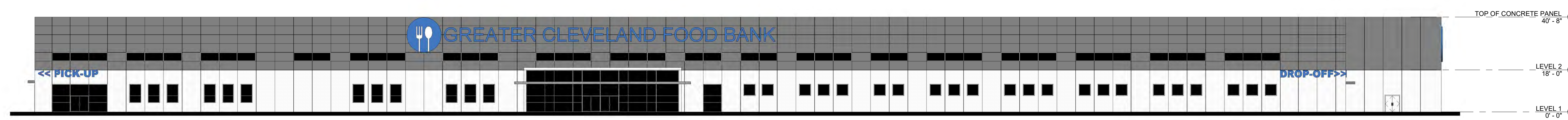


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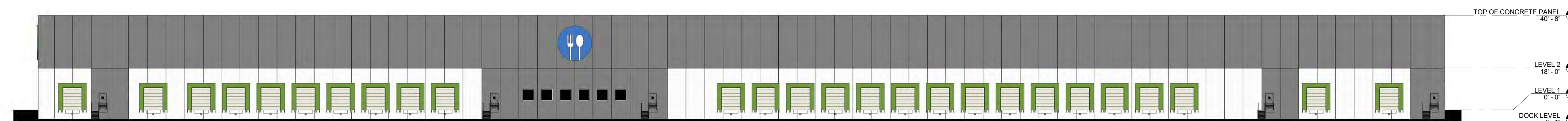
Consultant
Address
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Phone

Consultant
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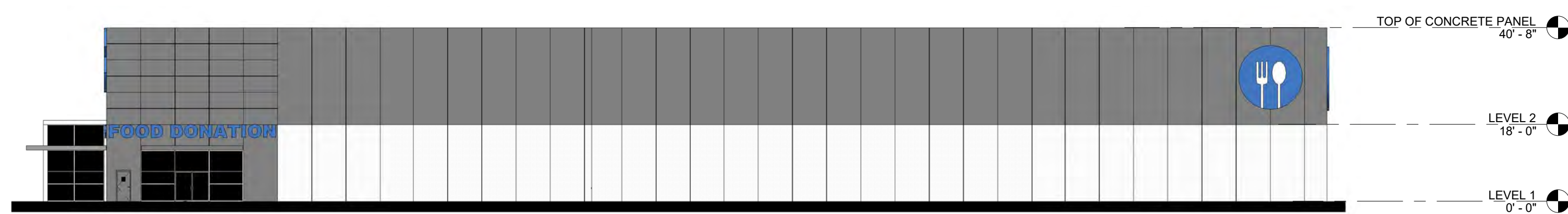
GREATER CLEVELAND FOOD BANK
13815 COIT ROAD
CLEVELAND, OHIO 44110



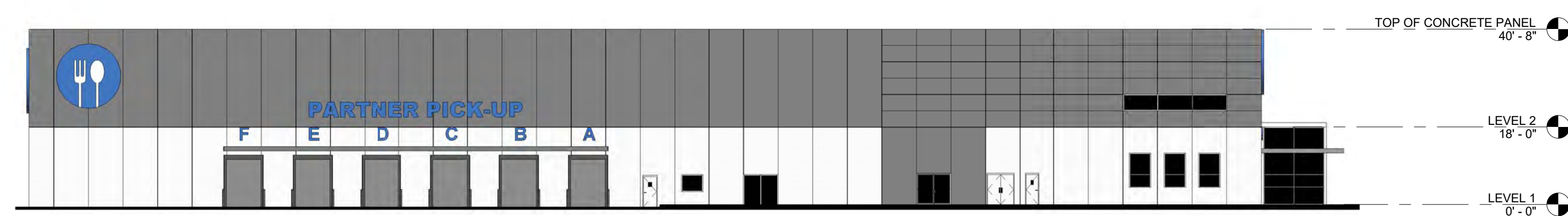
① SOUTH ELEVATION
3/64" = 1'-0"
0' 10' 20' 50'



② NORTH ELEVATION
3/64" = 1'-0"
0' 10' 20' 50'



③ EAST ELEVATION
3/64" = 1'-0"
0' 10' 20' 50'



④ WEST ELEVATION
3/64" = 1'-0"
0' 10' 20' 50'

No.	Description	Date

Elevation	
Project Number	2042
Date	Issue Date
Drawn By	HG
Checked By	Checker
Sheet No.:	A102
Scale	As indicated

2/24/2021 11:28:47 AM













**ROBERT P. MADISON
INTERNATIONAL, INC**

ARCHITECTS INTERIORS PLANNERS



March 5, 2021

FW2021-004 - Park Place Townhouses New Construction: Seeking Schematic Design Approval

Project Location: West 73rd Street and Father Frascati

Project Representatives: Mike Marous, Marous Development

Jeff Foster, Payto Architects

Note: this project received Schematic Design Approval from the Planning Commission on February 19, 2021.t

PLANNING COMMISSION & DESIGN REVIEW SUBMISSION FOR:
PARK PLACE at BATTERY PARK
 WEST 73rd & FATHER FRASCATI AVE.
 CLEVELAND, OH 44102

DEVELOPER:

BATTERY PARK PLACE LLC
 38119 STEVENS BLVD.
 WILLOUGHBY, OH 44094



LOCATOR MAP - BATTERY PARK DEVELOPMENT



REVISED PLANNING COMMISSION &
 DESIGN REVIEW APPROVAL
 FEBRUARY 23, 2021



405 Bradley Building 1220 West Sixth Street Cleveland, Ohio 44113 (216)241-6800 WWW.PAYTOARCHITECTS.COM

ISSUE DATE:	02.01.21
PLAN REVISIONS	02.15.21
PLAN REVISIONS	02.23.21

PRELIMINARY
 NOT FOR CONSTRUCTION
 PRINTS FULL SCALE
 ON 24"X36" SHEET

PARK PLACE at BATTERY PARK
 BATTERY PARK PLACE LLC
 WEST 73RD ST & FATHER FRASCATI AVE.
 CLEVELAND, OH



TITLE SHEET

PA PROJECT NO.	2020-35
CURRENT DATE	02.15.21

TS100
 DESIGN REVIEW
 SUBMISSION

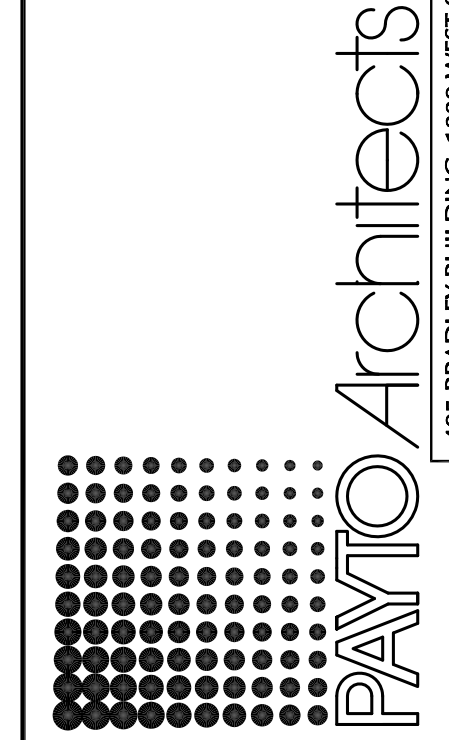
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ISSUE DATE:	01.26.21
PLAN REVISIONS	02.15.21
PLAN REVISIONS	02.23.21

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ON 24"x36" SHEET**

PARK PLACE at BATTERY PARK
 BATTERY PARK PLACE LLC
 WEST 73RD ST & FATHER FRASCATI AVE.
 CLEVELAND, OH

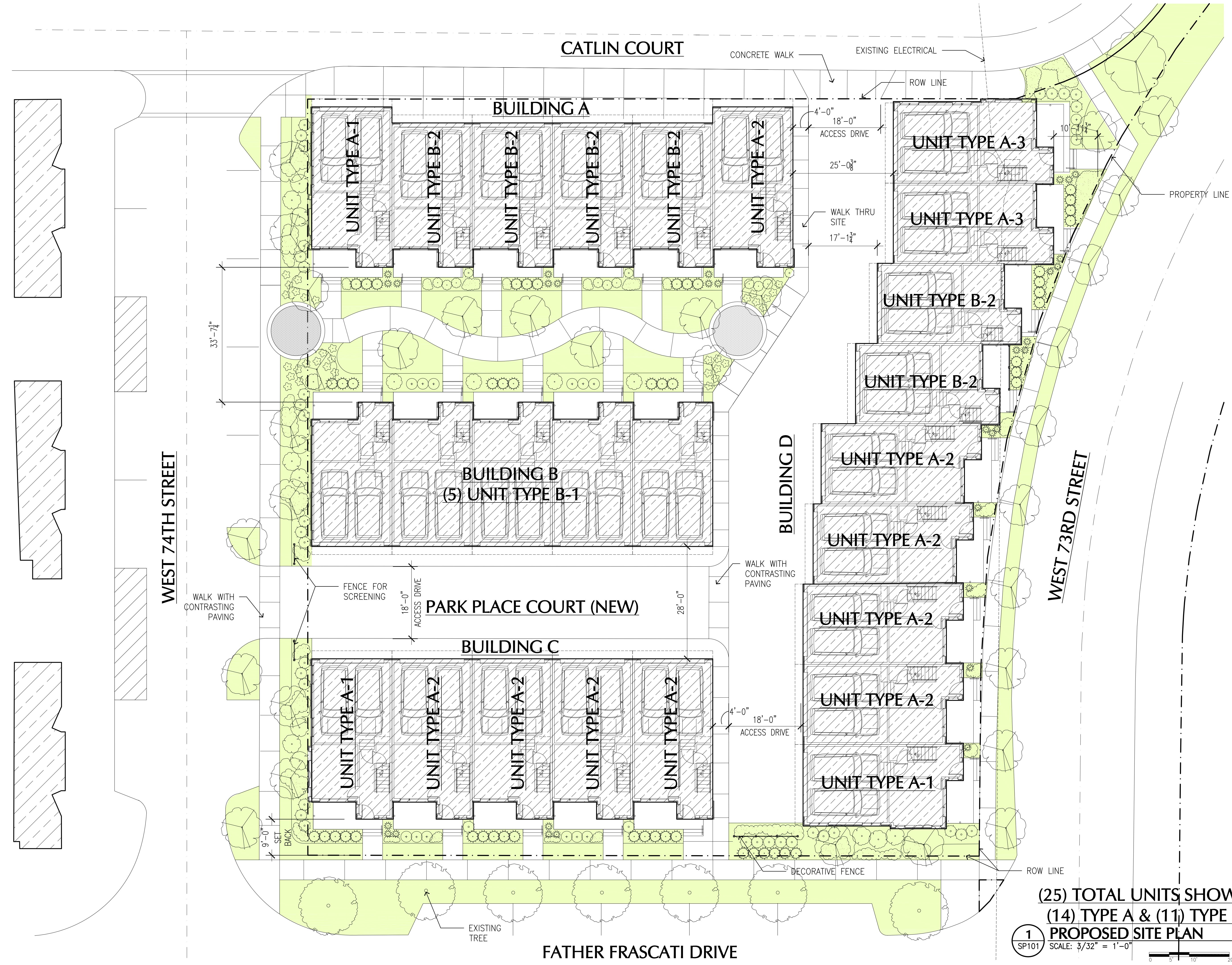


PROPOSED SITE PLAN

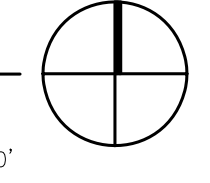
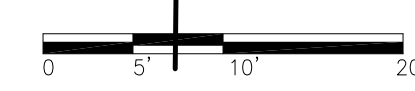
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CURRENT DATE	02.23.21

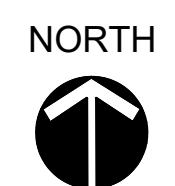
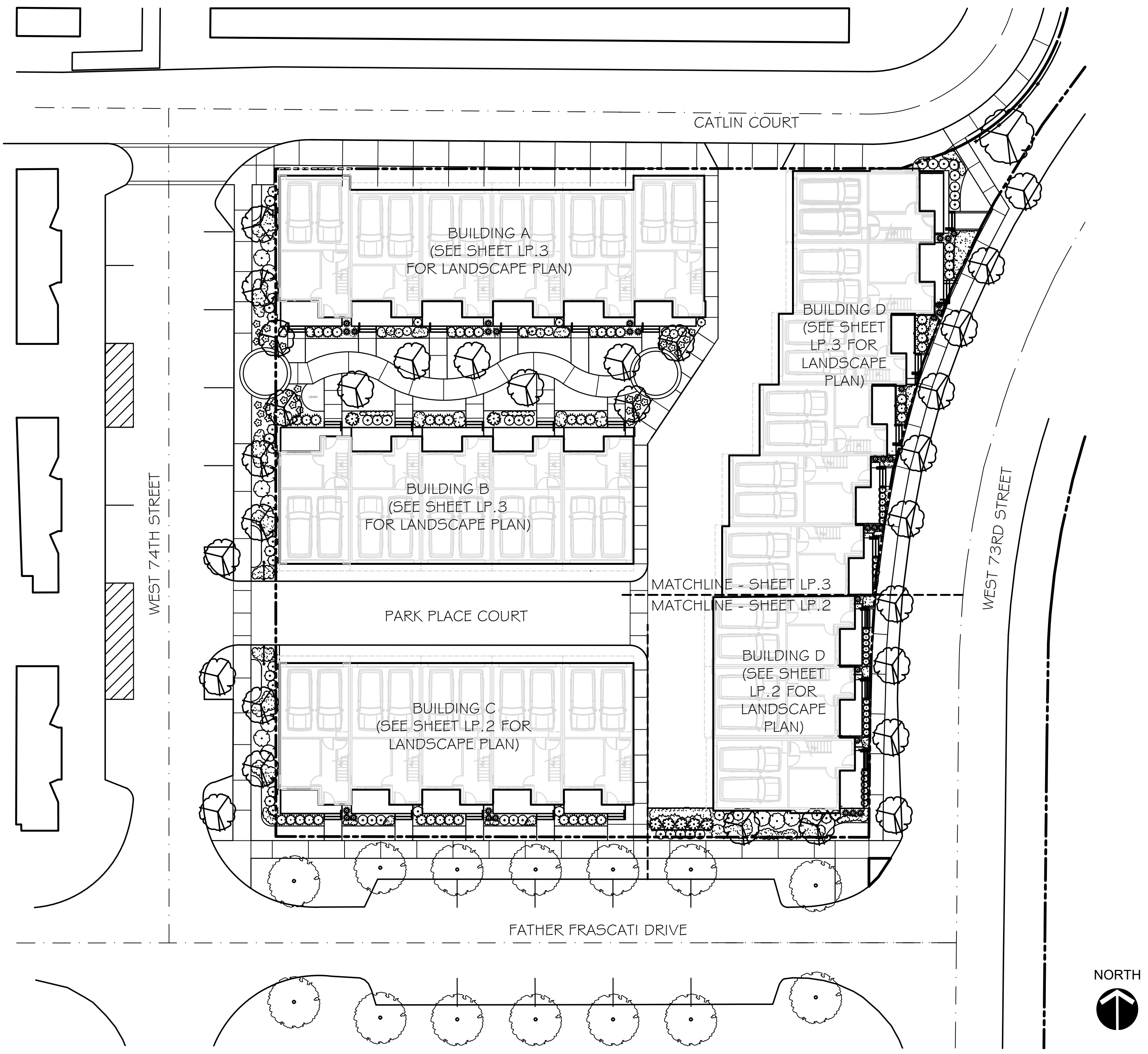
SP101
 DESIGN REVIEW
 SUBMISSION

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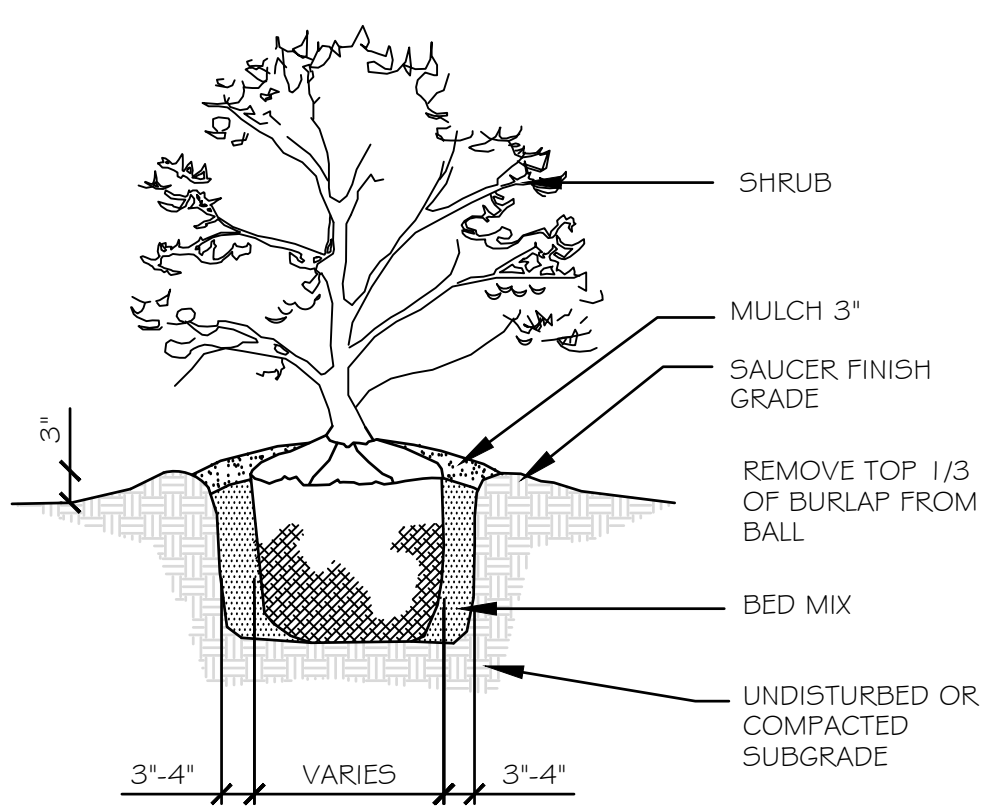


**(25) TOTAL UNITS SHOWN
 (14) TYPE A & (11) TYPE B
 PROPOSED SITE PLAN**
 SCALE: 3/32" = 1'-0"
 1 SP101

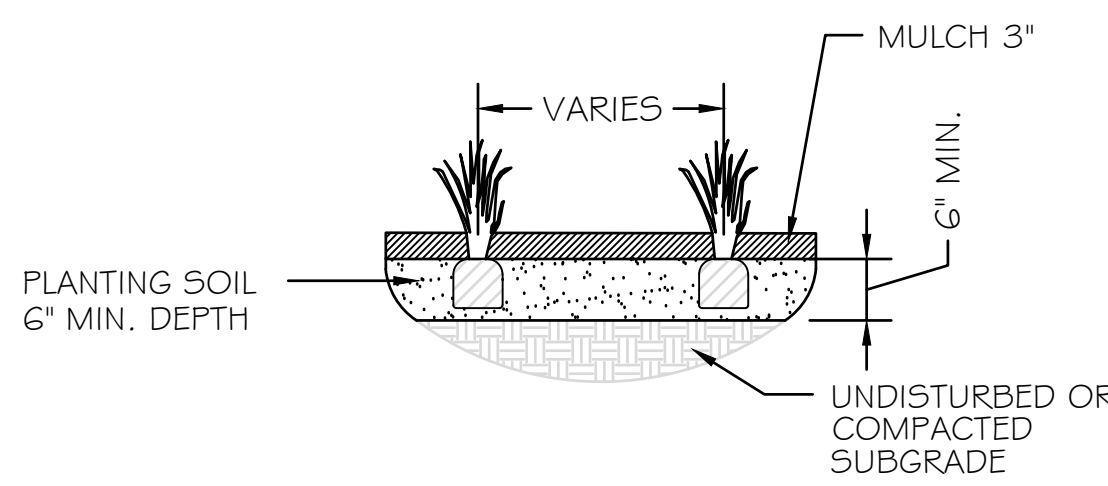




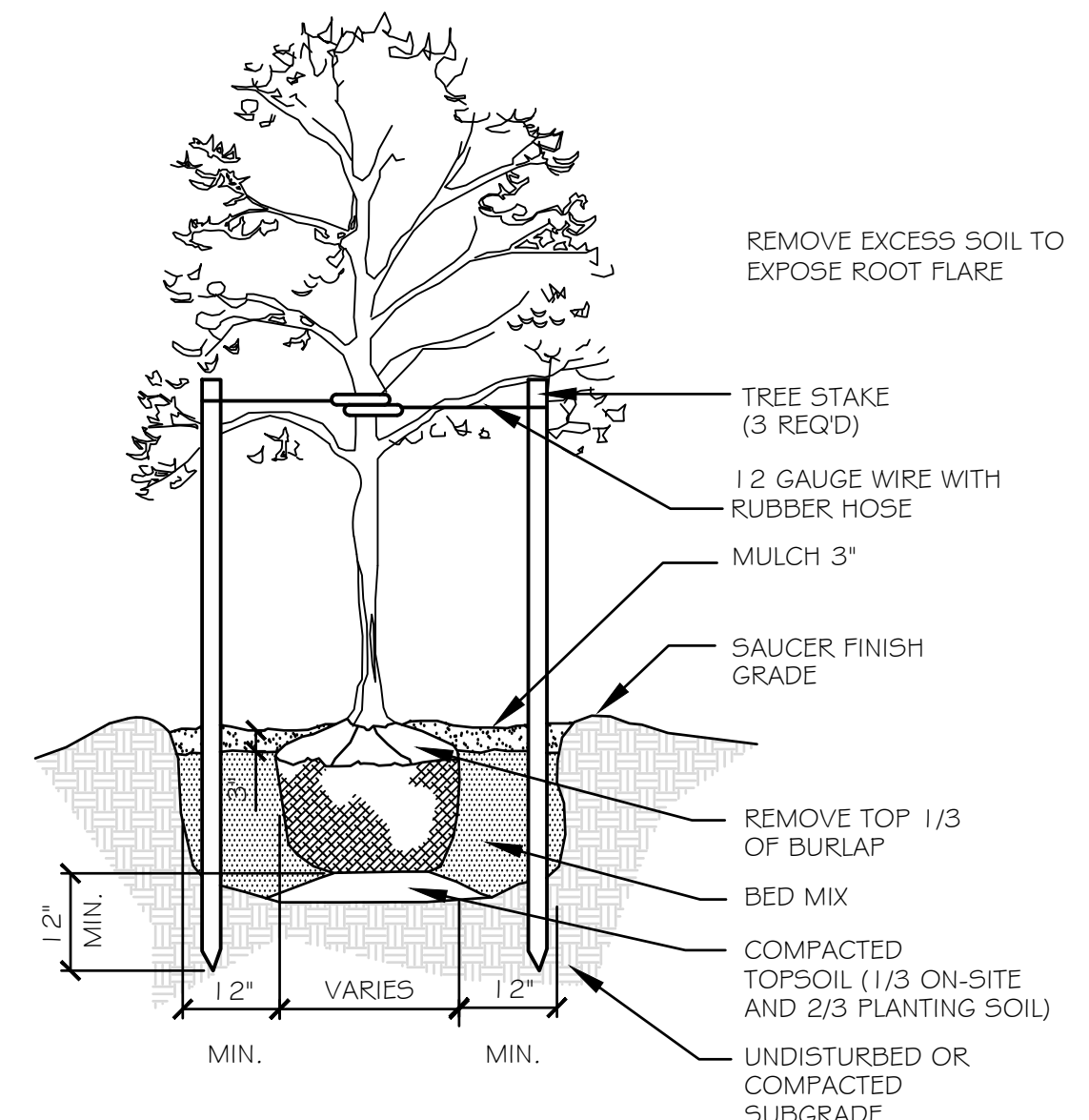
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SHRUB PLANTING
NOT TO SCALE



PERENNIAL PLANTING
NOT TO SCALE



DECIDUOUS TREE PLANTING
NOT TO SCALE

GENERAL NOTES

1. MODIFICATIONS TO THE DESIGNS MAY BE REQUIRED TO ACCOMMODATE VARYING FIELD CONDITIONS OR MODIFIED PLANT ARRANGEMENTS.
2. LANDSCAPE ARCHITECT TO BE THE AUTHORITY FOR INTERPRETATION OF PLAN AND QUALITY OF WORK.
3. ALL SUBSTITUTIONS SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT.
4. ALL MEASUREMENTS, ELEVATIONS, & PROPERTY LINE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY VARIATIONS OR DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
5. IF NO DISCREPANCIES ARE REPORTED PRIOR TO CONSTRUCTION AND THE OWNER OR CONTRACTOR DOES NOT EMPLOY THE LANDSCAPE ARCHITECT FOR THE CONSTRUCTION PHASE OF THE PROJECT, THE LANDSCAPE ARCHITECT SHALL BE HELD HARMLESS AND NOT RESPONSIBLE FOR MISINTERPRETATIONS, ERRORS, OR CHANGES MADE BY THE OWNER OR CONTRACTOR.
6. ALL SITE INFORMATION BASED ON CLIENT'S ARCHITECTURAL SITE PLAN PROVIDED BY PAYTO ARCHITECTS, INC. 405 BRADLEY BLDG, 1220 W. 6TH STREET, CLEVELAND, OHIO 44113, DATED JANUARY 21, 2021 AND REVISED FEBRUARY 23, 2021.
7. ALL WALL ELEVATIONS, PATIO ELEVATIONS, FINISHED GRADES, AND DRAIN LINE ELEVATIONS TO BE FINALIZED IN THE FIELD.
8. CONTRACTOR IS RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS.
9. CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES, SEPTIC SYSTEMS, IRRIGATION SYSTEMS, AND PROVIDE PROPER UTILITY PROTECTION PRIOR TO CONSTRUCTION. CALL APPROPRIATE STATE AUTHORITIES FOR MARKING. IF UNDERGROUND UTILITIES, CONSTRUCTION, OR SOLID ROCK LEDGES ARE ENCOUNTERED, OTHER LOCATIONS FOR PLANTINGS MAY BE SELECTED BY THE CONTRACTOR WITH THE OWNER/LANDSCAPE ARCHITECT'S APPROVAL.
10. CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN-UP ASSOCIATED WITH HIS CONSTRUCTION PROCEDURES.
11. QUALITY AND SIZES OF PLANTS TO MEET AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS.
12. ALL SUBSTITUTIONS OF PLANT SIZES AND VARIETIES SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
13. IF QUANTITIES LISTED IN PLANT LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
14. CONTRACT SHALL CONSIST OF TOTAL UNITS AUTHORIZED BY THE OWNER.
15. THIS PROPERTY MAY BE LOCATED IN AN AREA WITH A DENSE DEER POPULATION. IF DEER ARE HUNGRY ENOUGH THEY WILL EAT ALMOST ANYTHING, INCLUDING PLANTS NOT NORMALLY EATEN BY DEER. IF OWNER SHOULD NOTICE ANY DEER GRAZING ON THEIR PROPERTY, THEY SHOULD TAKE IMMEDIATE ACTION IN PROTECTING THE PLANTS ON THEIR PROPERTY.
16. FOR PLANTING BED PREPARATION, LOOSEN EXISTING SOIL TO A DEPTH OF 6", ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4" ABOVE FINISHED LAWN GRADE. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND OR AWAY FROM PLANTING BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADE ABOVE THE FINISHED FLOOR ELEVATION OR WATER-PROOFING LINE ON FOUNDATION.
17. PREPARE PLANTING BEDS BY APPLYING HERBICIDE PER MANUFACTURER'S SPECIFICATIONS TO WEEDS OR GRASS GROWTH IN PLANTING AREAS ON-SITE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO TAKE EFFECT. SCARIFY PLANTING AREAS TO A MINIMUM DEPTH OF SIX INCHES. TILL IN TOPSOIL, SANDY LOAM, AND ORGANIC MATERIAL (BED MIX). ADD 4 INCHES OF BED MIX TOPSOIL TO PLANTING AREAS. TILL IN SOIL TO CREATE A MIX OF EXISTING SOIL AND BED MIX. BRING BEDS TO GRADE AND RAKE TO REMOVE WEEDS, CLODS, ROCKS WITH A DIAMETER OF GREATER THAN ONE INCH. EXISTING TURF AREAS, IF ANY, THAT HAVE BEEN DAMAGED OR SCARRED DURING THE PLANTING OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
18. LEAF HUMUS TO BE MIXED INTO BED AREAS WHERE PERENNIAL PLANTINGS WILL BE LOCATED.
19. APPROPRIATE QUANTITIES OF 12-12-12 AGRIFORM SOLID FERTILIZER TABLETS (OR EQUAL) TO BE APPLIED TO ALL PLANTINGS.
20. ALL BEDS SHALL BE EDGED WITH A DEFINED, CUT EDGE. CONTRACTOR RESPONSIBLE FOR EDGING THE BEDS AFTER LAWN ESTABLISHMENT. THIS MAY REQUIRE THE CONTRACTOR TO EDGE THE BEDS TWICE DURING THE INSTALLATION PERIOD. NEWLY ESTABLISHED LAWN THAT IS COMING UP WITHIN THE BED AREAS AS A RESULT OF OVERSPRAY/OVERSEEDING SHALL ALSO BE REMOVED AT THIS TIME IN A MANNER THAT PROTECTS LAWN AND PLANTINGS.
21. ALL NYLON ROPING AND TWINE SHALL BE REMOVED PRIOR TO PLANTINGS. ALL NON-TREATED BURLAP AND/OR NON-ROT BURLAP TO BE REMOVED FROM THE TOP HALF OF THE ROOTBALL.
22. MULCH ALL PLANTINGS, BEDS, AND DISTURBED AREAS WITH A 3" DEPTH OF DOUBLE SHREDDED BARK MULCH.
23. ALL PLANT MATERIALS AND GROUNDCOVERS TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE FINAL ACCEPTANCE OF WORK.
24. ALL SHRUBS AND TREES TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
25. LAWN INSTALLATION: SHADED LAWN AREAS TO BE SEEDED WITH A PREMIUM SHADE MIX. ENTIRE LAWN AREAS TO BE SEEDED WITH DELUXE SUN MIX (INCLUDING OVERSEEDING SHADE AREAS). AREAS TO BE SEEDED TO BE WITHOUT CONSTRUCTION DEBRIS, WEEDS, OR ROCKS GREATER THAN 3/4" DIAMETER. APPLY A MINIMUM 2" OF TOPSOIL TO ALL LAWN AREAS.
26. RESEED ALL DISTURBED AREAS WITH THE APPROPRIATE SEED MIX.
27. ALL SEEDED AREAS TO BE COVERED WITH A 1-1/2" THICK LAYER OF NON-COMPACTED STRAW OR HYDROSEED.
28. CONTRACTOR IS RESPONSIBLE FOR WATERING NEW PLANT MATERIAL UNTIL FINAL ACCEPTANCE OF WORK.

Design Group, LLC
LANDSCAPE ARCHITECTS
P.O. BOX 234
WILLOUGHBY, OHIO 44096
info@mccuedesigngroup.com

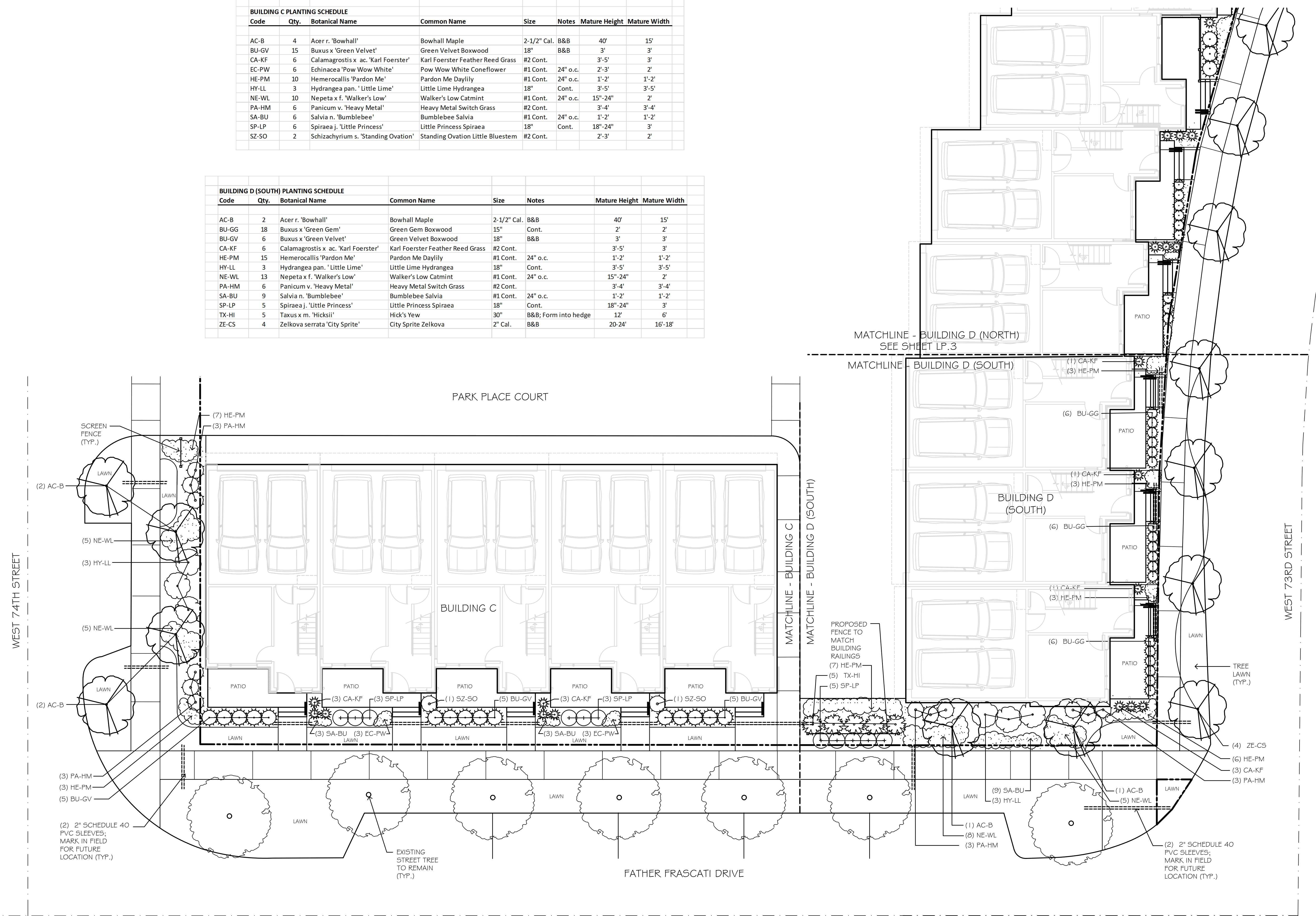
M c c u e

OVERALL LANDSCAPE PLAN
PARK PLACE AT BATTERY PARK
WEST 73RD ST. & FATHER FRASCATI DR.
CLEVELAND, OH

DATE	NOTES
1.22.21	CLIENT REVIEW
1.29.21	CITY SUBMITTAL
2.15.21	REV'D CITY SUB
2.23.21	REV'D CITY SUB

BUILDING C PLANTING SCHEDULE							
Code	Qty.	Botanical Name	Common Name	Size	Notes	Mature Height	Mature Width
AC-B	4	Acer r. 'Bowhall'	Bowhall Maple	2-1/2" Cal.	B&B	40'	15'
BU-GV	15	Buxus x 'Green Velvet'	Green Velvet Boxwood	18"	B&B	3'	3'
CA-KF	6	Calamagrostis x ac. 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Cont.		3'-5'	3'
EC-PW	6	Echinacea 'Pow Wow White'	Pow Wow White Coneflower	#1 Cont.	24" o.c.	2'-3'	2'
HE-PM	10	Hemerocallis 'Pardon Me'	Pardon Me Daylily	#1 Cont.	24" o.c.	1'-2'	1'-2'
HY-LL	3	Hydrangea pan. 'Little Lime'	Little Lime Hydrangea	18"	Cont.	3'-5'	3'-5'
NE-WL	10	Nepeta x f. 'Walker's Low'	Walker's Low Catmint	#1 Cont.	24" o.c.	15"-24"	2'
PA-HM	6	Panicum v. 'Heavy Metal'	Heavy Metal Switch Grass	#2 Cont.		3'-4'	3'-4'
SA-BU	6	Salvia n. 'Bumblebee'	Bumblebee Salvia	#1 Cont.	24" o.c.	1'-2'	1'-2'
SP-LP	6	Spiraea j. 'Little Princess'	Little Princess Spiraea	18"	Cont.	18"-24"	3'
SZ-SO	2	Schizachyrium s. 'Standing Ovation'	Standing Ovation Little Bluestem	#2 Cont.		2'-3'	2'

BUILDING D (SOUTH) PLANTING SCHEDULE							
Code	Qty.	Botanical Name	Common Name	Size	Notes	Mature Height	Mature Width
AC-B	2	Acer r. 'Bowhall'	Bowhall Maple	2-1/2" Cal.	B&B	40'	15'
BU-GG	18	Buxus x 'Green Gem'	Green Gem Boxwood	15"	Cont.	2'	2'
BU-GV	6	Buxus x 'Green Velvet'	Green Velvet Boxwood	18"	B&B	3'	3'
CA-KF	6	Calamagrostis x ac. 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Cont.		3'-5'	3'
HE-PM	15	Hemerocallis 'Pardon Me'	Pardon Me Daylily	#1 Cont.	24" o.c.	1'-2'	1'-2'
HY-LL	3	Hydrangea pan. 'Little Lime'	Little Lime Hydrangea	18"	Cont.	3'-5'	3'-5'
NE-WL	13	Nepeta x f. 'Walker's Low'	Walker's Low Catmint	#1 Cont.	24" o.c.	15"-24"	2'
PA-HM	6	Panicum v. 'Heavy Metal'	Heavy Metal Switch Grass	#2 Cont.		3'-4'	3'-4'
SA-BU	9	Salvia n. 'Bumblebee'	Bumblebee Salvia	#1 Cont.	24" o.c.	1'-2'	1'-2'
SP-LP	5	Spiraea j. 'Little Princess'	Little Princess Spiraea	18"	Cont.	18"-24"	3'
TX-HI	5	Taxus x m. 'Hicksii'	Hick's Yew	30"	B&B; Form into hedge	12'	6'
ZE-CS	4	Zelkova serrata 'City Sprite'	City Sprite Zelkova	2" Cal.	B&B	20-24'	16'-18'

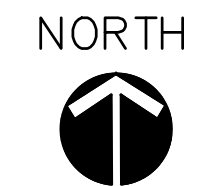
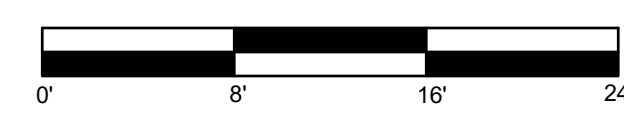


Mccue
Design Group, LLC
 LANDSCAPE ARCHITECTS
 P.O. BOX 234
 WILLOUGHBY, OHIO 44096
 info@mccuedesigngroup.com

LANDSCAPE PLAN - BUILDINGS C & D (SOUTH)
PARK PLACE AT BATTERY PARK
 WEST 73RD ST. & FATHER FRASCATI DR.
 CLEVELAND, OH

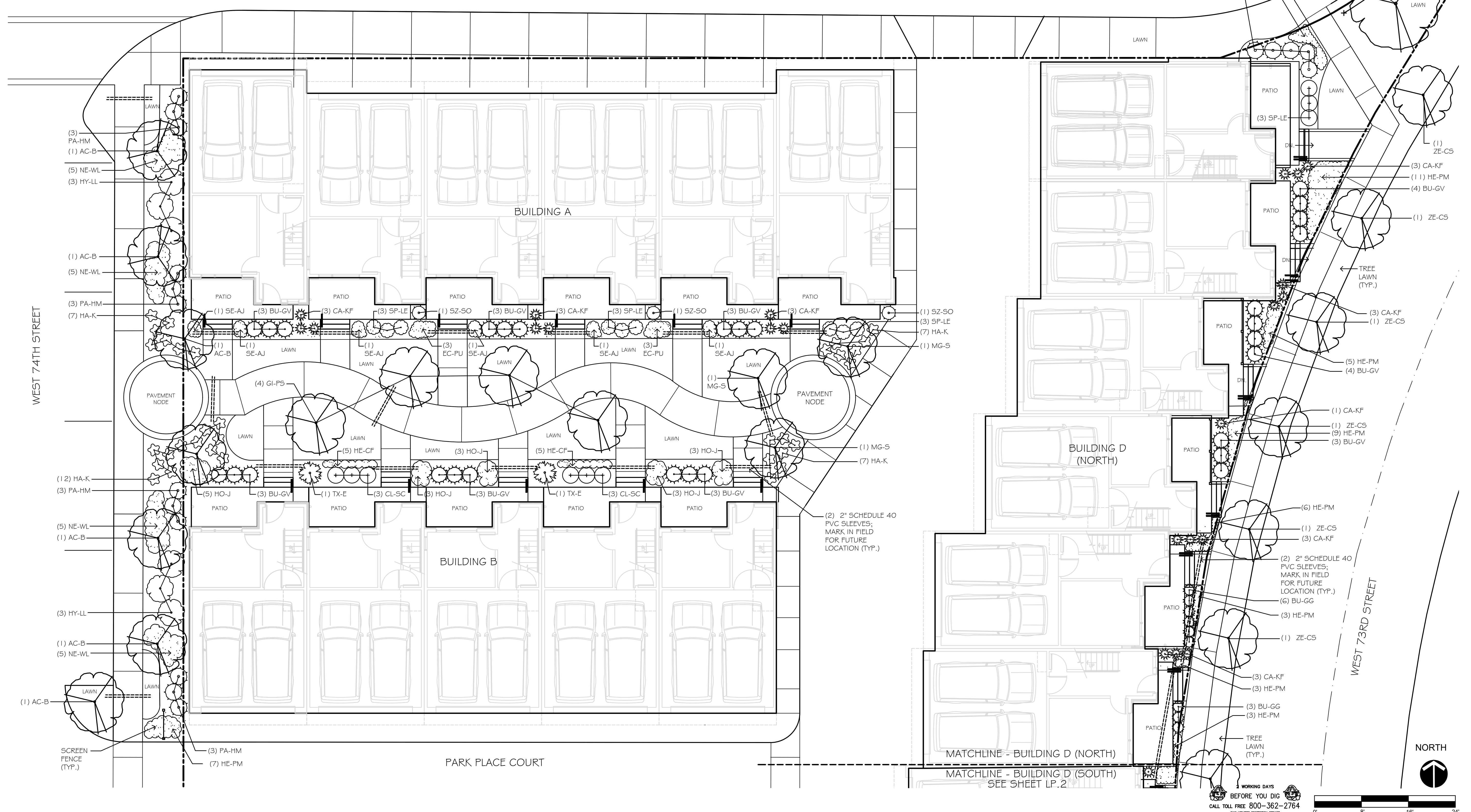
DATE	NOTES
1.22.21	CLIENT REVIEW
1.29.21	CITY SUBMITTAL
2.15.21	REV'D CITY SUB
2.23.21	REV'D CITY SUB

2 WORKING DAYS
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BUILDINGS A & B PLANTING SCHEDULE							
Code	Qty.	Botanical Name	Common Name	Size	Notes	Mature Height	Mature Width
AC-B	6	Acerr. 'Bowhall'	Bowhall Maple	2-1/2" Cal.	B&B	40'	15'
BU-GV	18	Buxus x 'Green Velvet'	Green Velvet Boxwood	18"	B&B	3'	3'
CA-KF	9	Calamagrostis x ac. 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Cont.		3'-5'	3'
CL-SC	6	Clethra a. 'Sixteen Candles'	Sixteen Candles Summersweet	24"	Cont.	30"	36"-42"
EC-PU	6	Echinacea p. 'Magnus'	Magnus Purple Coneflower	#1 Cont.	24" o.c.	2'-3'	2'
GI-PS	4	Ginkgo 'Princeton Sentry'	Princeton Sentry Ginkgo	2-1/2" cal.	B&B	40'	15'
HA-K	33	Hakonechloa mac. 'Aureola'	Japanese Forest Grass	#1 Cont.		12"	2'
HE-CF	10	Heucherella 'Catching Fire'	Catching Fire Foamy Bells	#1 Cont.	24" o.c.	8"-10"	16"-20"
HE-PM	3	Hemerocallis 'Pardon Me'	Pardon Me Daylily	#1 Cont.	24" o.c.	1'-2'	1'-2'
HO-J	17	Hosta 'June'	June Hosta Lily	#1 Cont.		12"	2'
HY-LL	6	Hydrangea pan. 'Little Lime'	Little Lime Hydrangea	18"	Cont.	3'-5'	3'-5'
MG-S	3	Magnolia s. 'Royal Star'	Royal Star Magnolia	6"	B&B. Multi-stem	15'-18'	10'-15'
NE-WL	20	Nepeta x f. 'Walker's Low'	Walker's Low Catmint	#1 Cont.	24" o.c.	15"-24"	2'
PA-HM	12	Panicum v. 'Heavy Metal'	Heavy Metal Switch Grass	#2 Cont.		3'-4'	3'-4'
SE-AJ	6	Sedum 'Autumn Joy'	Autumn Joy Sedum	#1 Cont.		16"	2'
SP-LE	9	Spiraea x b. 'Lemon Princess'	Lemon Princess Spiraea	18"	Cont.	2'-3'	3'-4'
SZ-SO	3	Schizachyrium s. 'Standing Ovation'	Standing Ovation Little Bluestem	#2 Cont.		2'-3'	2'
TX-E	2	Taxus x m. 'Everlow'	Everlow Yew	18"	B&B	3'	5'

BUILDING D (NORTH) PLANTING SCHEDULE							
Code	Qty.	Botanical Name	Common Name	Size	Notes	Mature Height	Mature Width
BU-GG	9	Buxus x 'Green Gem'	Green Gem Boxwood	15"	Cont.	2'	2'
BU-GV	11	Buxus x 'Green Velvet'	Green Velvet Boxwood	18"	B&B	3'	3'
CA-KF	13	Calamagrostis x ac. 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Cont.		3'-5'	3'
EC-PW	0	Echinacea 'Pow Wow White'	Pow Wow White Coneflower	#1 Cont.	24" o.c.	2'-3'	2'
HE-PM	40	Hemerocallis 'Pardon Me'	Pardon Me Daylily	#1 Cont.	24" o.c.	1'-2'	1'-2'
NE-WL	5	Nepeta x f. 'Walker's Low'	Walker's Low Catmint	#1 Cont.	24" o.c.	15"-24"	2'
SP-LE	3	Spiraea x b. 'Lemon Princess'	Lemon Princess Spiraea	18"	Cont.	2'-3'	3'-4'
SZ-SO	5	Schizachyrium s. 'Standing Ovation'	Standing Ovation Little Bluestem	#2 Cont.		2'-3'	2'
TI-S	1	Tilia t. 'Sterling'	Sterling Silver Linden	2-1/2" Cal.	B&B	40'-60'	35'
ZE-CS	6	Zelkova serrata 'City Sprite'	City Sprite Zelkova	2" Cal.	B&B	20-24'	16'-18'



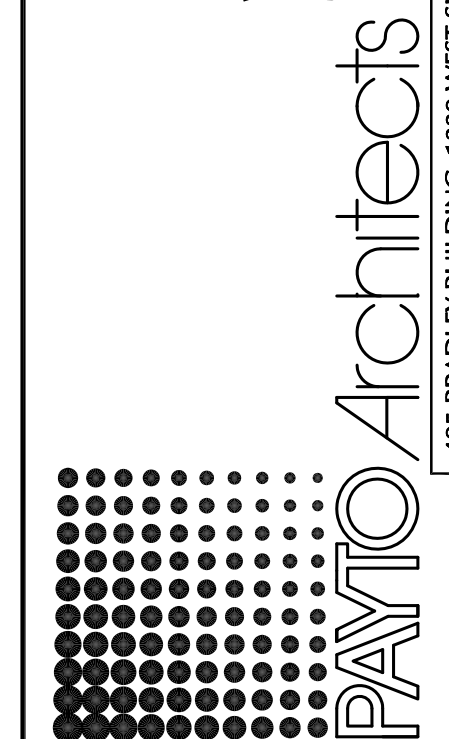
Mccue
Design Group, LLC
 LANDSCAPE ARCHITECTS
 P.O. BOX 234
 WILLOUGHBY, OHIO 44096
 info@mccuedesigngroup.com

LANDSCAPE PLAN - BUILDINGS A, B, & D (NORTH)
PARK PLACE AT BATTERY PARK
 WEST 73RD ST. & FATHER FRASCATI DR.
 CLEVELAND, OH

DATE	NOTES
1.22.21	CLIENT REVIEW
1.29.21	CITY SUBMITTAL
2.15.21	REV'D CITY SUB
2.23.21	REV'D CITY SUB

**PRELIMINARY
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 ON 24"X36" SHEET**

PARK PLACE at BATTERY PARK
 BATTERY PARK PLACE LLC
 WEST 73RD ST & FATHER FRASCATI AVE.
 CLEVELAND, OH

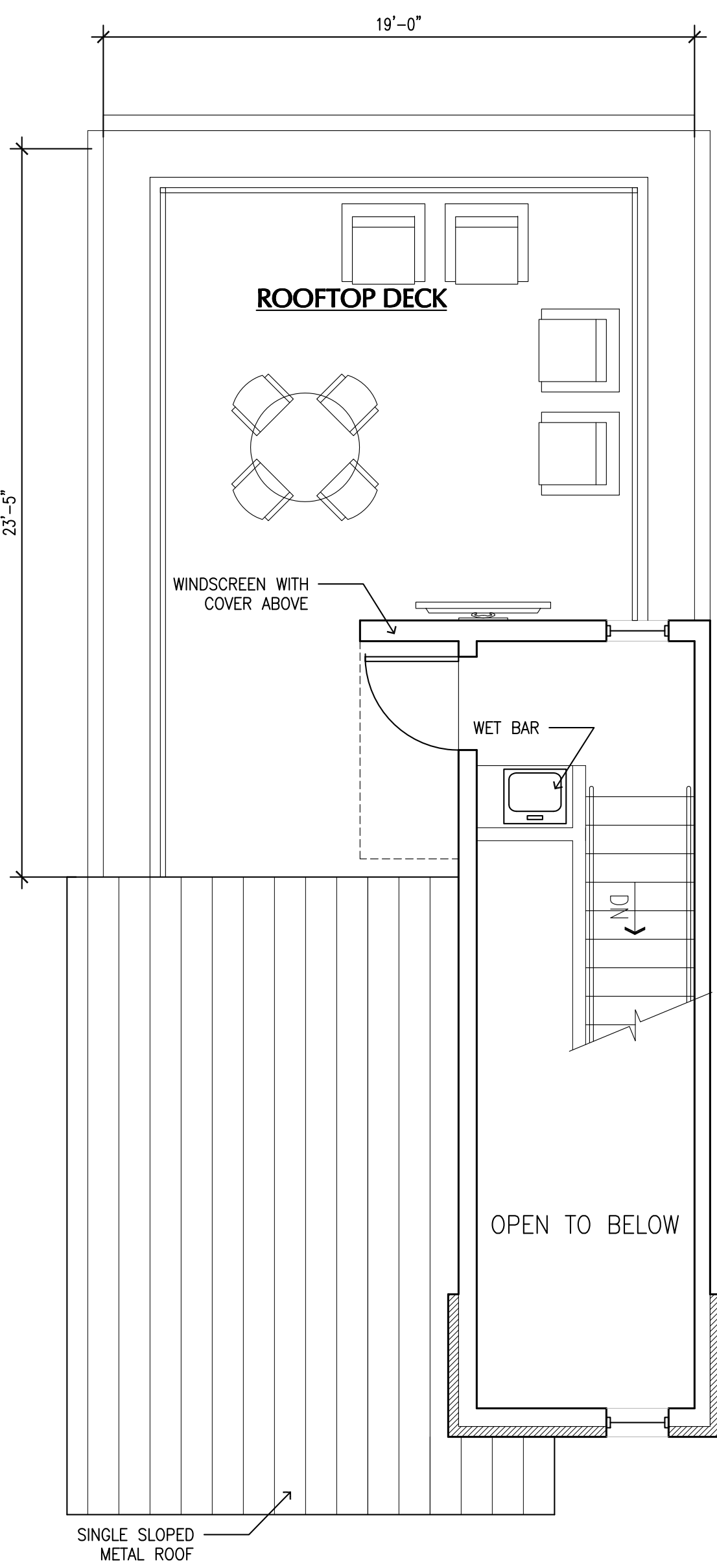


PROPOSED FLOOR
 PLANS - UNIT TYPE A-1

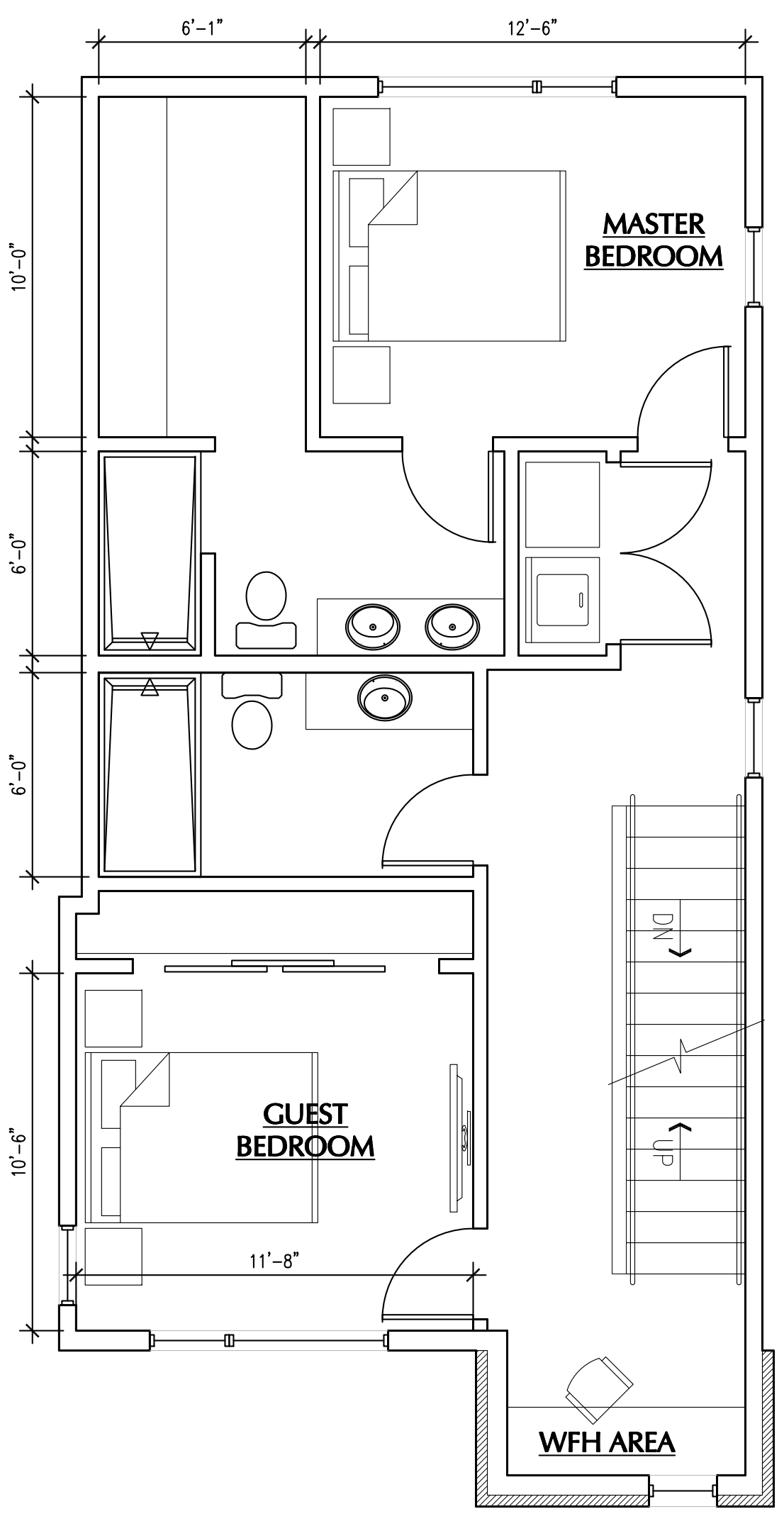
A101A1

DESIGN REVIEW
 SUBMISSION

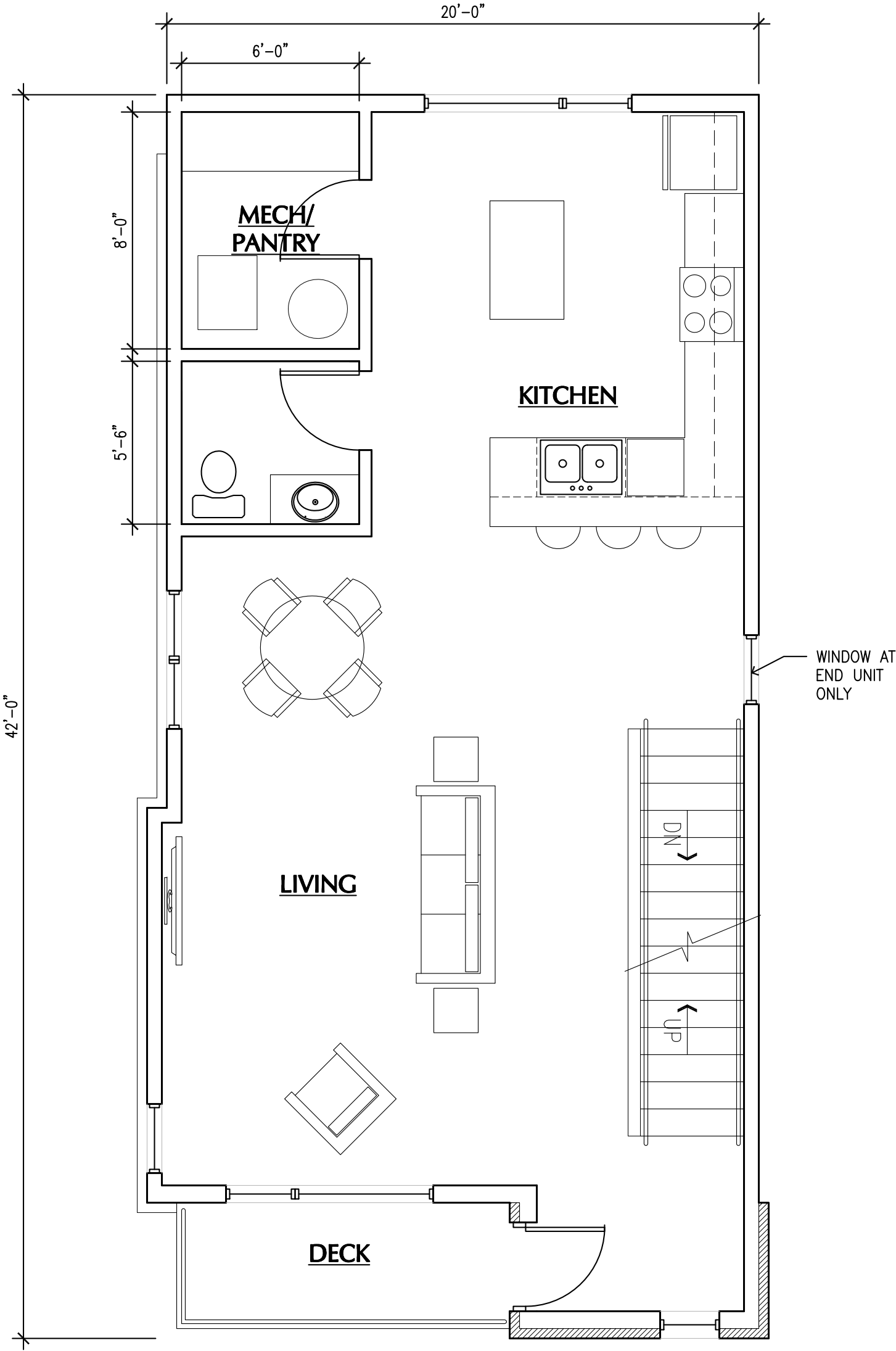
SUMMARY OF LIVING AREA:	
LEVEL 1 LIVING SPACE:	303 SF
LEVEL 2 LIVING SPACE:	726 SF
LEVEL 3 LIVING SPACE:	726 SF
TOTAL LIVING SPACE:	1,755 SF



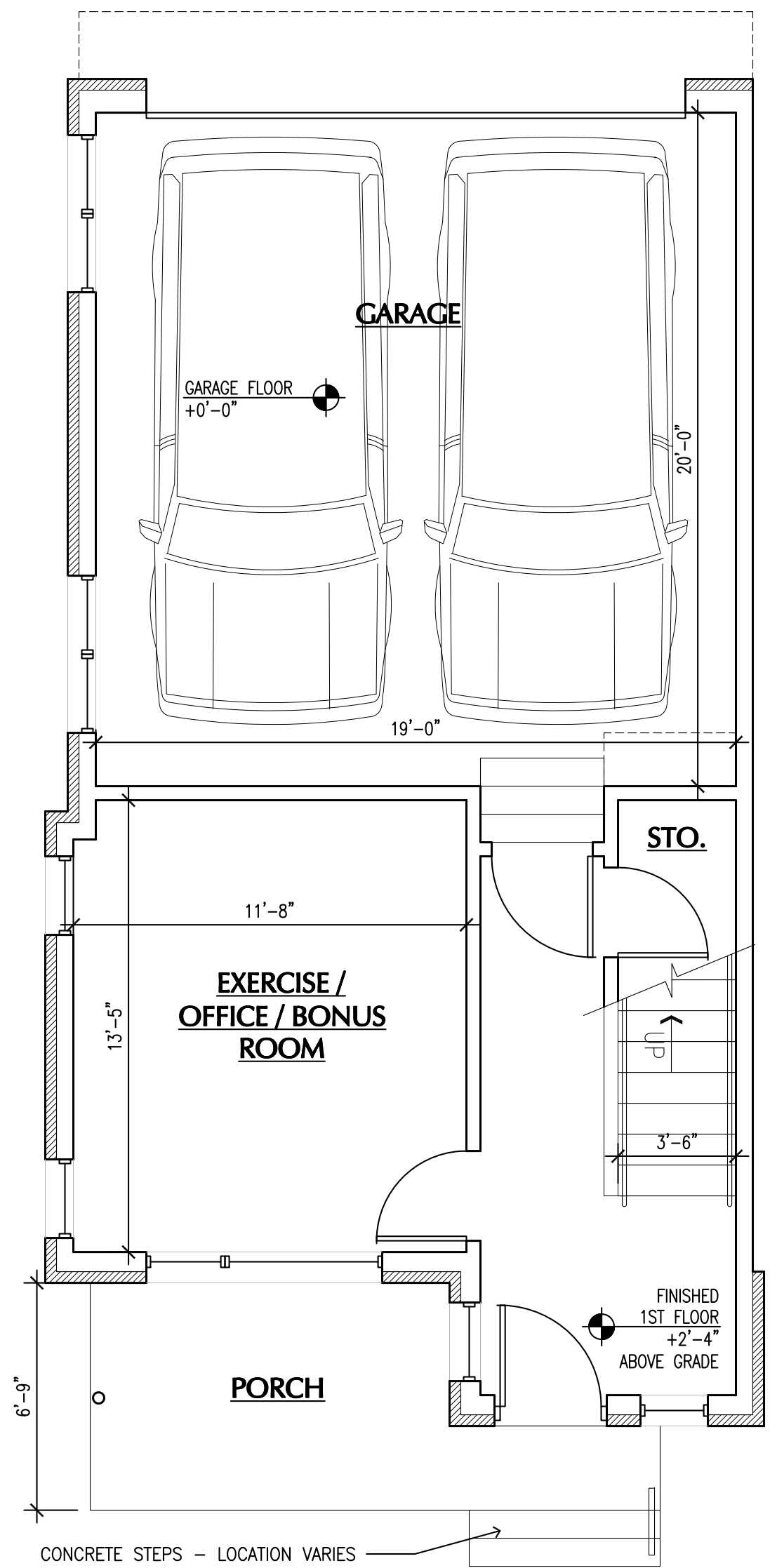
4 ROOF LEVEL PLAN - TYPE A-1
 A101A-1 SCALE: 1/4" = 1'-0"



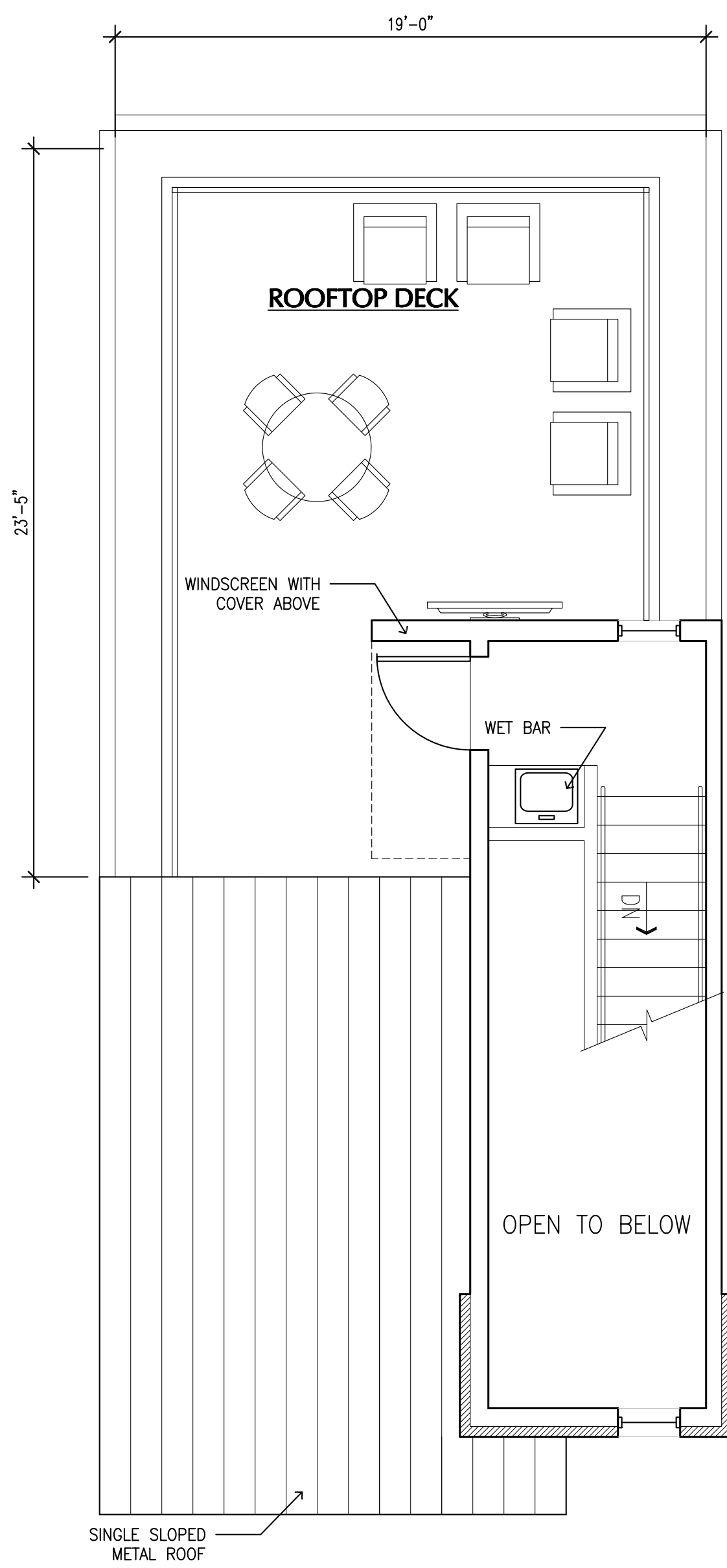
3 THIRD FLOOR PLAN - TYPE A-1
 A101A-1 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - TYPE A-1
 A101A-1 SCALE: 1/4" = 1'-0"

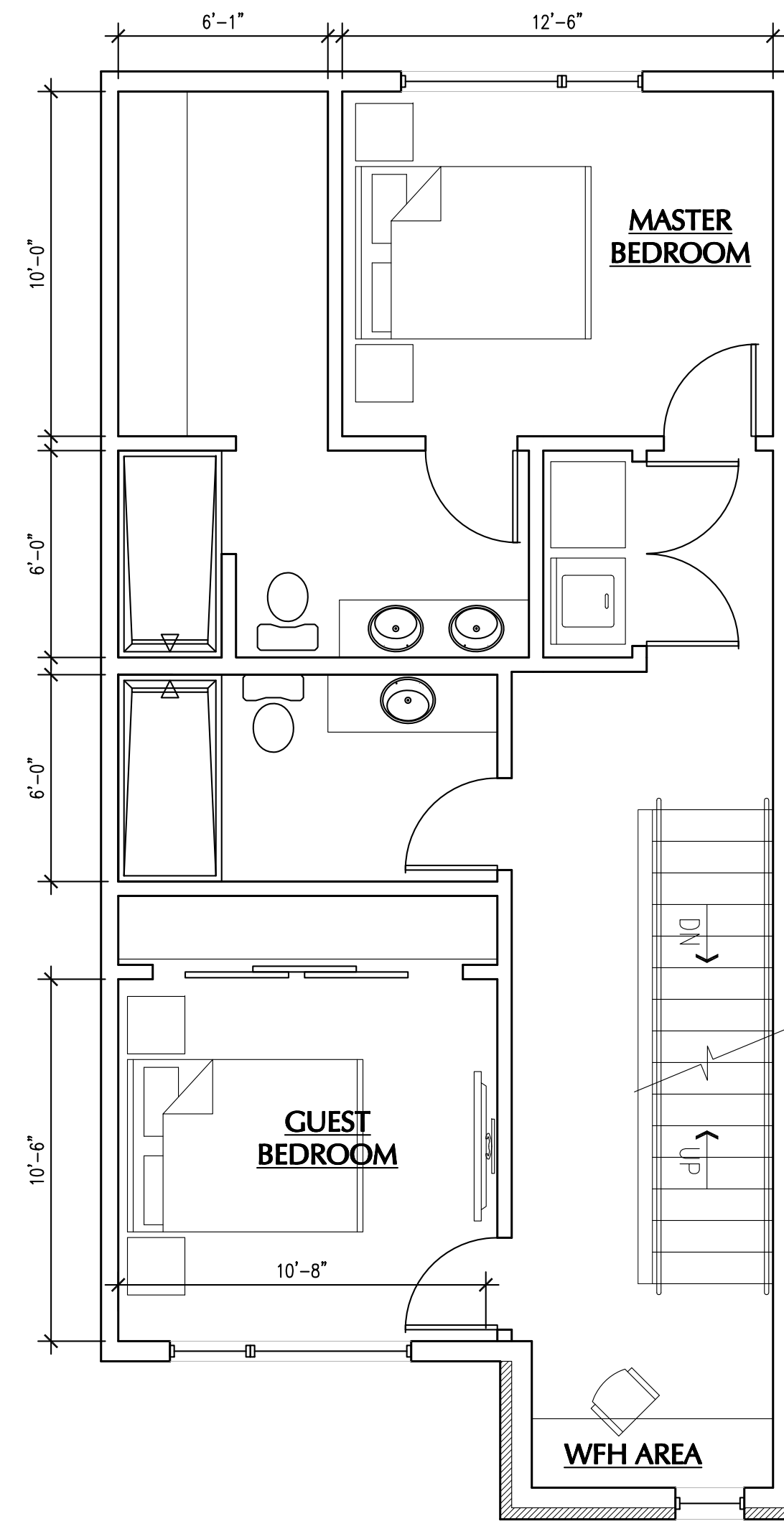
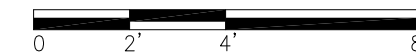


1 FIRST FLOOR PLAN - TYPE A-1
 A101A-1 SCALE: 1/4" = 1'-0"



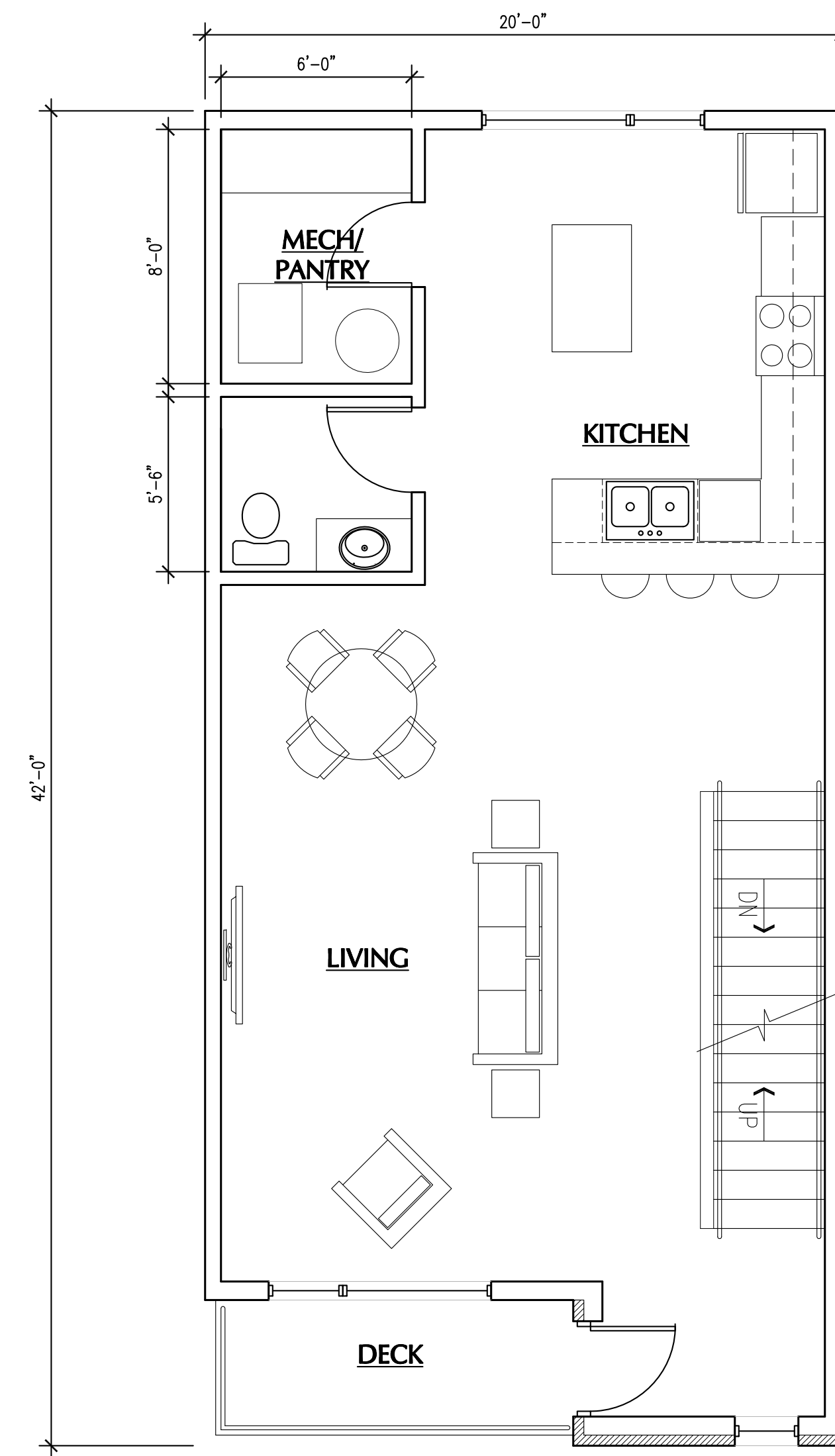
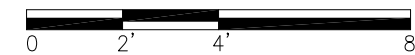
4 ROOF LEVEL PLAN - TYPE A-2

A101A-2 SCALE: 1/4" = 1'-0"



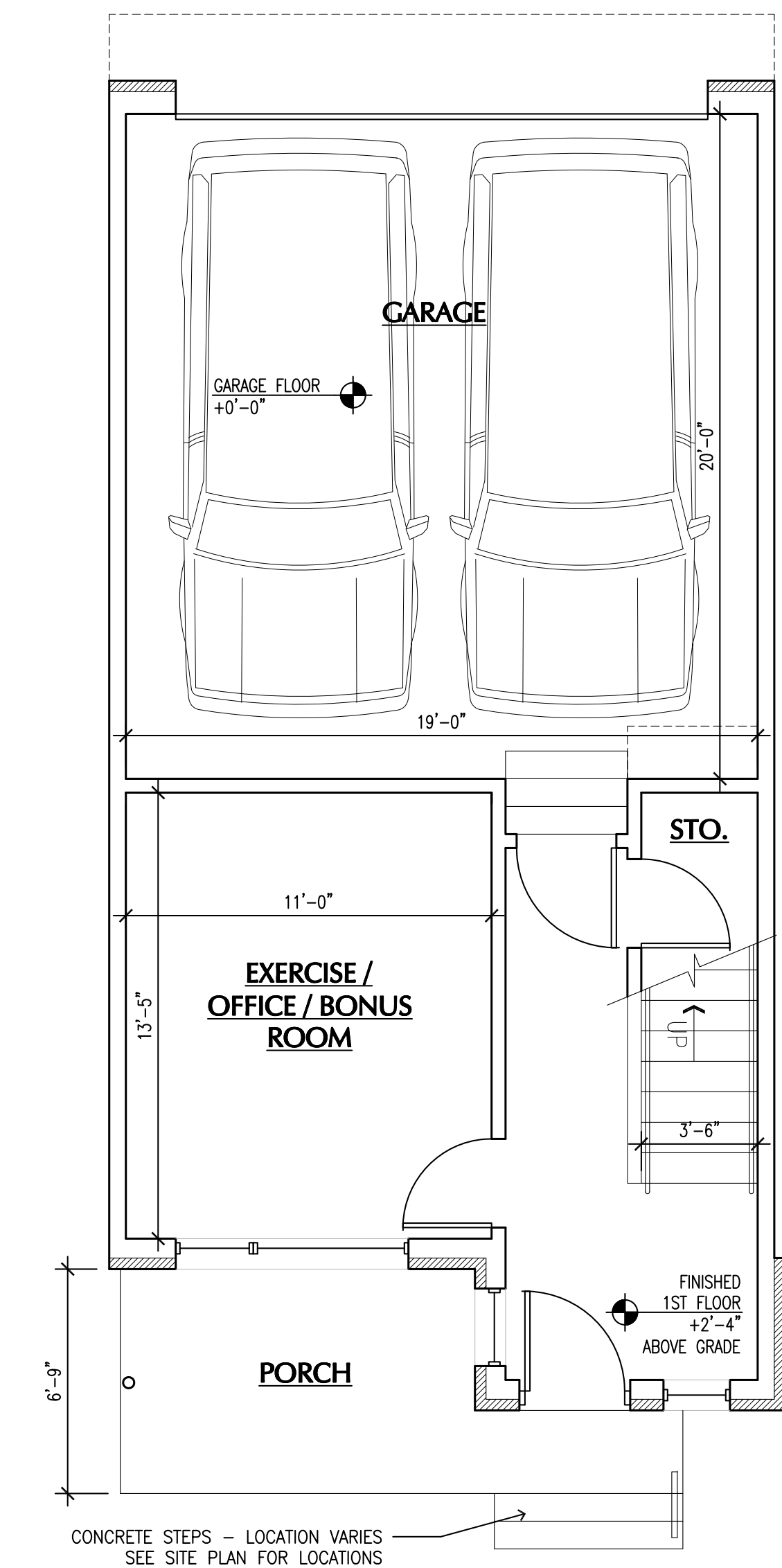
3 THIRD FLOOR PLAN - TYPE A-2

A101A-2 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - TYPE A-2

A101A-2 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - TYPE A-2

A101A-2 SCALE: 1/4" = 1'-0"

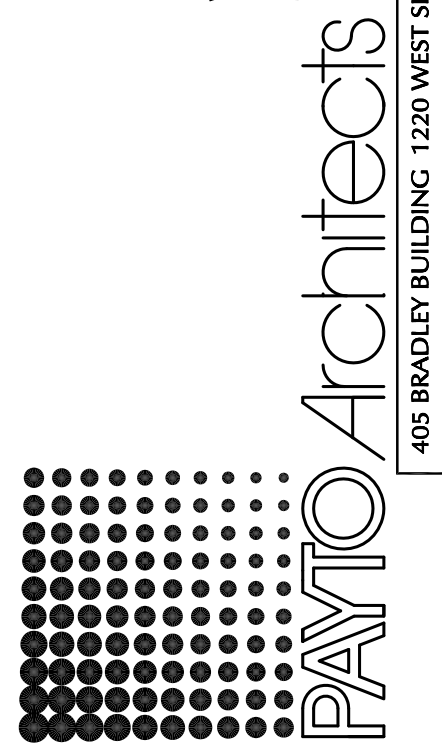


SUMMARY OF LIVING AREA:	
LEVEL 1 LIVING SPACE:	296 SF
LEVEL 2 LIVING SPACE:	722 SF
LEVEL 3 LIVING SPACE:	722 SF
TOTAL LIVING SPACE:	1,740 SF

ISSUE DATE:	02.01.21
PLAN REVISIONS	02.15.21
PLAN REVISIONS	02.23.21

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PARK PLACE at BATTERY PARK
BATTERY PARK PLACE LLC
WEST 73RD ST & FATHER FRASCATI AVE.
CLEVELAND, OH



PROPOSED FLOOR
PLANS - UNIT TYPE A-2

PA PROJECT NO. 2020-35
CURRENT DATE 02.15.21

A101A2

DESIGN REVIEW
SUBMISSION

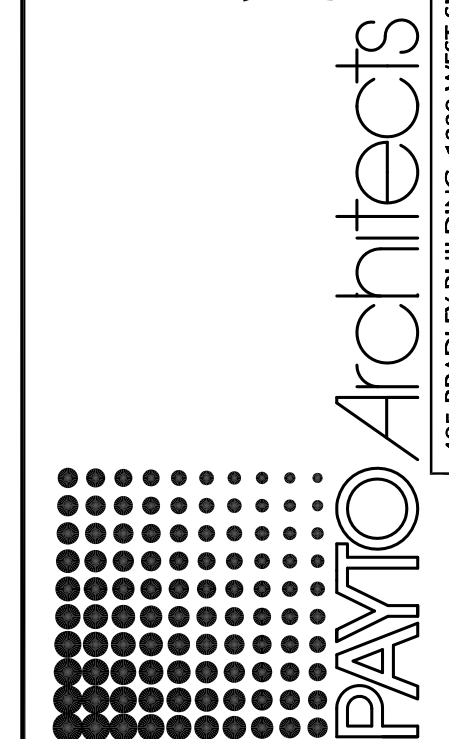
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ISSUE DATE:	02.01.21
▲ PLAN REVISIONS	02.15.21
▲ PLAN REVISIONS	02.23.21

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PARK PLACE at BATTERY PARK
BATTERY PARK PLACE LLC
WEST 73RD ST & FATHER FRASCATI AVE.
CLEVELAND, OH



PROPOSED FLOOR
PLANS - UNIT TYPE B-1

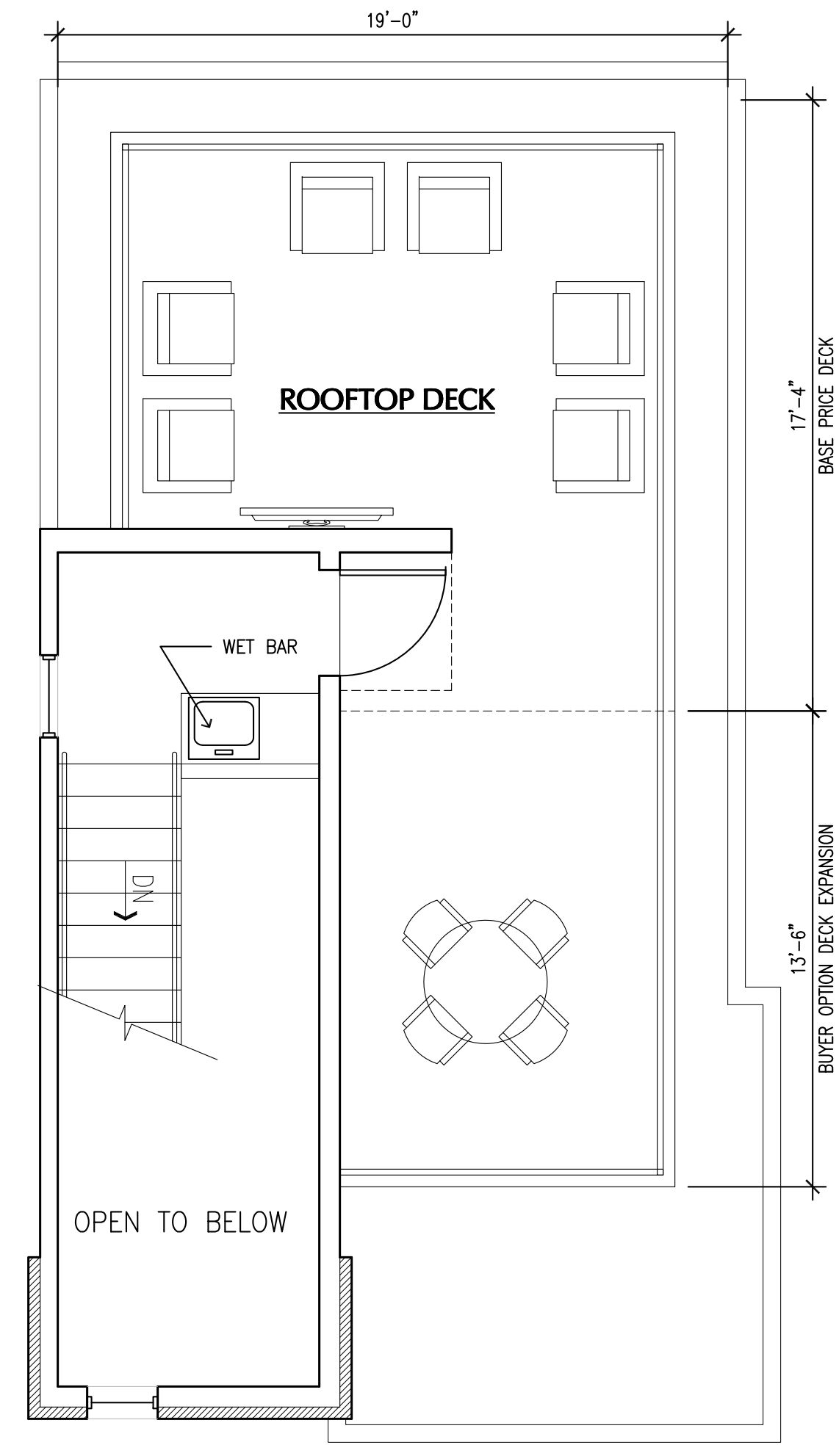
PA PROJECT NO. 2020-35
CURRENT DATE 02.15.21

A101B1

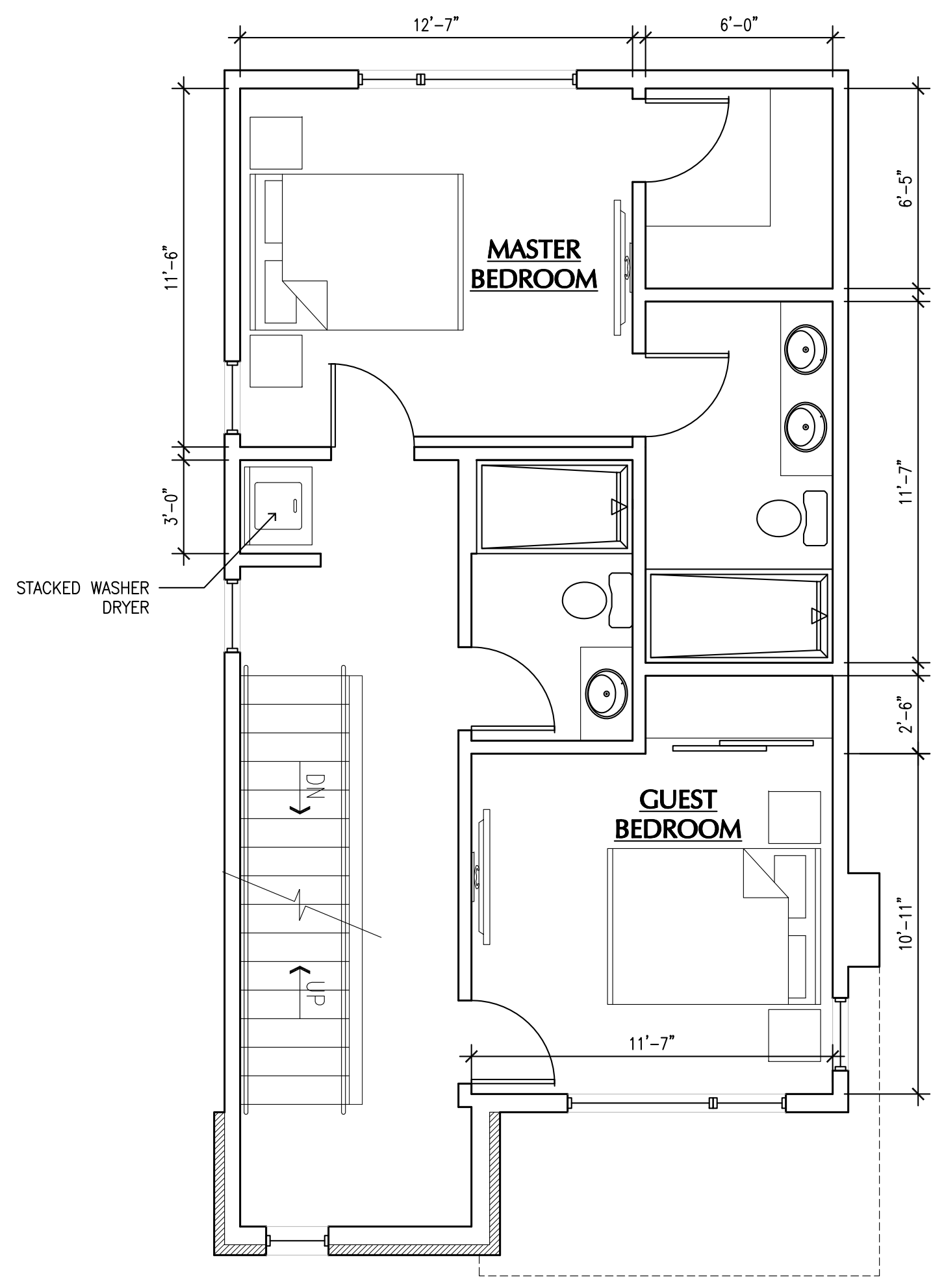
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SUBMISSION

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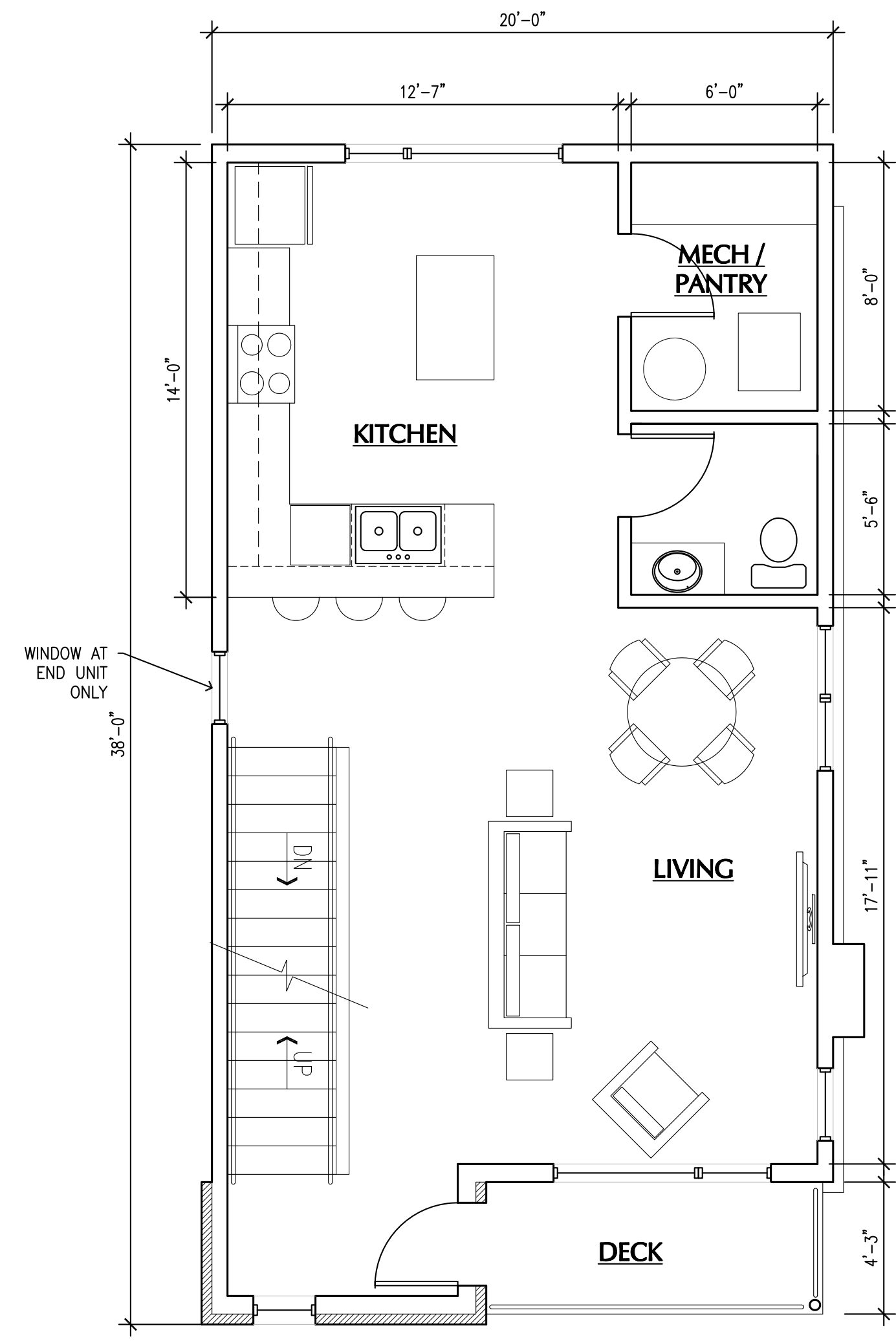
SUMMARY OF LIVING AREA:	
LEVEL 1 LIVING SPACE:	216 SF
LEVEL 2 LIVING SPACE:	642 SF
LEVEL 3 LIVING SPACE:	642 SF
LEVEL 4 LIVING SPACE:	1,500 SF



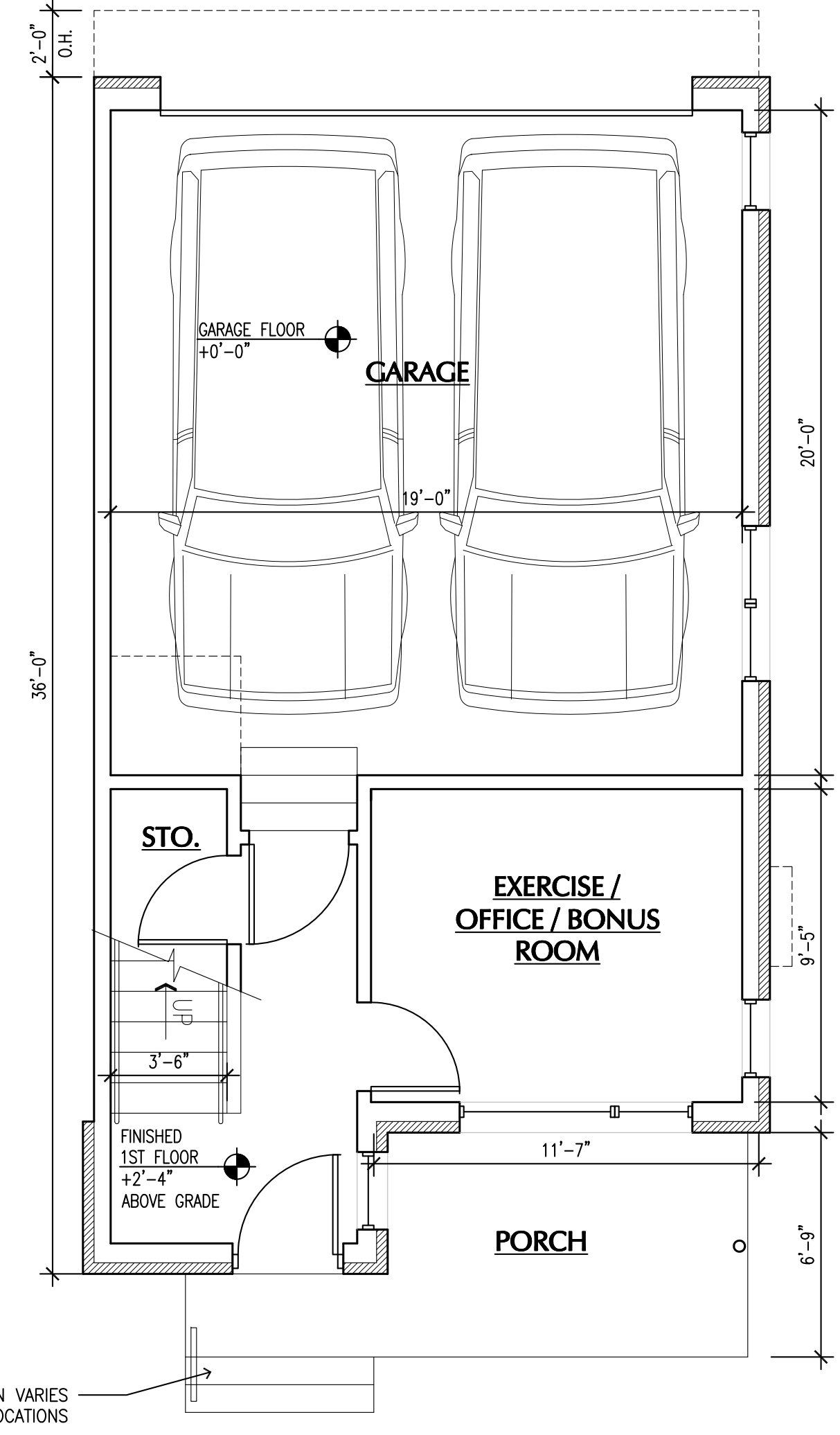
4 ROOF PLAN - TYPE B-1
A101B- SCALE: 1/4" = 1'-0"
0 2 4 8'



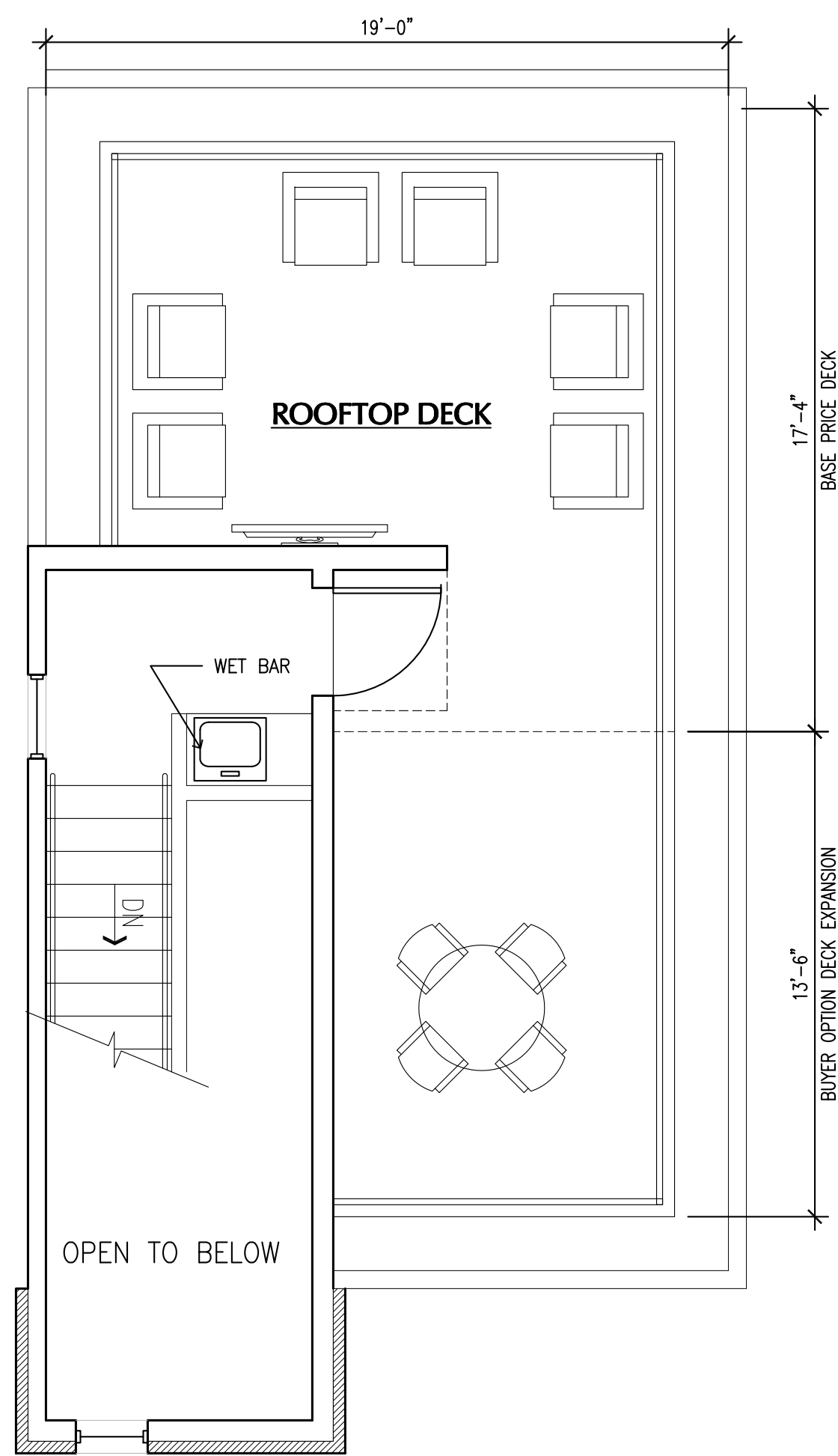
3 THIRD FLOOR PLAN - TYPE B-1
A101B- SCALE: 1/4" = 1'-0"
0 2 4 8'



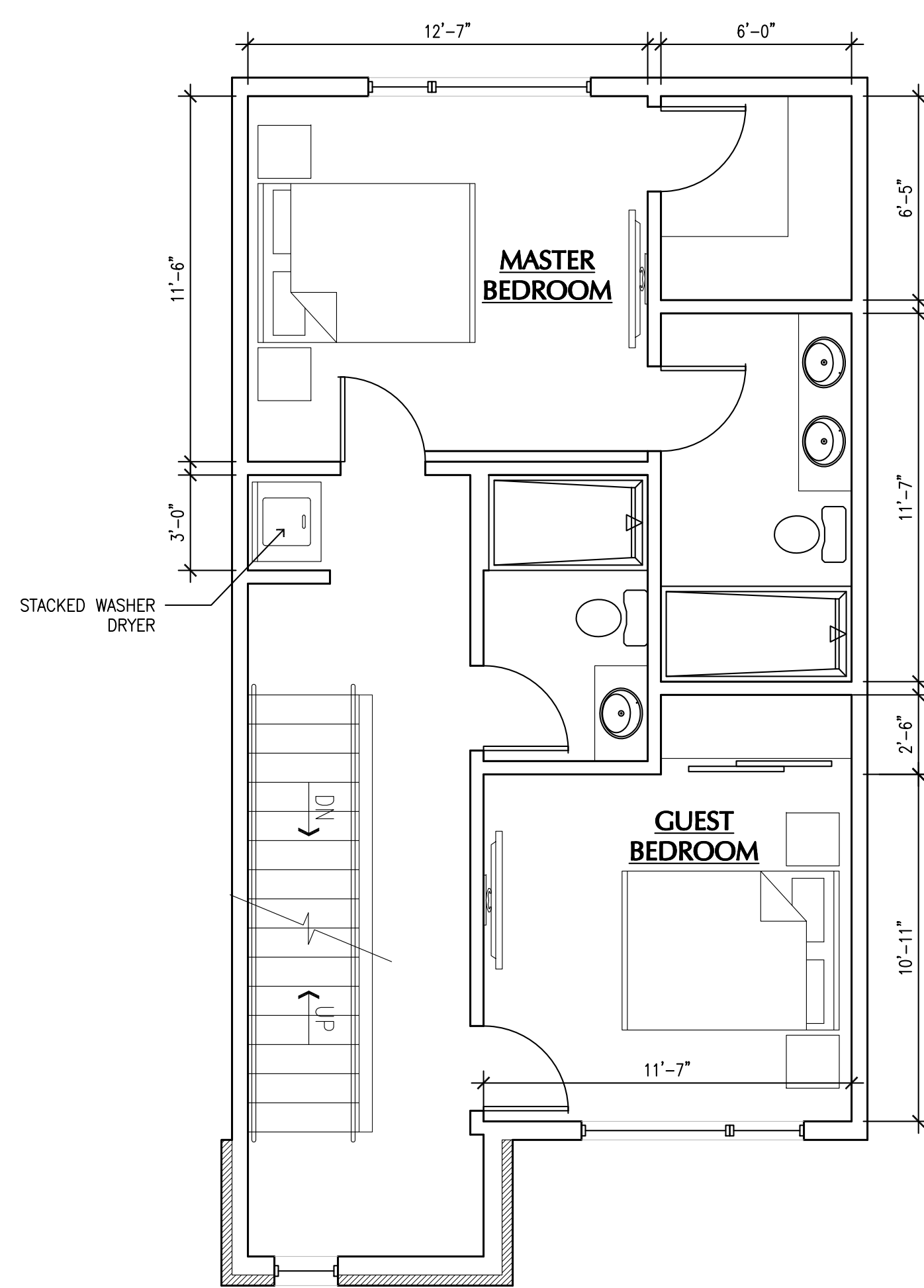
2 SECOND FLOOR PLAN - TYPE B-1
A101B- SCALE: 1/4" = 1'-0"
0 2 4 8'



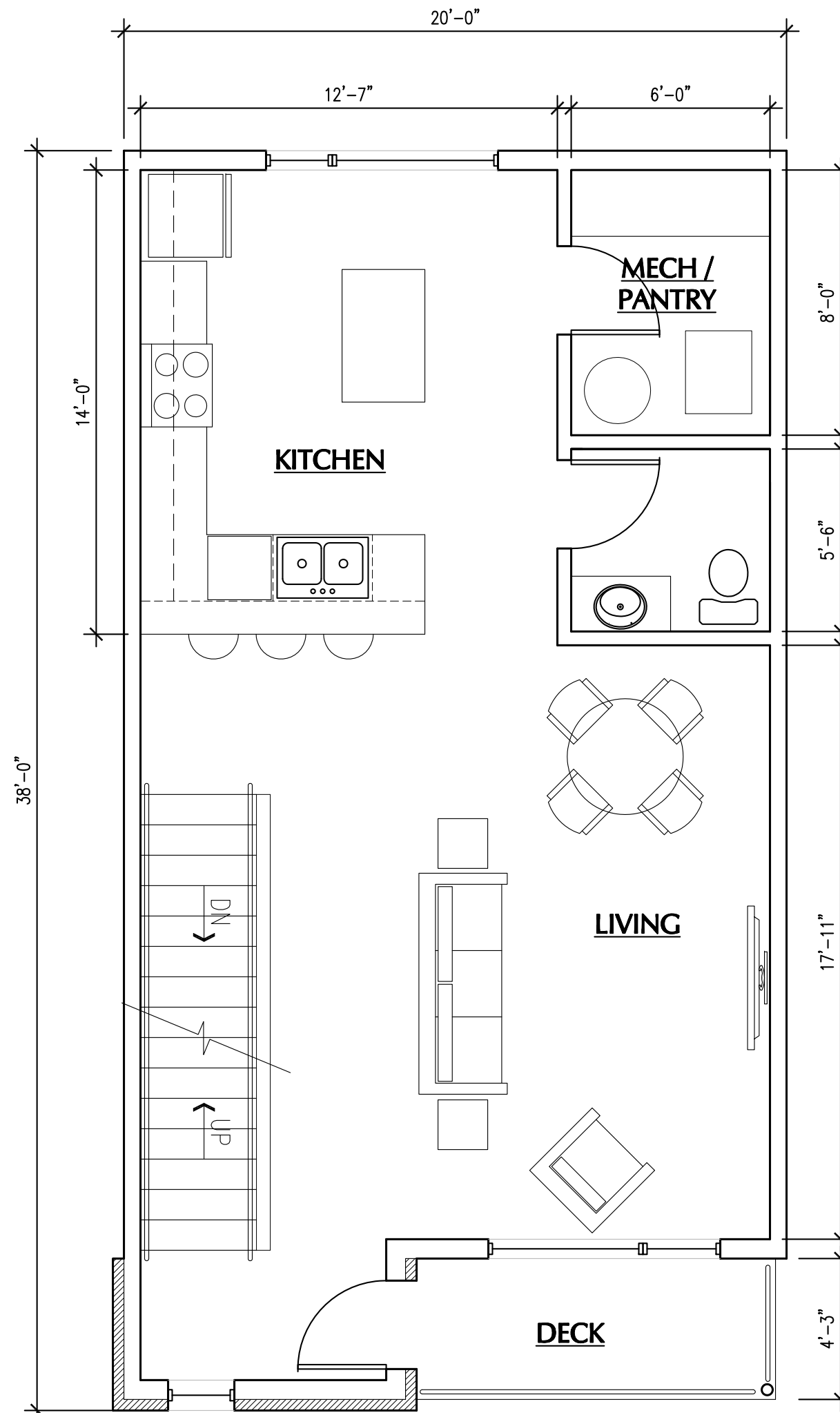
1 FIRST FLOOR PLAN - TYPE B-1
A101B- SCALE: 1/4" = 1'-0"
0 2 4 8'



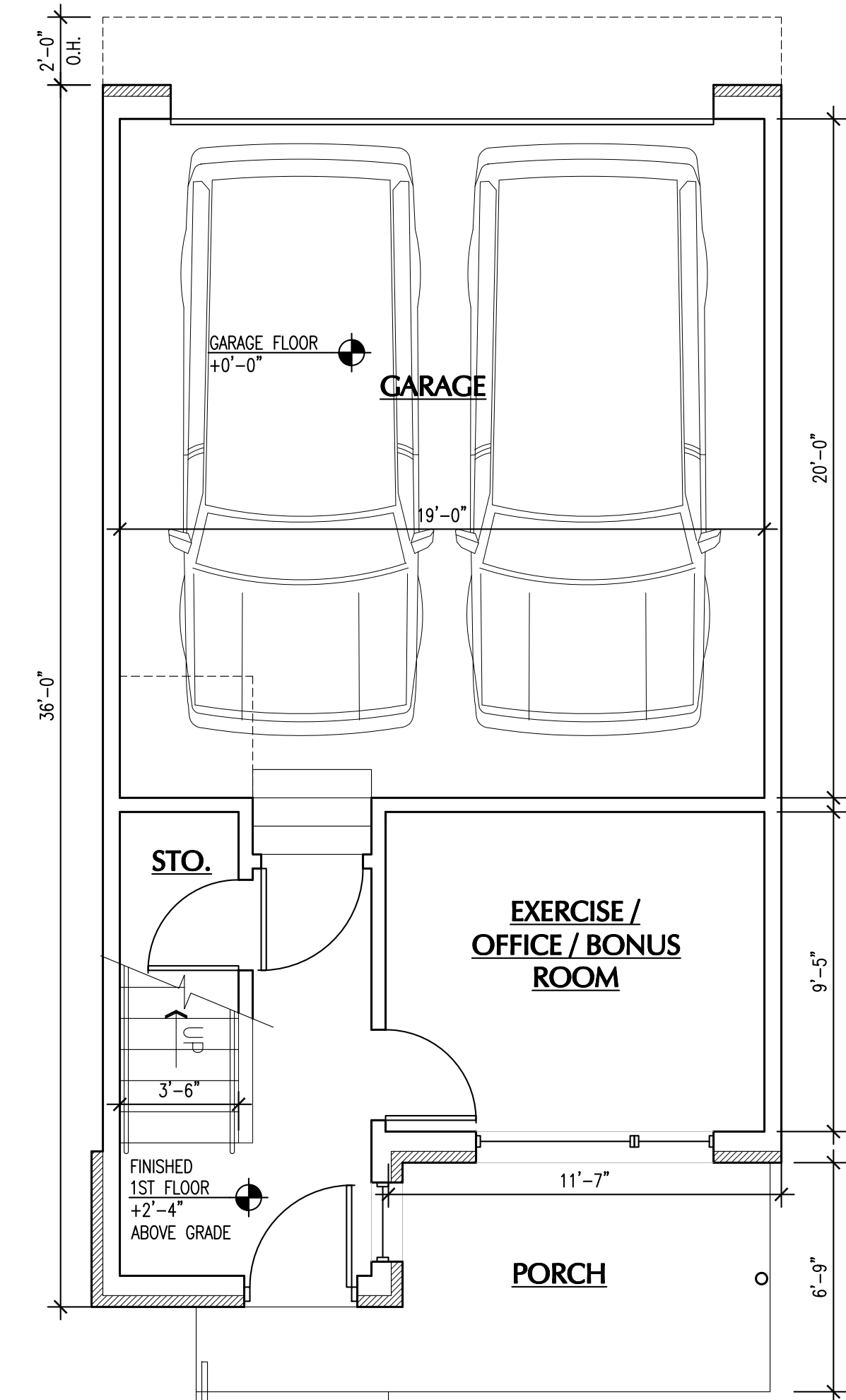
4 ROOF PLAN - TYPE B-2
 A101B-2 SCALE: 1/4" = 1'-0"
 0 2 4 8



3 THIRD FLOOR PLAN - TYPE B-2
 A101B-2 SCALE: 1/4" = 1'-0"
 0 2 4 8



2 SECOND FLOOR PLAN - TYPE B-2
 A101B-2 SCALE: 1/4" = 1'-0"
 0 2 4 8



1 FIRST FLOOR PLAN - TYPE B-2
 A101B-2 SCALE: 1/4" = 1'-0"
 0 2 4 8

SUMMARY OF LIVING AREA:	
LEVEL 1 LIVING SPACE:	216 SF
LEVEL 2 LIVING SPACE:	642 SF
LEVEL 3 LIVING SPACE:	642 SF
LEVEL 4 LIVING SPACE:	1,500 SF

ISSUE DATE:	02.01.21
PLAN REVISIONS	02.15.21
PLAN REVISIONS	02.23.21

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 BATTERY PARK PLACE LLC
 WEST 73RD ST & FATHER FRASCATI AVE.
 CLEVELAND, OH



PROPOSED FLOOR
 PLANS - UNIT TYPE B-2

PA PROJECT NO.	2020-35
CURRENT DATE	02.15.21

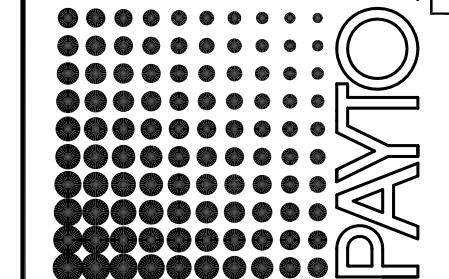
A101B2

DESIGN REVIEW
 SUBMISSION

**PRELIMINARY
 NOT FOR CONSTRUCTION
 PRINTS FULL SCALE
 ON 24"X36" SHEET**

PARK PLACE at BATTERY PARK
 BATTERY PARK PLACE LLC
 WEST 73RD ST & FATHER FRASCATI AVE.
 CLEVELAND, OH

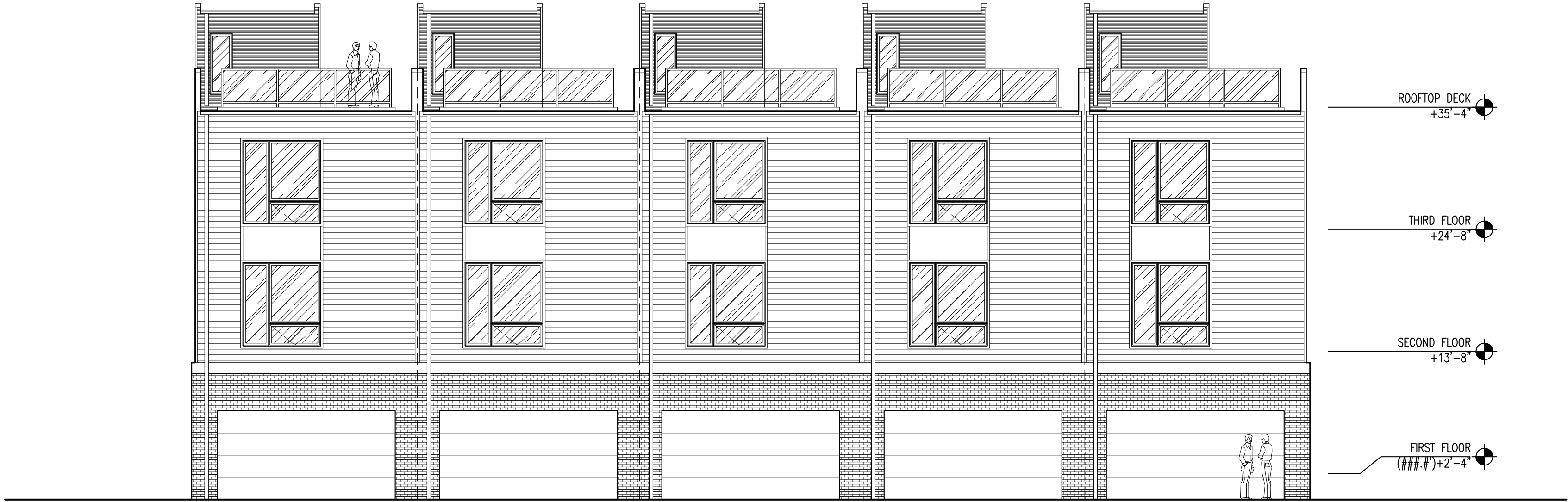
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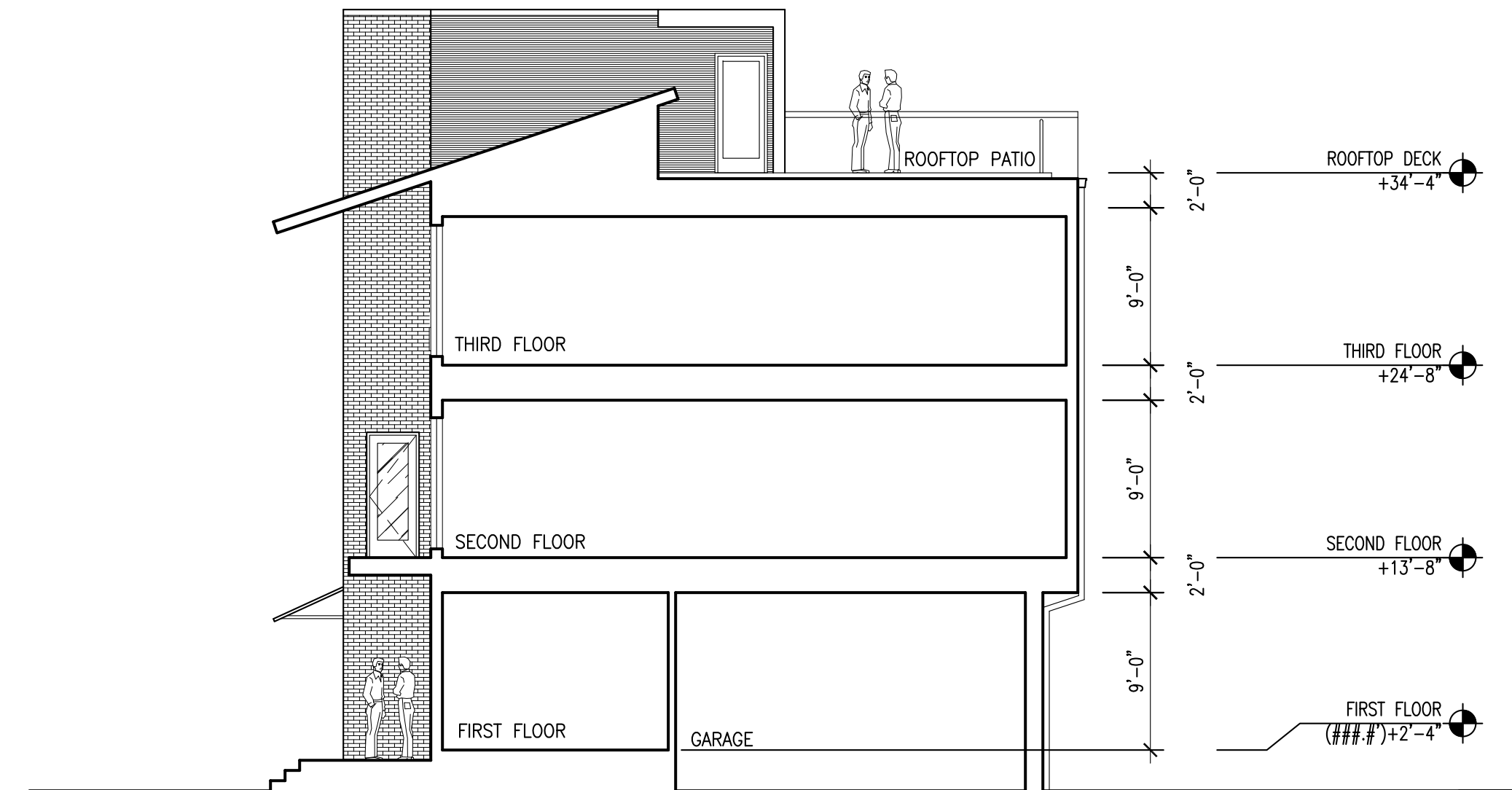
EXTERIOR ELEVATIONS

PA PROJECT NO. 2020-35
 CURRENT DATE 02.01.21

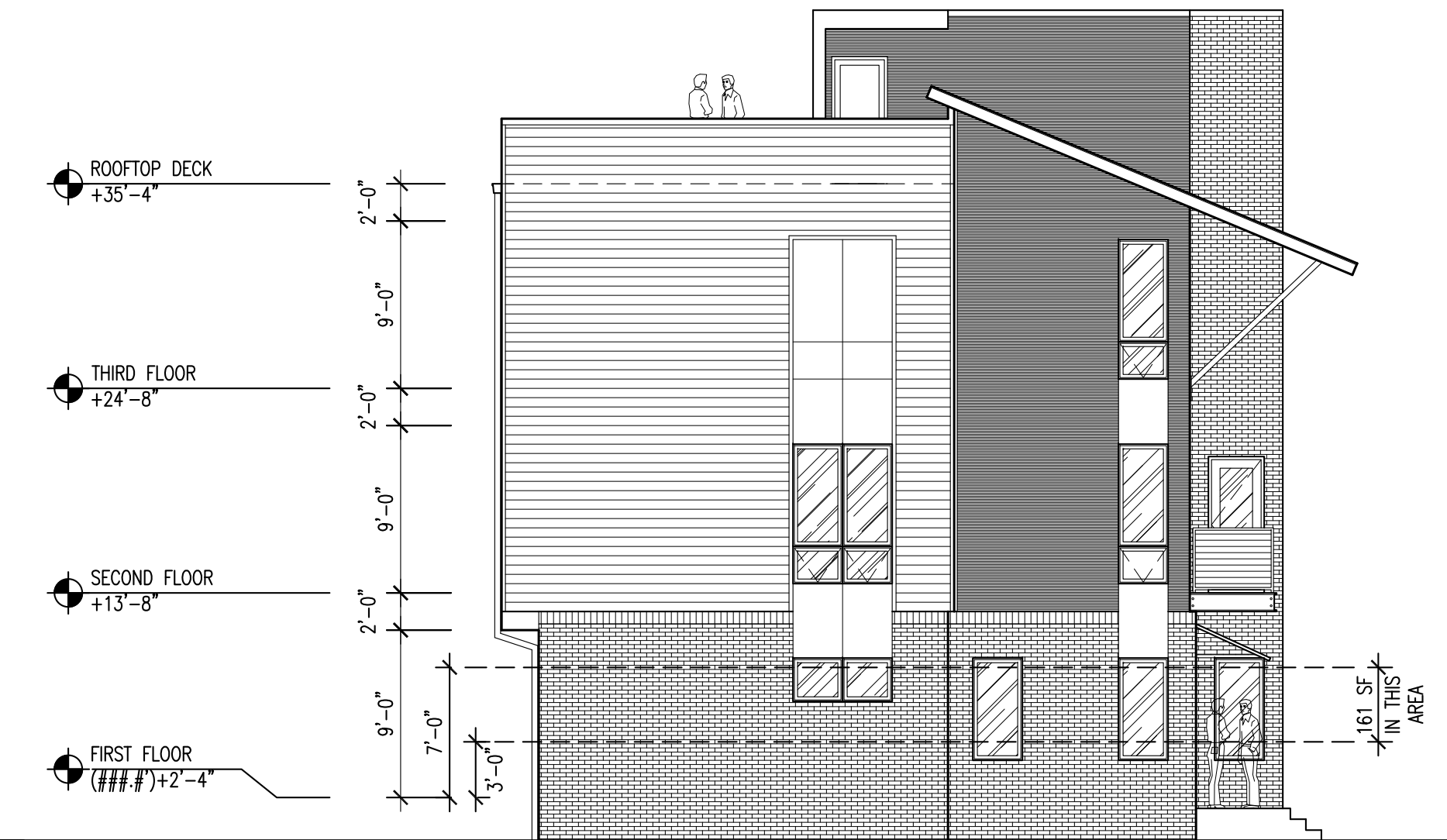
A200
 DESIGN REVIEW
 SUBMISSION



5 NORTH ELEVATION - BUILDING C
 A200 SCALE: 1/8" = 1'-0"



4 BUILDING SECTION - UNIT A-1
 A200 SCALE: 1/8" = 1'-0"



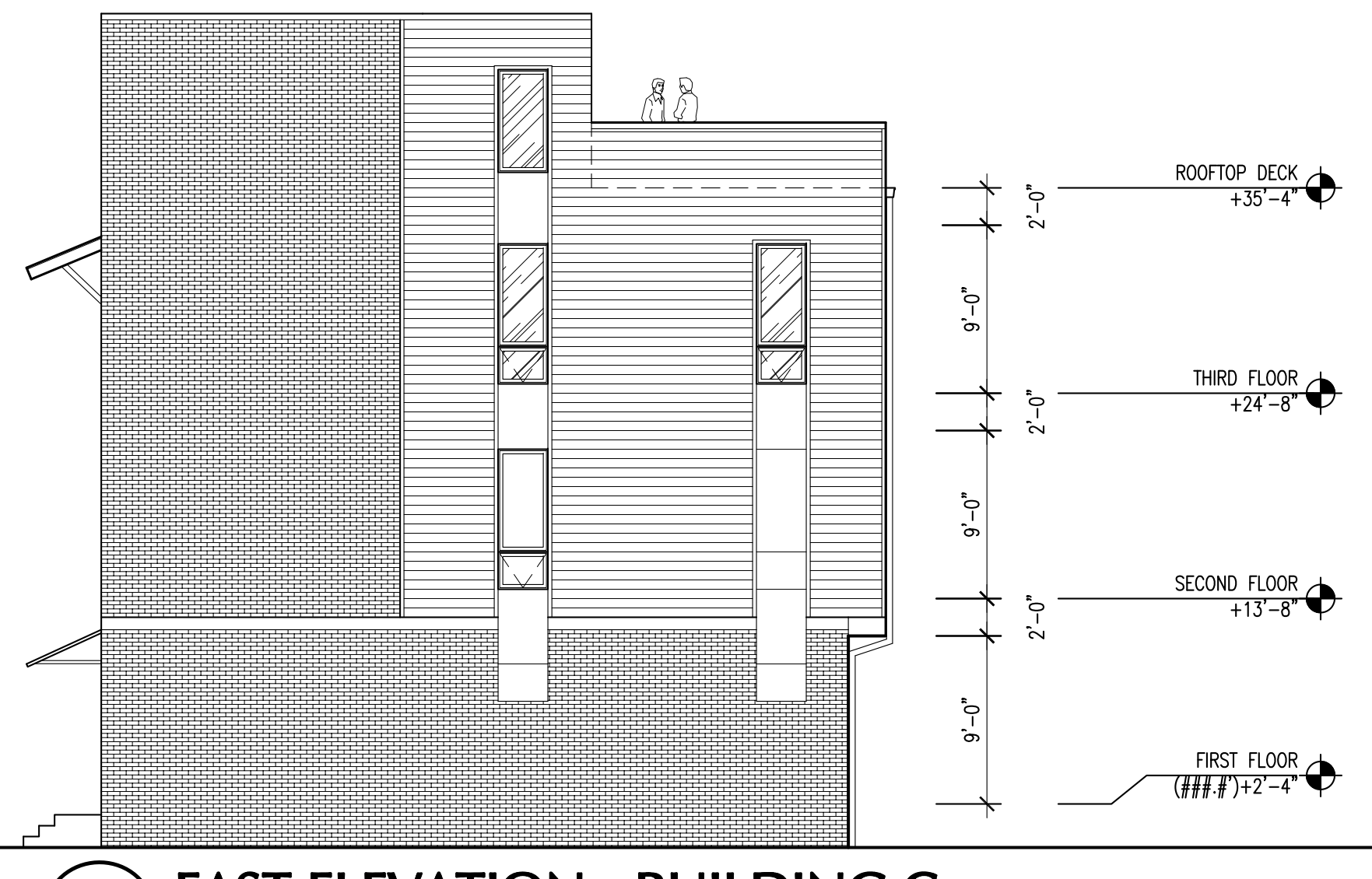
3 WEST ELEVATION - BUILDING C
 A200 SCALE: 1/8" = 1'-0"
 FIRST FLOOR GLAZING, SECONDARY ELEVATION, 25% MIN. REQUIRED BETWEEN 3' AND 7' AFF. = 40.25 SF REQUIRED < 41.74 SF PROVIDED

ELEVATION MATERIAL LEGEND:

	KRONOSPAN COMPOSITE PANELS
	FACE BRICK
	VINYL SIDING
	EXPOSED FASTENER METAL PANEL SYSTEM



1 SOUTH ELEVATION - BUILDING C
 A200 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - BUILDING C
 A200 SCALE: 1/8" = 1'-0"

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 NOT FOR CONSTRUCTION
 PRINTS FULL SCALE
 ON 24"X36" SHEET**

PARK PLACE at BATTERY PARK
 BATTERY PARK PLACE LLC
 WEST 73RD ST & FATHER FRASCATI AVE.
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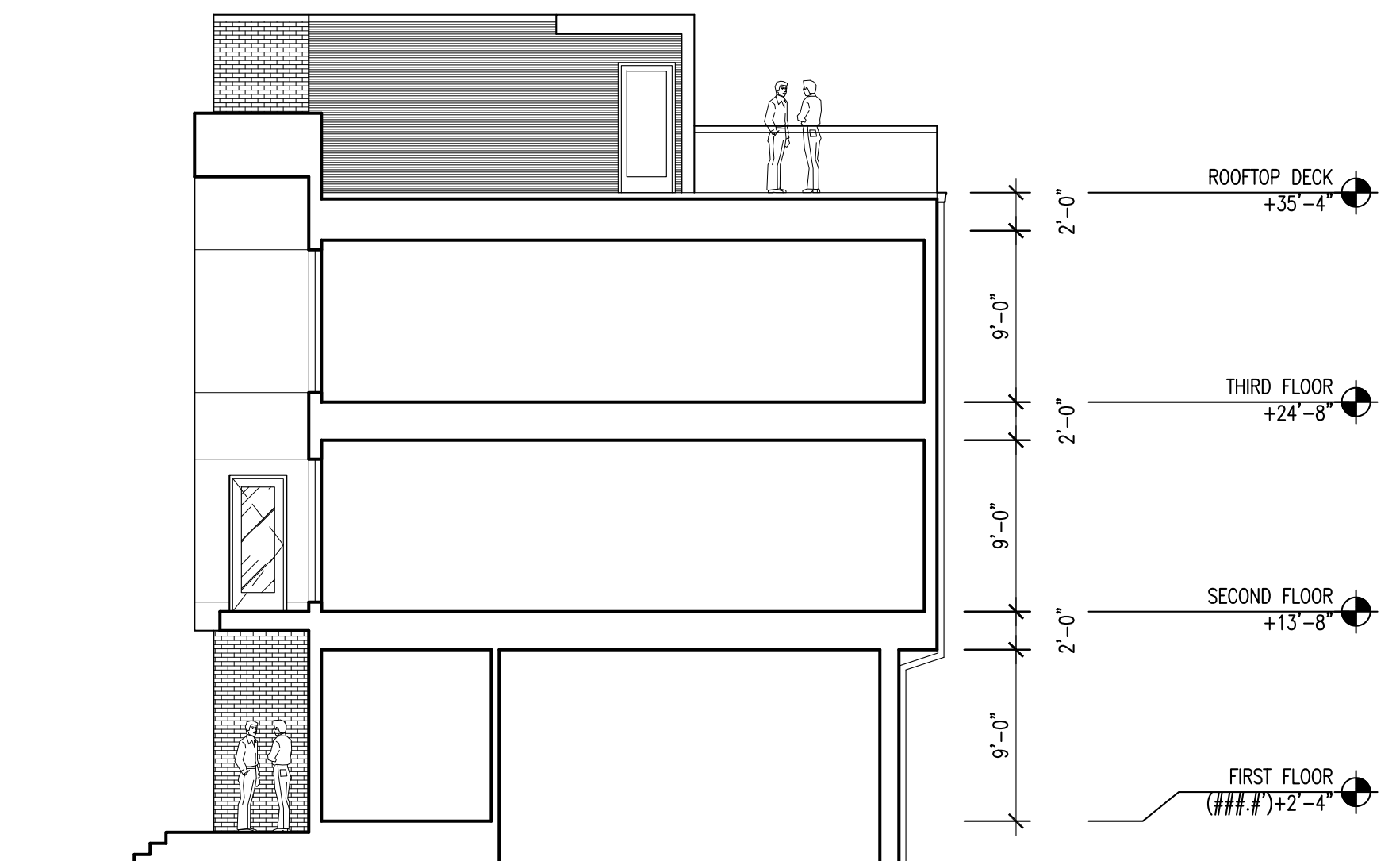
**EXTERIOR ELEVATIONS
 BUILDING B**

PA PROJECT NO. 2020-35
 CURRENT DATE 02.01.21

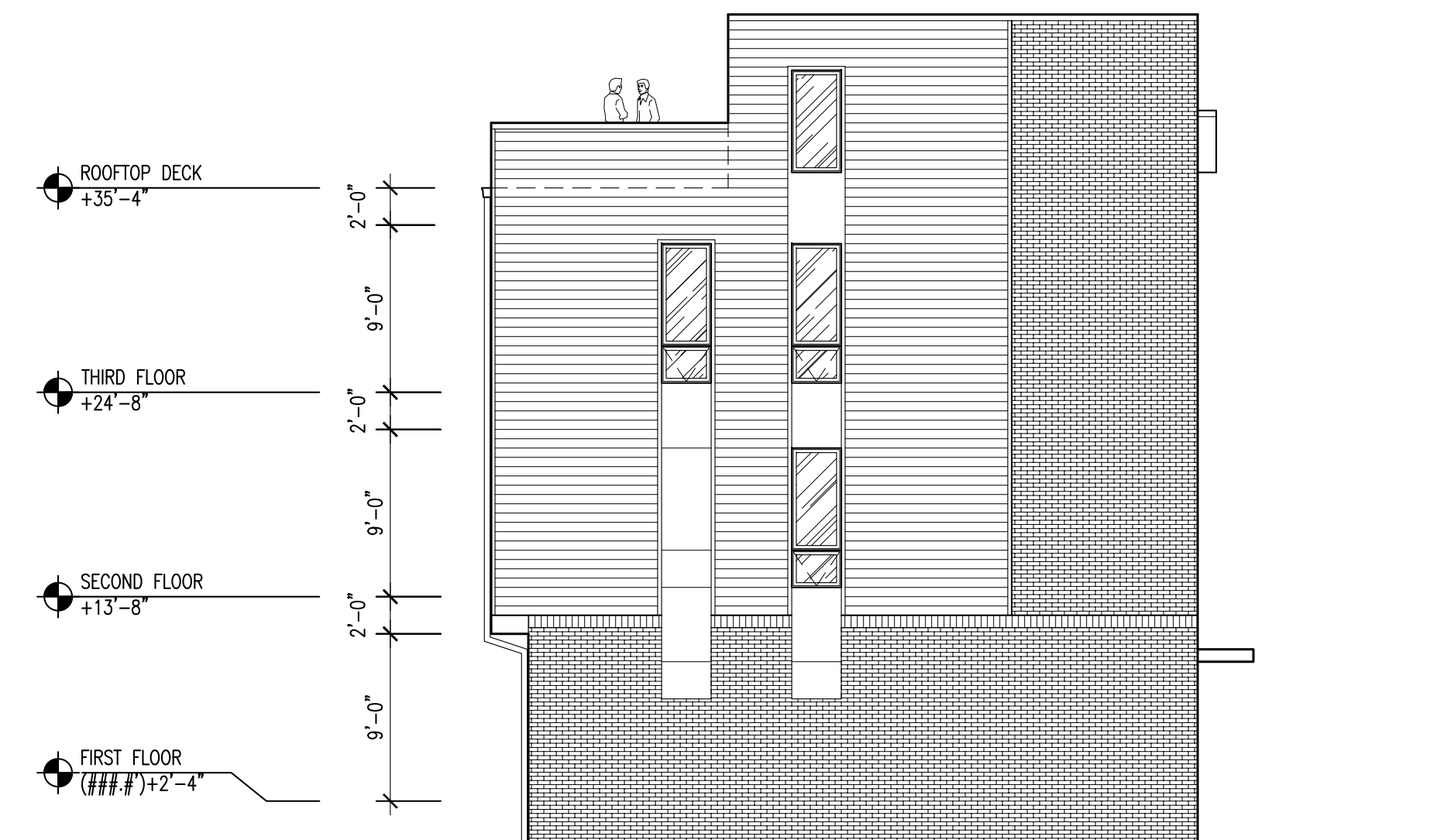
A201
 DESIGN REVIEW
 SUBMISSION



5 SOUTH ELEVATION - BUILDING B
 A201 SCALE: 1/8" = 1'-0"



4 BUILDING SECTION - UNIT B
 A201 SCALE: 1/8" = 1'-0"



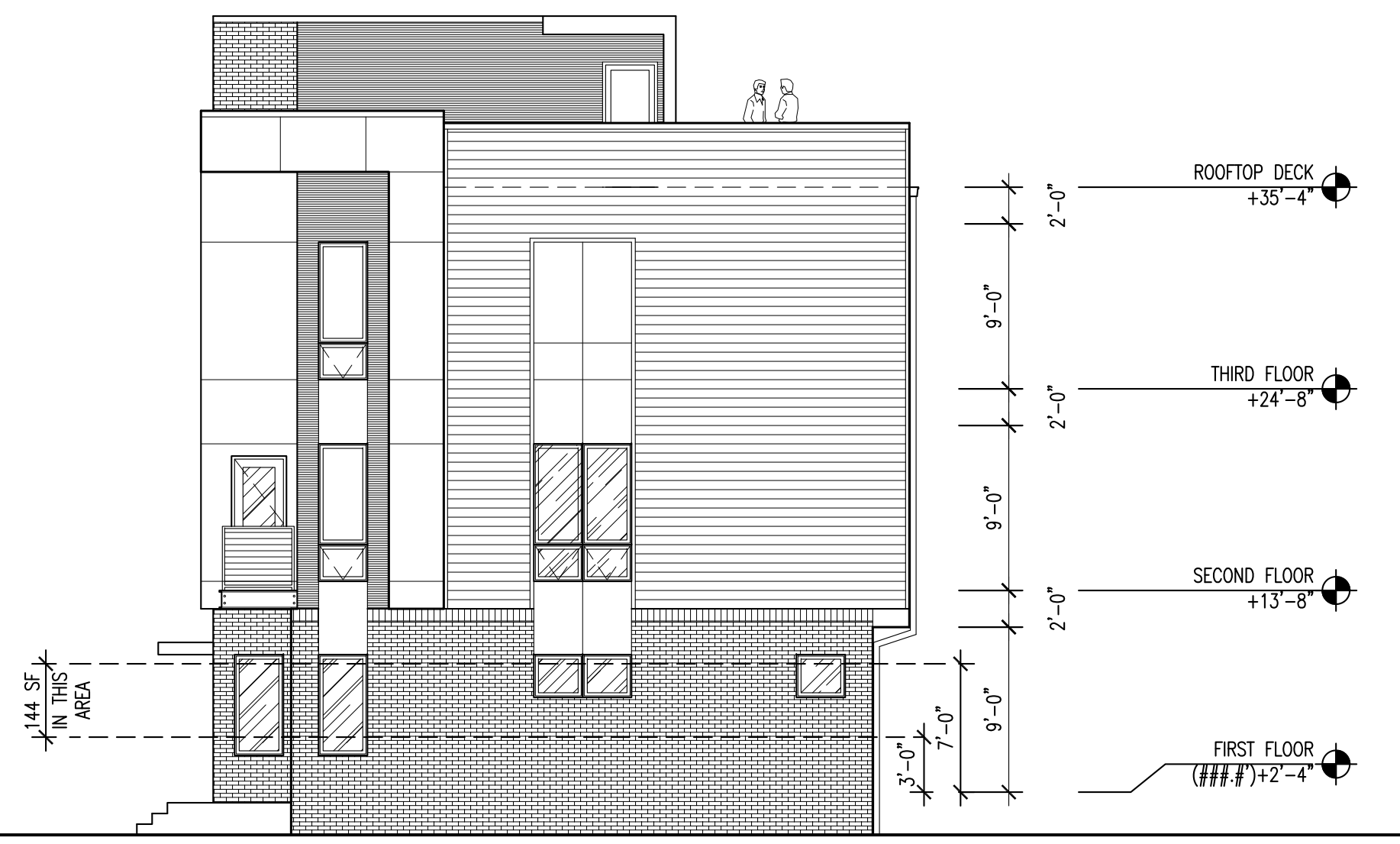
3 EAST ELEVATION - BUILDING B
 A201 SCALE: 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND:

	KRONOSPAN COMPOSITE PANELS
	FACE BRICK
	VINYL SIDING
	EXPOSED FASTENER METAL PANEL SYSTEM



1 NORTH ELEVATION - BUILDING B
 A201 SCALE: 1/8" = 1'-0"



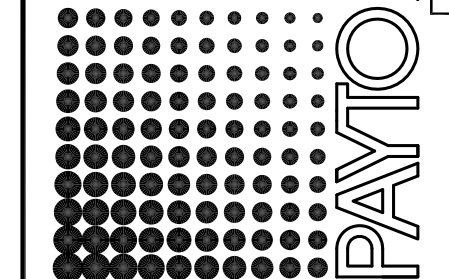
2 WEST ELEVATION - BUILDING B
 A201 SCALE: 1/8" = 1'-0"

FIRST FLOOR CLAZING, SECONDARY ELEVATION,
 25% MIN. REQUIRED BETWEEN 3' AND 7' AFF. =
 36 SF REQUIRED = 36 SF PROVIDED

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 ON 24"X36" SHEET**

PARK PLACE at BATTERY PARK
 BATTERY PARK PLACE LLC
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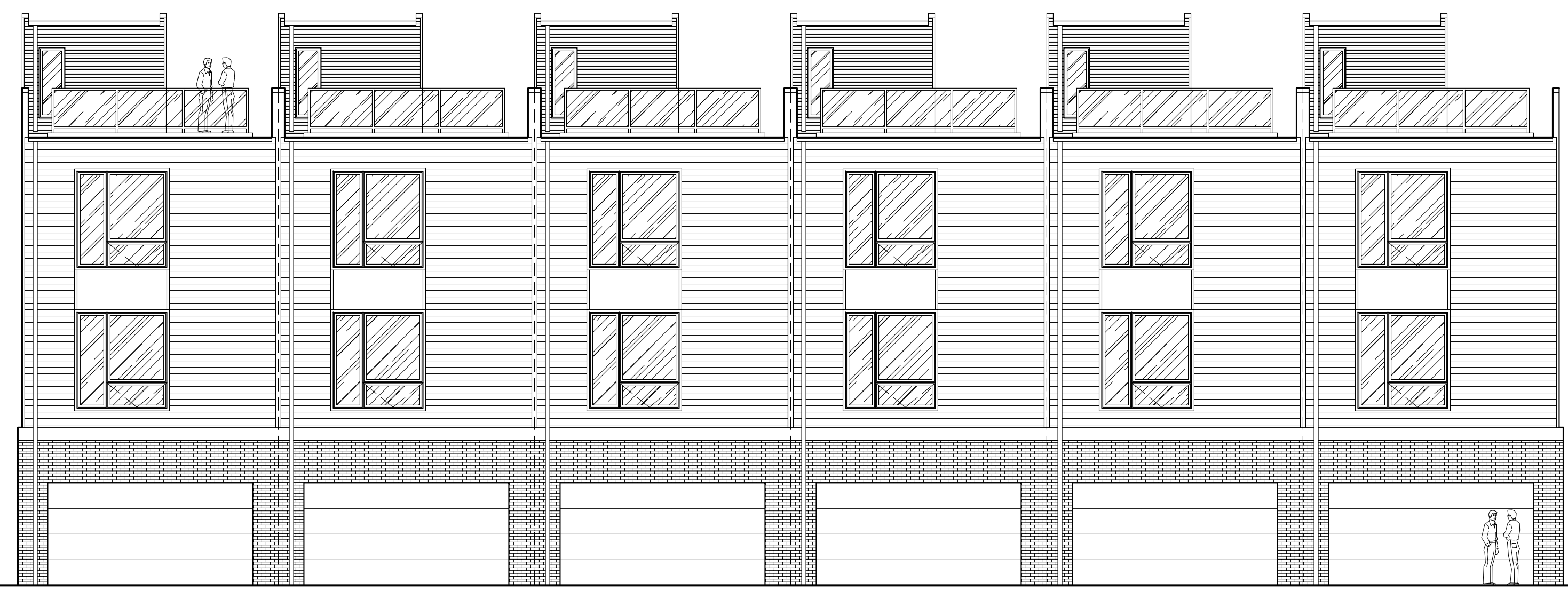
EXTERIOR ELEVATIONS
 BUILDING A

PA PROJECT NO. 2020-35
 CURRENT DATE 02.01.21

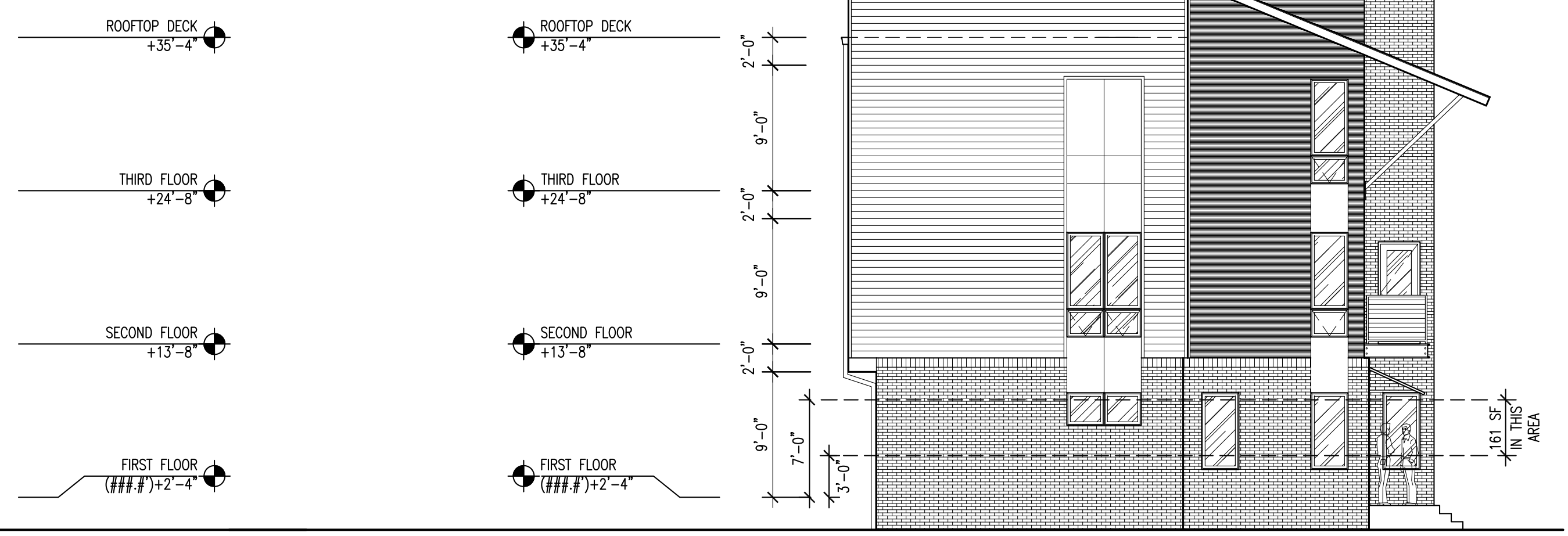
A202
 DESIGN REVIEW
 SUBMISSION

ELEVATION MATERIAL LEGEND:

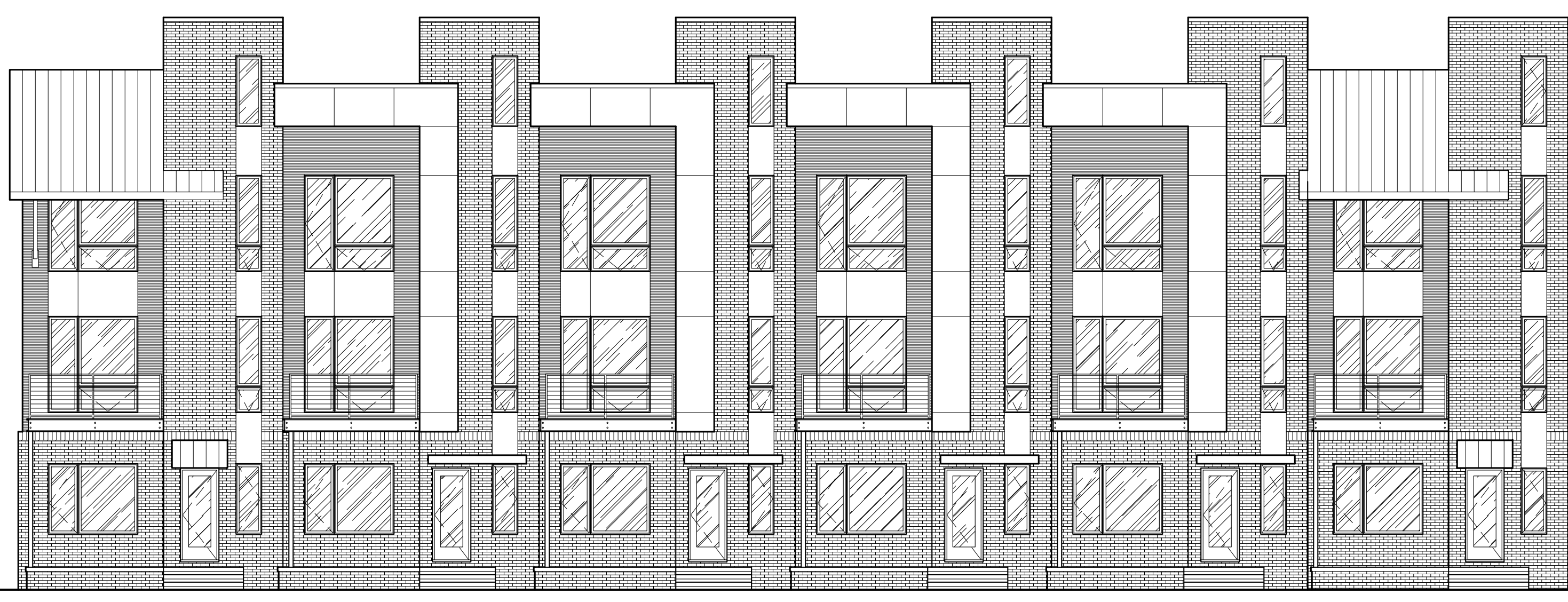
	KRONOSPAN COMPOSITE PANELS
	FACE BRICK
	VINYL SIDING
	EXPOSED FASTENER METAL PANEL SYSTEM



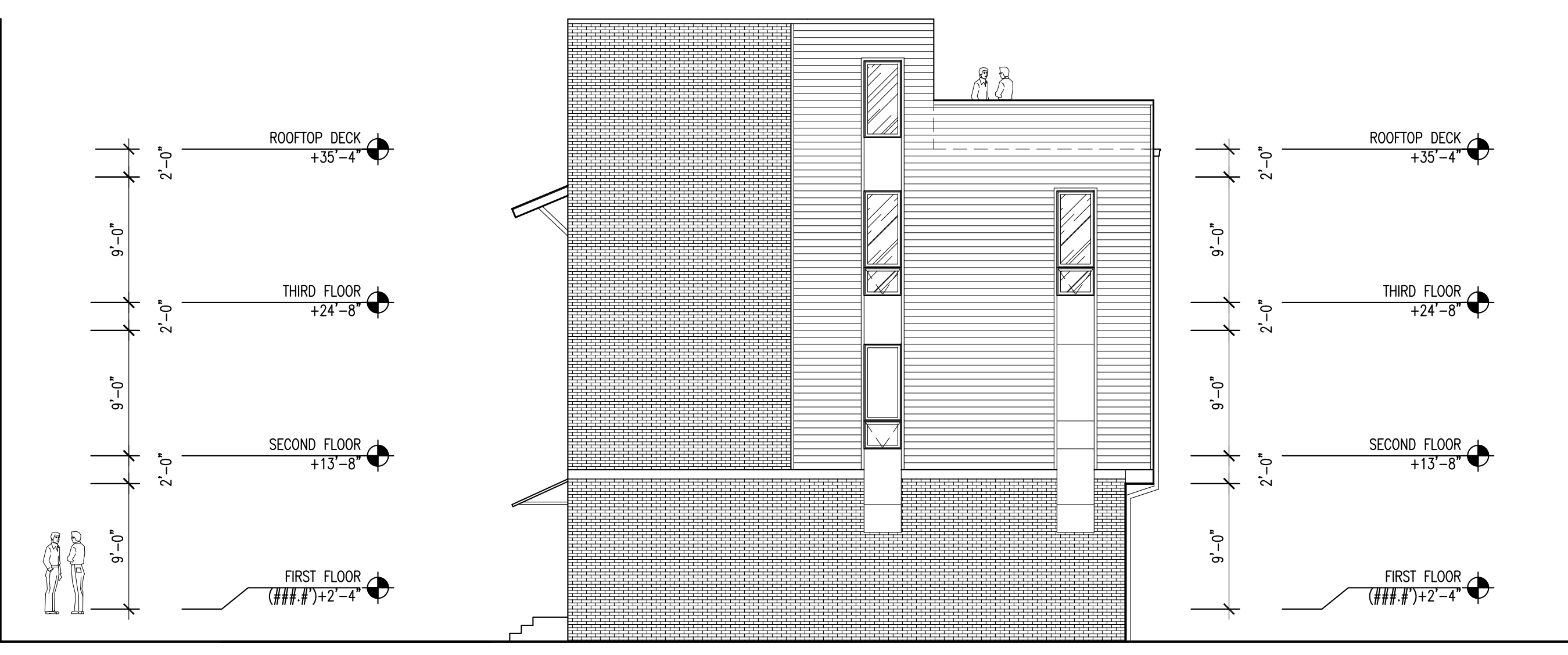
4 NORTH ELEVATION - BUILDING A
 A202 SCALE: 1/8" = 1'-0"



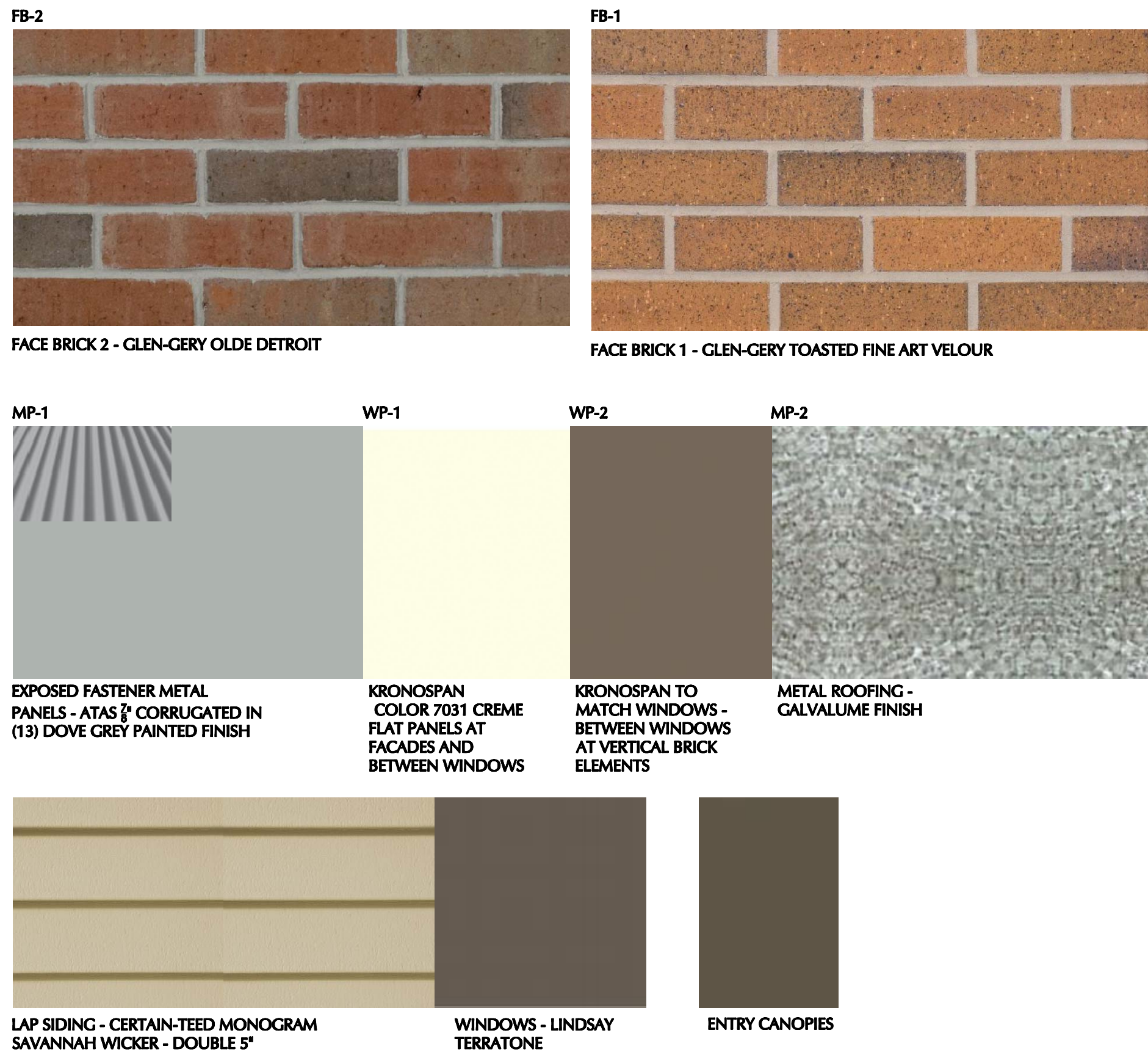
3 WEST ELEVATION - BUILDING A
 A202 SCALE: 1/8" = 1'-0"
 FIRST FLOOR GLAZING, SECONDARY ELEVATION, 25% MIN. REQUIRED BETWEEN 3' AND 7' AFF. = 40.25 SF REQUIRED < 41.74 SF PROVIDED



1 SOUTH ELEVATION - BUILDING A
 A202 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - BUILDING A
 A202 SCALE: 1/8" = 1'-0"



4 MATERIAL PALETTE
A210 NO SCALE



3 EAST FACING VIEW - BUILDINGS D (WEST 73RD ST.)
A210 NO SCALE



2 WEST FACING VIEW - BUILDINGS A/B/C (WEST 74TH ST.)
A210 NO SCALE



1 SOUTH FACING VIEW - BUILDING C (FATHER FRASCATI DR.)
A210 NO SCALE

ISSUE DATE:	02.01.21
PLAN REVISIONS	02.15.21
PLAN REVISIONS	02.23.21

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PARK PLACE at BATTERY PARK
BATTERY PARK PLACE LLC
WEST 73RD ST & FATHER FRASCATI AVE.
CLEVELAND, OH



**EXTERIOR RENDERED
VIEWS & MATERIAL
PALETTE**

PA PROJECT NO.	2020-35
CURRENT DATE	02.15.21

A210

**SCHEMATIC DESIGN
DOCUMENTS**

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Cleveland City Planning Commission

Special Presentations



March 5, 2021

Special Presentation

March 5, 2021



Townhouse Code Revisions

Presenter: Kyle Reisz, Staff Planner

2021 Townhouse Code Update

Goals of the update

- Clarifying language and definitions based on user feedback
- New definitions and regulations for Auto Courts
- Refine 'Use in the Single and Two Family' provision

Background

- Townhouse code originally adopted in August 2018
- 25+ townhouse projects completed or under development
- Zero variances requested

Background – Townhouses permitted by right prior to the current code



Background – Townhouses permitted by right prior to the current code



Background – Townhouses permitted after the code was adopted



Keiper Court at W. 34th PL

Background – Townhouses permitted after the code was adopted



E. 120th Street at Ashbury Ave

Background – Townhouses permitted after the code was adopted



W. 48th street at Lorain



Example of Townhouse review under prior code:

Jim Alves, owner, proposes to erect a 23' x 41' three story frame single family residence with attached garage in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 355.04(a) which states that the minimum required Lot Area is 4800 square feet and the appellant is proposing 2,610 square feet; Maximum Gross Floor area shall not exceed 50% of the lot area or in this case 1,350 square feet and the appellant is proposing 2,960. This section also states that the minimum lot width is 40 feet and the appellant is proposing 27'-11".
2. Section 357.09(b)(2)(A) which states that no building shall be erected less than 10' from main building on adjoining lot the appellant is proposing zero.
3. Section 357.09(b)(2)(B) Required interior side yard shall not be less than 9.75' where 5' are proposed 5' for dwelling, 5 feet and 4 inches for the front porch and zero. The total width of both Interior side yards shall not be less than 10' where the appellant is proposing 5'.
4. Section 357.08(b)(1) which states that the required Rear yard is 39'-2" and the appellant is proposing 20' and 15' for the deck.
5. Section 357.13(b)(4) which states that open porches shall not project more than 6' where the appellant is proposing 7'. (Filed May 10, 2017)

Example of Townhouse review under the current code:

Townhouse (RA) District Review:

Month, date, 2018

Example Address
Cleveland, OH

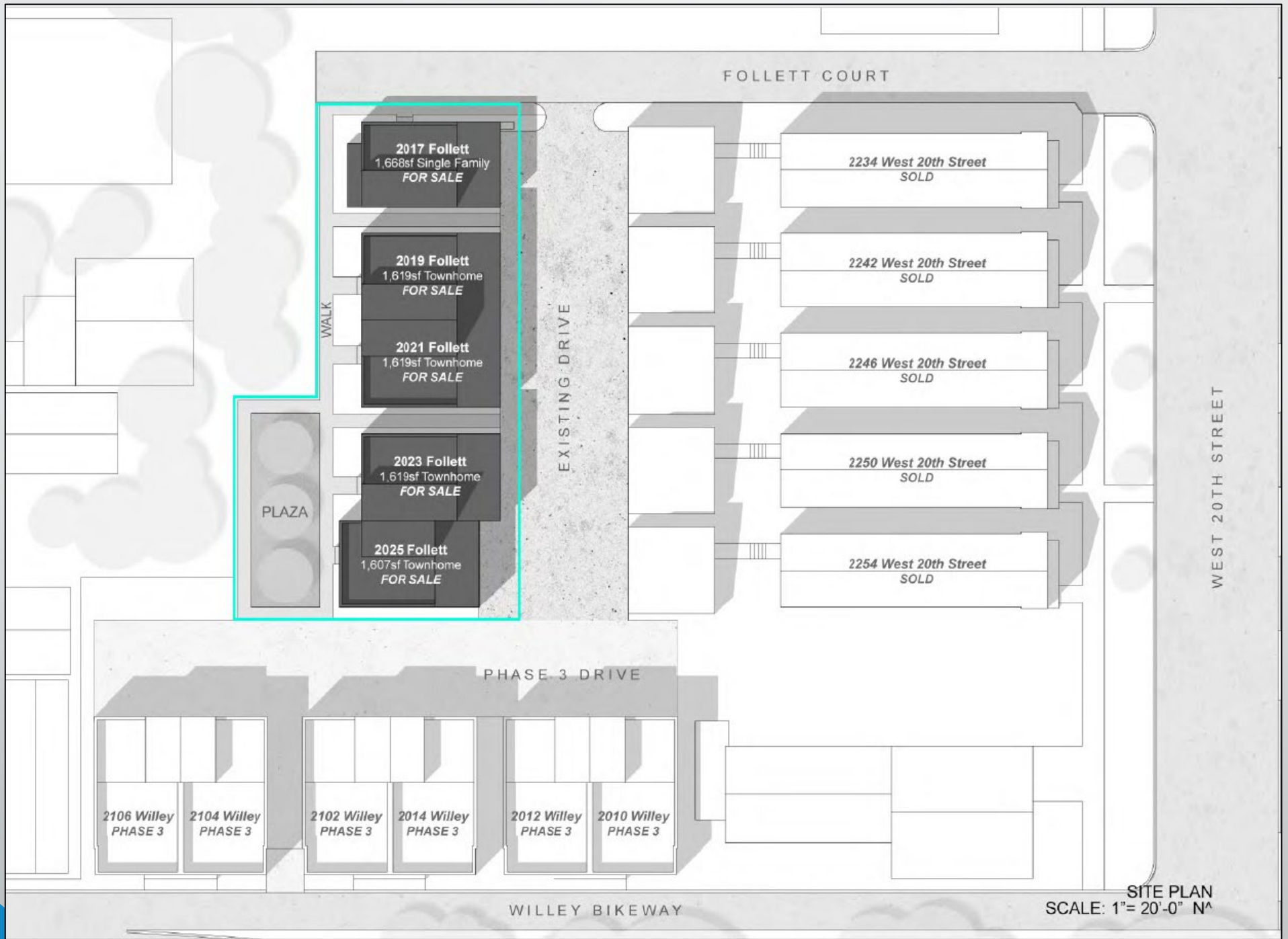
		RA-1	RA-2	RA-3	Proposed	Comments
(1) Lot Dimensions		No min				
(2) Setbacks	Where applicable	Requirements				
A. Front Yard Depth ¹ <small>See Section (b)(2) below for Frontage Diagram.</small>	Principal	Min: 20' or, if greater, the average setback of the buildings within 100' on both sides. Max: none	Min: 10' Max: 20'	Min: 0' Max: 10'	Franklin Boulevard Units A-G: 10' -12'	Max. setback of 10' Compliant - Units A, B, E, G Non-compliant - Units C, D, F
	Secondary	Min: 7'	Min: 5'	Min: none	W 32 nd St: Unit A, H 7'-8'	Should align with existing duplex to north
	Interior	Min: 10'	Min: 8'	Min: 6'	Units I-M 10'	Compliant
C. Interior Side Yard Depth ²	Adjoining 1 or 2-Family District	Min: 10'	Min: 5'	Min: 3'	Unit M: 10' Unit G 10'	Unit M & G Compliant 6' between buildings required
	Adjoining Other District	Min: 7'	Min: 5'	Min: none	N/A	N/A

Residents, developers, architects can now easily understand Conforming and non-conforming elements of any development

D. Rear Yard Depth	Rear lot line adjoining 1 or 2-Family District	Min: 15'	Min: 10'	Min: 6'	Parcel lines not shown; likely does not apply	Unknown
	Rear lot line adjoining Other District	Min: 10'	Min: 10'	Min: none	N/A	N/A
(3) Building Design Features					Most measurements scaled off drawings	
A. First-story glazing % of façade required to be transparent windows and doors between 3' and 7' above finished floor.	Principal	Min: 35% Where the finished first floor is 48" or more above grade: Min. 20% glazing between grade and the finished first floor, less Frontage Feature areas.	Units A-G 30+ sq. ft.	Units A-G Compliant		
	Secondary	Min: 25% Where the finished first floor is 48" or more above grade: Min. 20% glazing between grade and the finished first floor, less Frontage Feature areas.	Unit A – 42sq. ft. req. Unit H – 40sq. ft. req.	Unit A Compliant Unit H – 0' sq. ft. provided non-compliant		
	Interior	Min: 20%	Unit H, M– 16sq req Unit I – 15.2 sq req Units J-L 14.4 sq. req.	All units compliant		
B. Active uses on first story	Principal	Required on 60 % of total Frontage Buildout. Min depth: 9'	Active space provided at all width & at least 9' deep	All units compliant		
	Secondary	No requirement	[No Title]	Compliant		
	Interior	No requirement	N/A	Compliant		
C. Floor Area Ratio	No requirement			No requirement	Compliant	

New Definitions

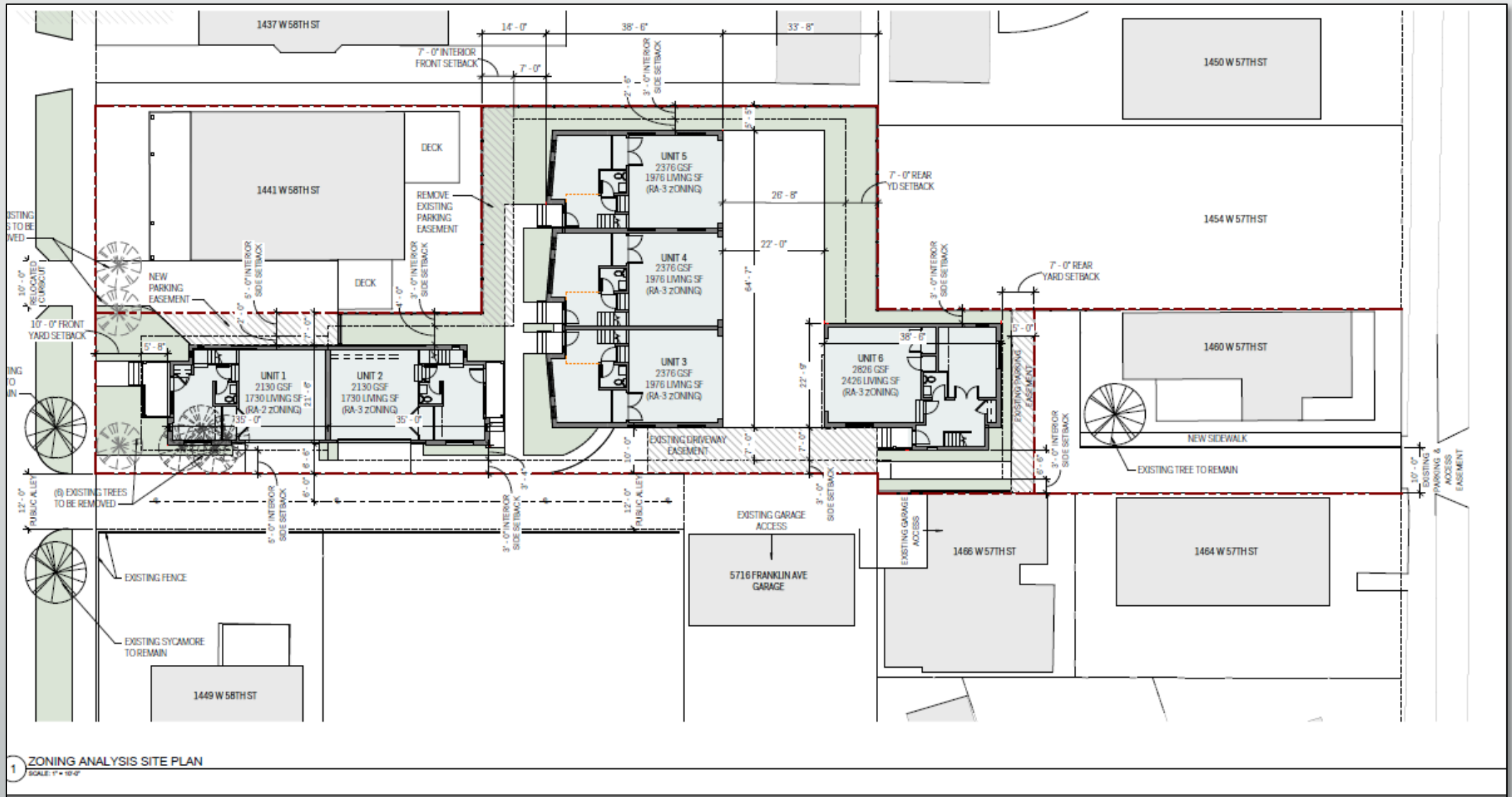
"Townhouse Project" is any combination of Townhouse Units, Townhouse Buildings and detached single family (SF) houses submitted to the City as a unified development proposal. When SF houses are part of a Townhouse Project proposal, they may not exceed $\frac{1}{3}$ of the total unit count for the Project in order to be reviewed under this code. SF homes are required to meet all provisions of this code.



SITE PLAN
SCALE: 1"= 20'-0" N[^]



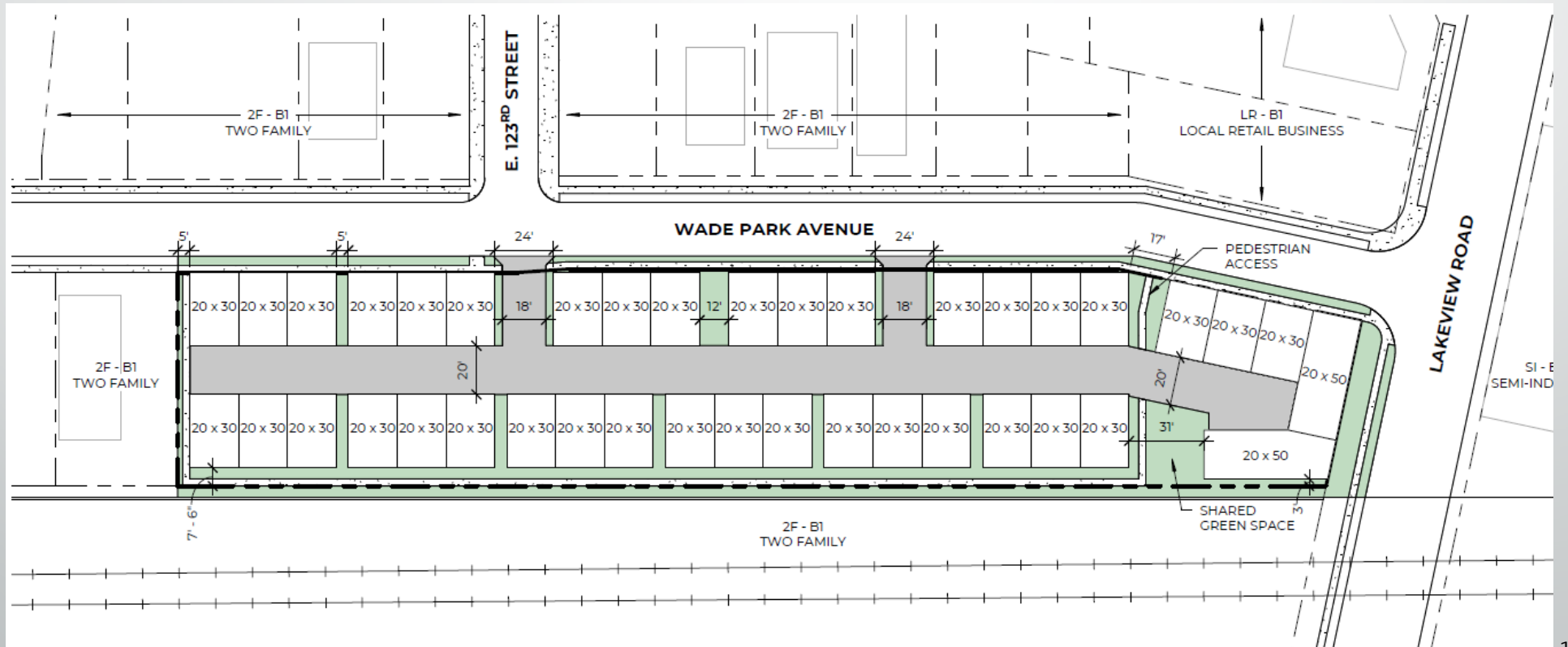
AERIAL LOOKING NE





New Definitions

“**Auto Court**” is an internal alley for a Townhouse Project allowing vehicular, pedestrian, and bicycle access from a public ROW to private garages.



EXISTING BUILDING

EXISTING HOUSE



EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

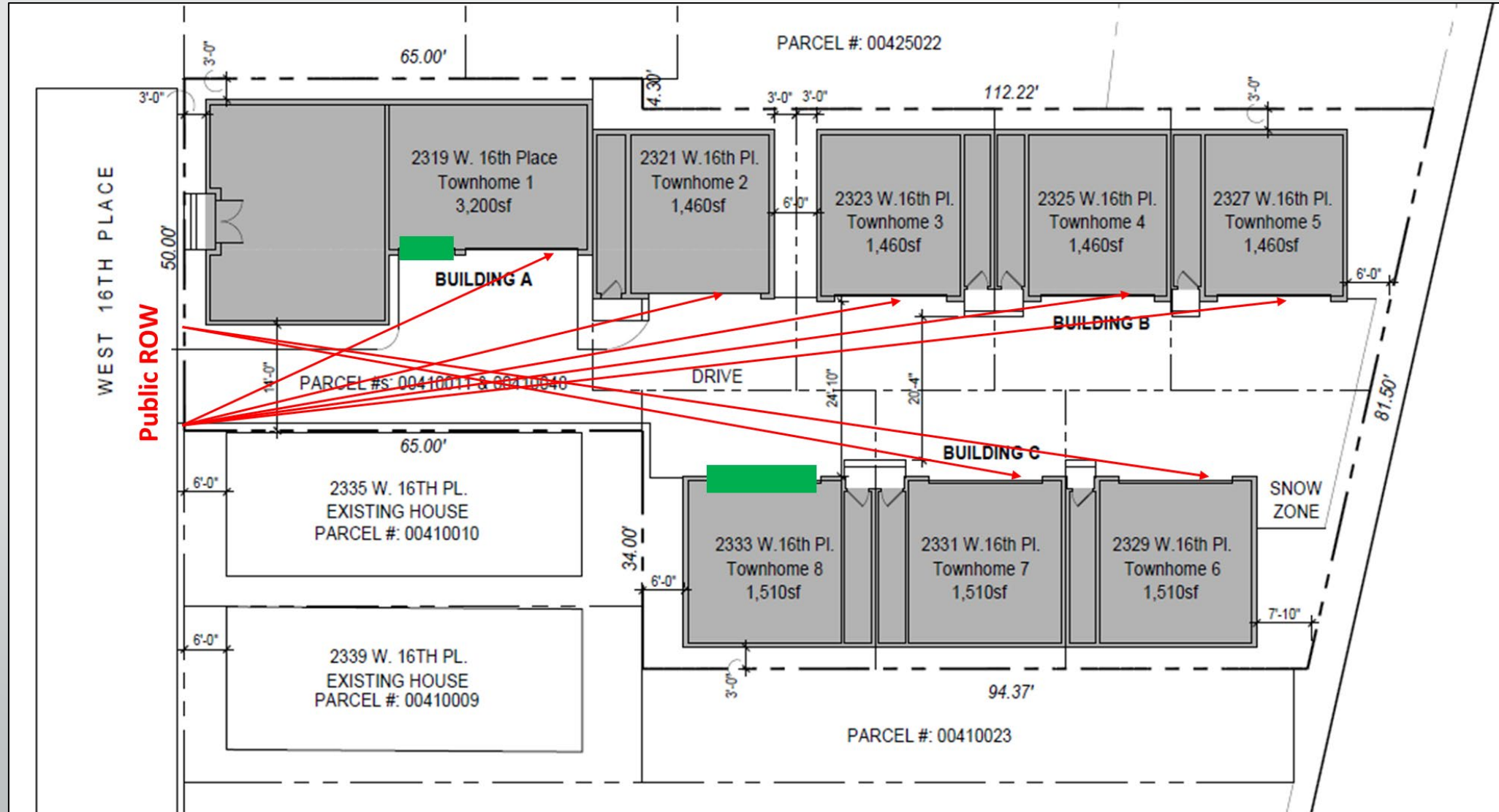
WEST 48TH STREET

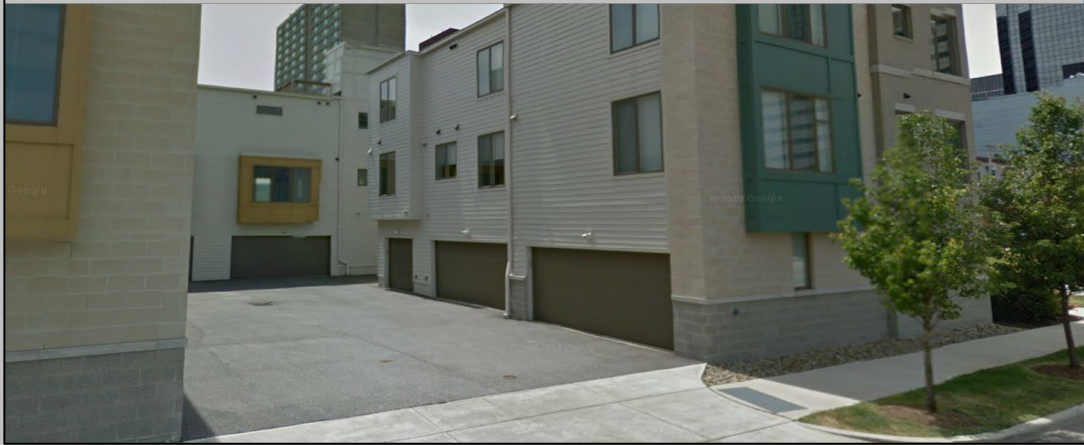
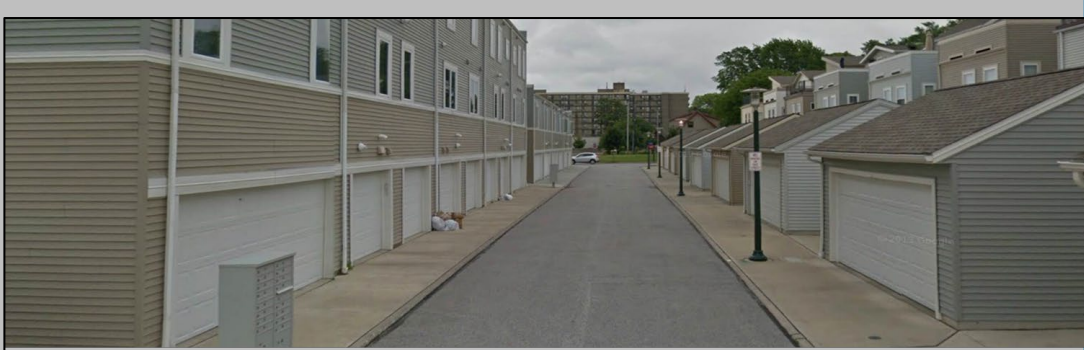
New Auto Court Regulations

Auto Court landscaping	25 sq. ft. of dedicated landscape area in the Auto Court for every 32' of garage door or garage entry visible from a public ROW, not including alleys.
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7 16' garage doors visible = 112 linear foot of garage door visible from the ROW

$112/32 = 100$ sq. ft. of landscaping in Auto Court





New Auto Court Regulations

<p>Auto Court paving material</p>	<p>Any whole or portion of an Auto Court with garage doors or garage entry visible from a public ROW, not including alleys, shall have at least 60% of its surface area paved with Human-scaled materials.</p>
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‘Use in the Single and Two Family’ provision

- Townhouses are not permitted by-right in the 1F or 2F Districts
- All Townhouses go through Design Review
- The zoning code does not regulate architectural style
- The zoning code cannot mandate ‘good architecture’

Existing 'Use in the Single and Two Family' provision

Use approval process for Townhouse units:

Single or two Family District:	CPC approval required
Multi-Family or less restrictive:	Permitted by right

Design Review process for townhouse units:

Five (5) or less units not in an Landmarks District

HDRS review > approval > Director signoff > Building permit

HDRS review > denial > Director signoff or Director denial > Planning Commission

HDRS review > denial > Director denial > Planning Commission > denial > BZA > Common Pleas

More than five (5) units or any number of units in a Landmarks District

Local Design Review or Landmarks Committee > approval > CPC/LM > approval > Director signoff > BP

Local Design Review or Landmarks Committee > denial > CPC/LM > approval > Director signoff > BP

Local Design Review or Landmarks Committee > denial > CPC/LM > denial > BZA > Common Pleas

Existing 'Use in the Single and Two Family' provision

(e) Site Planning and Design. No Building Permit shall be issued for the original construction of a townhouse unit or Townhouse Building without approval of the Director of the City Planning Commission, which shall seek to ensure that the development meets the spirit and intent of division (a) by applying the standards set forth below:

(1) Compatibility. The development shall be visually compatible with nearby properties with respect to such design elements as scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features.

(2) Site Layout. Buildings, structures and landscape features shall be arranged so as to create visual interest, promote security and personal safety, promote safe, efficient, and comfortable pedestrian circulation, facilitate safe and efficient vehicular circulation, conserve natural features and provide usable common and private open space.

(3) Building Features. Townhouse units shall contribute to the character of the neighborhood by drawing from the best examples of architecture and urbanism. Townhouse units shall be designed to create active, attractive, street frontages that promote safety and walkability using the essential elements of traditional urban architecture as regulated in division (f) of this code.

(4) Circulation and Parking. Circulation and parking shall be designed to achieve the following:

- A. Provide proper access for service and safety vehicles.
- B. Minimize conflicts between pedestrians and vehicles.
- C. Minimize the number of curb cuts.
- D. Maximize opportunities for on- street parking and street trees by prohibiting front loaded garages and unenclosed parking in front yards.
- E. Prohibits placement of garage doors so close to sidewalks as to impair pedestrian safety.

New 'Use in the Single and Two Family' provision

Use approval process for Townhouse units:

Single or two Family District:	CPC or Landmarks approval required
Multi-Family or less restrictive:	Permitted by right

Design Review process for townhouse units:

Five (5) or less units not in an Landmarks District

HDRS review > approval > Director signoff > Building permit

HDRS review > denial > Director signoff or Director denial > Planning Commission

HDRS review > denial > Director denial > Planning Commission > denial > BZA > Common Pleas

More than five (5) units or any number of units in a Landmarks District

Local Design Review or Landmarks Committee > approval > CPC/LM > approval > Director signoff > BP

Local Design Review or Landmarks Committee > denial > CPC/LM > approval > Director signoff > BP

Local Design Review or Landmarks Committee > denial > CPC/LM > denial > BZA > Common Pleas

New 'Use in the Single and Two Family' provision

Townhouses are not permitted by right in the single or Two Family districts:

(2) *Townhouses in Single or Two (2) Family Districts.* In any zoning district where a townhouse use is not permitted by right (ex. Single Family, Two (2) Family), **the applicable Design Review body (ie City Planning or Landmarks Commission) shall determine, based on the application of subsection (1) of division (e) of this section, if a townhouse use shall be permitted.**

(e) (1) *Building Envelope & Placement.* The development shall be constant with or complementary to nearby properties with respect to such elements as:

- Height
- Front Yard Setback
- Roof form
- Frontage Feature

Height



Front Yard Setback



Roof Form



Frontage Feature



Mews Units



Fulton Court



2021 Townhouse Code Update

Cleveland City Planning Commission

DRAC New Member Nominations



March 5, 2021

New Member Nomination

March 5, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Director's Report



March 5, 2021

Cleveland City Planning Commission

Adjournment



March 5, 2021